



SPECIAL MEETING OF THE CITY COUNCIL  
CITY HALL, Fifth Floor  
6801 Delmar Blvd.  
University City, Missouri 63130  
**April 26, 2018**  
**5:30 p.m.**

- A. MEETING CALLED TO ORDER
- B. ROLL CALL
- C. APPROVAL OF AGENDA
- D. PROCLAMATIONS
- E. APPROVAL OF MINUTES
- F. APPOINTMENTS to BOARDS & COMMISSIONS
- G. SWEARING IN to BOARDS & COMMISSIONS
- H. CITIZEN PARTICIPATION (Total of 15 minutes allowed)
- I. PUBLIC HEARINGS
- J. CONSENT AGENDA
  - 1. Transfer Station Scale Replacement Contract Award
- K. CITY MANAGER'S REPORT
  - 1. Conditional Use Permit – BP Expansion  
(VOTE REQUIRED)
  - 2. Street Division Composition Revision  
(VOTE REQUIRED)
- L. UNFINISHED BUSINESS
- M. NEW BUSINESS
  - RESOLUTIONS*
    - 1. Resolution 2018-7 – Novus Companies
    - 2. Resolution 2018-8 – Budget Amendment #4 – FY18
  - BILLS*
- N. COUNCIL REPORTS/BUSINESS
  - 1. Boards and Commission appointments needed
  - 2. Council liaison reports on Boards and Commissions
  - 3. Boards, Commissions and Task Force minutes
  - 4. Other Discussions/Business
    - a) **Ward One Council Vacancy** – Process to Fill Council Vacancy  
*Requested by Councilmembers Carr and McMahon*  
DISCUSSION AND VOTE
- O. CITIZEN PARTICIPATION (continued if needed)
- P. COUNCIL COMMENTS
- Q. ADJOURNMENT



**MEETING DATE:** April 26, 2018

**AGENDA ITEM TITLE:** Project 1279 – Transfer Station Scale Upgrade Project

**AGENDA SECTION:** Consent Agenda

**CAN THIS ITEM BE RESCHEDULED?:** YES

**BACKGROUND:** The transfer station scale has reached its maximum lifetime use. It is between 25 – 30 years old. The replacement of the scale has been budgeted for FY2018. For maximum efficiency and effectiveness of the scale and transfer station, it has been determined that the scale will be moved to a new location within the maintenance yard.

The City originally requested bids for the scale installation including tasks such as electrical and data installation, restriping of the parking lot, and removal of the existing scale. The original bids received on February 20, 2018 were over two to three times the budget amount. The project was rebid with a smaller scope of work removing the tasks that can be completed in-house or directly contracted at a more reasonable price.

On April 5, 2018 the City opened bids for the Transfer Station Scale Upgrade Project – including only the purchase and installation of the scale and software. The tabulation of bid proposals is as follows:

| <b>Company:</b>            |  | <b>Tramar Contracting Inc.</b> | <b>Accurate Superior Scale</b> |
|----------------------------|--|--------------------------------|--------------------------------|
| <b>Bid Total:</b>          |  | <b>\$199,000 *</b>             | <b>\$77,148</b>                |
| <b>Alternate Bid Item:</b> | TRANSFER STATION SCALE - BARCODE/MAG STRIPE/RFID                       | <b>\$4,700</b>                 | <b>\$23,135 ***</b>            |
| <b>Alternate Bid Item:</b> | OFF-SITE DATA TRANSFER ABILITY   | <b>\$0</b>                     | <b>\$2,238</b>                 |
| <b>Alternate Bid Item:</b> | INSTRUMENT AND SOFTWARE CAPABILITY WITH FUTURE VIDEO CAMERA CONNECTION | <b>\$0</b>                     | <b>\$22,775</b>                |
| <b>Alternate Bid Item:</b> | MISC. EXISTING TRANSFER STATION SCALE REMOVAL                          | <b>\$39,000 **</b>             | <b>N/A</b>                     |
| <b>Alternate Bid Item:</b> | MISC. CHAIN-LINK FENCE MODIFICATIONS                                   | <b>\$4,300</b>                 | <b>N/A</b>                     |
| <b>Alternate Bid Item:</b> | MISC. TRENCH AND BACKFILL FOR ELECTRICAL AND DATA CONNECTION           | <b>\$14,000</b>                | <b>N/A</b>                     |
| <b>Alternate Bid Item:</b> | ANNUAL PREVENTATIVE MAINTENANCE PROGRAM                                | <b>N/A</b>                     | <b>\$350</b>                   |

\*Excludes electrical work

\*\*Excludes Asbestos Abatement

\*\*\*Cost of scale INCLUDING Barcode/mag stripe/RFID

The lowest bidder was Accurate Superior Scale. The alternate bid items will not be selected with the exception of the annual preventative maintenance program. \$100,000 is budgeted for this project in Fiscal Year 2018 from the 08-Solid Waste Fund for both engineering and installation services.

**RECOMMENDATION:** The City Manager is recommending that the City Council approve the award for the Transfer Station Scale Upgrade Project to Accurate Superior Scale in the amount of \$77,148.

**ATTACHMENTS:** 1 – Tramar Contracting bid proposal  
2 – Accurate Superior Scale bid proposal



CITY OF UNIVERSITY CITY, MISSOURI

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PROPOSAL

THE FOLLOWING PROPOSAL IS HEREBY MADE TO:

City of University City  
Administrative Services Department  
6801 Delmar Boulevard  
University City, Missouri 63130

KNOWLEDGE OF LOCAL CONDITIONS AND CONTRACT DOCUMENTS:

The Undersigned has examined the location of the proposed work, the Drawings, Specifications, and other Contract Documents, and is familiar with the local conditions at the place where the work is to be performed.

BID BOND:

The Bid Bond attached, without endorsement, in the sum of not less than five percent (5%) of the amount of the Proposal is furnished to the Owner as a guarantee that the Contract will be executed and a Contract Bond and Insurance Coverage will be furnished within fifteen (15) calendar days after award of the Contract to the Undersigned.

EXECUTION OF AGREEMENT AND FURNISHING BONDS:

Within fifteen (15) calendar days after being awarded the Contract, the Undersigned agrees to execute the form of the Contract, included as one of the Contract Documents, and to furnish a Contract Bond in an amount equal to 100% of the contract amount to insure the proper and prompt completion of the work in accordance with the provisions of the contract and to insure payment for all labor performed and material consumed or used in the work, and to furnish certificates of insurance. The certificates of insurance shall list the City of University City as additionally insured.

STIPULATED AMOUNT OF BID:

The Undersigned hereby proposes and agrees to furnish all the necessary labor, materials, equipment, tools and services necessary for the construction of the Transfer Station Scale Upgrade together with other incidental work, for the following unit bid prices:

(See following pages).

ITEMIZED PROPOSAL

| UNIVERSITY CITY TRANSFER STATION SCALE REPLACEMENT BID ITEM SUMMARY |             |  |                       |
|---|-------------|--|-----------------------|
| LINE NO.  | ITEM NUMBER | ITEM DESCRIPTION   | COST                  |
| 1   | JSP-E       | TRANSFER STATION SCALE - CONTRACTOR FURNISHED AND INSTALLED ** | 199,000 <sup>00</sup> |

If bid alternatives are included in the above bid, indicate "No Additional Cost" in the Unit Price Below. If necessary, provide comments on these items in the comment section below.

| BID ALTERNATES |                   |  |  |
|----------------|-------------------|--|--|
| 8              | JSP-E SECTION 8.1 | TRANSFER STATION SCALE - BARCODE/MAG-STRIPE/RFID   | 4,700 <sup>00</sup>                          |
| 9              | JSP-E SECTION 8.2 | OFF-SITE DATA TRANSFER ABILITY   | No Additional Cost                           |
| 10             | JSP-E SECTION 8.3 | INSTRUMENT AND SOFTWARE CAPABILITY WITH FUTURE VIDEO CAMERA CONNECTION                               | No Additional Cost                           |
| 11             | JSP-H             | MISC. EXISTING TRANSFER STATION SCALE REMOVAL *  | 39,000 <sup>00</sup>                         |
| 12             | JSP-I             | MISC. CHAIN-LINK FENCE MODIFICATIONS   | 4,300 <sup>00</sup>                          |
| 10             | JSP-J             | MISC. TRENCH AND BACKFILL FOR ELECTRICAL AND DATA CONNECTION   | 14,000 <sup>00</sup>                         |
| 11             | N/A               | ANNUAL PREVENTATIVE MAINTENANCE PROGRAM (ATTACH SAMPLE PROGRAM OUTLINE WITH DETAILED COST BREAKDOWN) | No Bid - Negotiate with scale Company direct |

Comments:

\* Excludes Asbestos Abatement  
 \*\* Excludes electrical work

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**CITY OF UNIVERSITY CITY, MISSOURI**

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**VARIATIONS:**

The Bidder shall identify all variations and exceptions taken to the General Terms and Conditions, the Special Conditions and any Technical Specifications in the space provided below; provided, however, that such variations are not expressly prohibited in the Bid documents. For each variation listed, reference the applicable section of the bid document. If no variations are listed here, it is understood that the Bidder's Proposal fully complies with all terms and conditions. It is further understood that such variations may be cause for determining that the Bid Proposal is non-responsive and ineligible for award:

Page #: \_\_\_\_\_ Item # of Section: \_\_\_\_\_

Variance:

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Variance

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Variance

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Company Name: Tramar Contracting

Name: Steve Groene Position: Asst. Secretary Date: 4/5/18

CITY OF UNIVERSITY CITY, MISSOURI

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ADDENDA:

The Undersigned hereby acknowledges the receipt of the any and all Addenda by attaching a signed copy of the Addenda to this proposal.

CONTRACT TIME:

If awarded the Contract, the Undersigned agrees to complete the work within ninety (90) calendar days of the commencement of the Notice to Proceed, as defined in the General Conditions of the Contract.

RETAINAGE - PAYMENTS TO CONTRACTOR:

From the total amount of work items and material allowances of each estimate, there will be deducted (10%) ten percent. The retained percentage will be released as provide in Section 109 of the Standard Specifications. The net amount due on the estimate will be certified to the City for payment.

LIQUIDATED DAMAGES:

Since time is of the essence in this Contract, it is agreed that the Owner would suffer loss by the failure of the Contractor to have said work completed in all its parts on said day, and as it might be difficult and expensive to accurately compute the amount of such loss, in order to avoid such expense and difficulty, the Contractor expressly covenants and agrees to pay the Owner the sum of \$200.00 per day for each and every day, Sunday and legal holidays only excepted, after said ninety (90) calendar days have expired during or upon which said work or any part thereof remains incomplete and unfinished, not as a penalty but as the liquidated actual losses which the Owner will suffer on account of any failure on the part of the Contractor to have the said work completed in all its parts on said day; and that any sum which may be due the Owner for such losses may be deducted and retained by the Owner from any balance which may be due the Contractor when the said work shall have been finished and accepted as hereinafter provided. It is, however agreed that in case any failure to complete the said work or some part thereof on said day shall be due to any cause beyond the Contractors control, the Engineer may, with the approval of the Owner, grant an extension of time.

If in the opinion of the Engineer any part of the work cannot be carried on to completion because of unsuitable winter weather, work will be suspended by written order and the calendar day count discontinued.

OWNERS RIGHTS RESERVED:

The Undersigned understands that the Owner reserves the right to reject any or all Proposals or to waive any formality or technicality in any Proposal in the interest of the Owner.



**CITY OF UNIVERSITY CITY, MISSOURI**

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PREVAILING WAGE RATES:

It is understood that the schedule of prevailing hourly rate of wages as established by the State Government for St. Louis County, Missouri, and included in the Contract Documents, are to govern on this project, and the Undersigned certifies that he has examined this schedule of wage rates and that the prices bid are based on such established wage rates.

CONTRACTORS DECLARATION:

The Undersigned Bidder hereby represents that he has visited and examined the site of the work and has carefully examined the INVITATION FOR BIDS, INSTRUCTIONS TO BIDDERS, PROPOSAL, CONTRACT, CONTRACT BOND, ALL PROVISIONS AND CONDITIONS FOR THE CONTRACT, SPECIFICATIONS and LOCATION MAPS, and will execute the CONTRACT and perform all its terms, covenants and conditions, and in accordance with the requirements of the Specifications and Drawings.

THE ABOVE PROPOSAL IS HEREBY RESPECTFULLY SUBMITTED BY:

Tramar Contracting Inc.  
CONTRACTOR

Steve Groene  
BY (TYPED OR PRINTED)

Steve Groene  
BY (SIGNATURE)

Asst. Secretary  
TITLE

3051 Mercantile Ind. Dr.  
BUSINESS ADDRESS

St. Charles, MO 63301  
CITY, STATE, ZIP CODE

636-255-0808  
TELEPHONE NUMBER

4-5-2018  
DATE

PLEASE CHECK, IF APPLICABLE, FOR YOUR COMPANY:

MINORITY OWNED

FEMALE OWNED

**CITY OF UNIVERSITY CITY, MISSOURI**

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**PROPOSAL**

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Administrative Services Department  
6801 Delmar Boulevard  
University City, Missouri 63130

KNOWLEDGE OF LOCAL CONDITIONS AND CONTRACT DOCUMENTS:

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BID BOND:

The Bid Bond attached, without endorsement, in the sum of not less than five percent (5%) of the amount of the Proposal is furnished to the Owner as a guarantee that the Contract will be executed and a Contract Bond and Insurance Coverage will be furnished within fifteen (15) calendar days after award of the Contract to the Undersigned.

EXECUTION OF AGREEMENT AND FURNISHING BONDS:

Within fifteen (15) calendar days after being awarded the Contract, the Undersigned agrees to execute the form of the Contract, included as one of the Contract Documents, and to furnish a Contract Bond in an amount equal to 100% of the contract amount to insure the proper and prompt completion of the work in accordance with the provisions of the contract and to insure payment for all labor performed and material consumed or used in the work, and to furnish certificates of insurance. The certificates of insurance shall list the City of University City as additionally insured.

STIPULATED AMOUNT OF BID:

The Undersigned hereby proposes and agrees to furnish all the necessary labor, materials, equipment, tools and services necessary for the construction of the Transfer Station Scale Upgrade together with other incidental work, for the following unit bid prices:

(See following pages).

ITEMIZED PROPOSAL

**UNIVERSITY CITY TRANSFER STATION SCALE REPLACEMENT BID ITEM SUMMARY**

| LINE NO. | ITEM NUMBER | ITEM DESCRIPTION  | COST         |
|----------|-------------|---|--------------|
| 1        | JSP-E       | TRANSFER STATION SCALE - CONTRACTOR FURNISHED AND INSTALLED | \$ 77,148.00 |

*If bid alternatives are included in the above bid, indicate "No Additional Cost" in the Unit Price Below. If necessary, provide comments on these items in the comment section below.*

**BID ALTERNATES**

|    |                   |  |              |
|----|-------------------|--|--------------|
| 8  | JSP-E SECTION 8.1 | TRANSFER STATION SCALE - BARCODE/MAG-STRIPE/RFID   | \$ 23,135.00 |
| 9  | JSP-E SECTION 8.2 | OFF-SITE DATA TRANSFER ABILITY   | \$ 2,238.00  |
| 10 | JSP-E SECTION 8.3 | INSTRUMENT AND SOFTWARE CAPABILITY WITH FUTURE VIDEO CAMERA CONNECTION                               | \$ 22,775    |
| 11 | JSP-H             | MISC. EXISTING TRANSFER STATION SCALE REMOVAL  | N/A          |
| 12 | JSP-I             | MISC. CHAIN-LINK FENCE MODIFICATIONS   | N/A          |
| 10 | JSP-J             | MISC. TRENCH AND BACKFILL FOR ELECTRICAL AND DATA CONNECTION   | N/A          |
| 11 | N/A               | ANNUAL PREVENTATIVE MAINTENANCE PROGRAM (ATTACH SAMPLE PROGRAM OUTLINE WITH DETAILED COST BREAKDOWN) | \$ 350.00    |

Comments:

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**VARIATIONS:**

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Variance

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Page #: \_\_\_\_\_ Item # of Section: \_\_\_\_\_

Variance

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Company Name: \_\_\_\_\_

Name: \_\_\_\_\_ Position: \_\_\_\_\_ Date: \_\_\_\_\_



ADDENDA:

The Undersigned hereby acknowledges the receipt of the any and all Addenda by attaching a signed copy of the Addenda to this proposal.

CONTRACT TIME:

If awarded the Contract, the Undersigned agrees to complete the work within **ninety (90) calendar days** of the commencement of the Notice to Proceed, as defined in the General Conditions of the Contract.

RETAINAGE - PAYMENTS TO CONTRACTOR:

From the total amount of work items and material allowances of each estimate, there will be deducted (10%) ten percent. The retained percentage will be released as provide in Section 109 of the Standard Specifications. The net amount due on the estimate will be certified to the City for payment.

LIQUIDATED DAMAGES:

Since time is of the essence in this Contract, it is agreed that the Owner would suffer loss by the failure of the Contractor to have said work completed in all its parts on said day, and as it might be difficult and expensive to accurately compute the amount of such loss, in order to avoid such expense and difficulty, the Contractor expressly covenants and agrees to pay the Owner the sum of \$200.00 per day for each and every day, Sunday and legal holidays only excepted, after said ninety (90) calendar days have expired during or upon which said work or any part thereof remains incomplete and unfinished, not as a penalty but as the liquidated actual losses which the Owner will suffer on account of any failure on the part of the Contractor to have the said work completed in all its parts on said day; and that any sum which may be due the Owner for such losses may be deducted and retained by the Owner from any balance which may be due the Contractor when the said work shall have been finished and accepted as hereinafter provided. It is, however agreed that in case any failure to complete the said work or some part thereof on said day shall be due to any cause beyond the Contractors control, the Engineer may, with the approval of the Owner, grant an extension of time.

If in the opinion of the Engineer any part of the work cannot be carried on to completion because of unsuitable winter weather, work will be suspended by written order and the calendar day count discontinued.

OWNERS RIGHTS RESERVED:

The Undersigned understands that the Owner reserves the right to reject any or all Proposals or to waive any formality or technicality in any Proposal in the interest of the Owner.

CITY OF UNIVERSITY CITY, MISSOURI

PREVAILING WAGE RATES:

It is understood that the schedule of prevailing hourly rate of wages as established by the State Government for St. Louis County, Missouri, and included in the Contract Documents, are to govern on this project, and the Undersigned certifies that he has examined this schedule of wage rates and that the prices bid are based on such established wage rates.

CONTRACTORS DECLARATION:

The Undersigned Bidder hereby represents that he has visited and examined the site of the work and has carefully examined the INVITATION FOR BIDS, INSTRUCTIONS TO BIDDERS, PROPOSAL, CONTRACT, CONTRACT BOND, ALL PROVISIONS AND CONDITIONS FOR THE CONTRACT, SPECIFICATIONS and LOCATION MAPS, and will execute the CONTRACT and perform all its terms, covenants and conditions, and in accordance with the requirements of the Specifications and Drawings.

THE ABOVE PROPOSAL IS HEREBY RESPECTFULLY SUBMITTED BY:

Accurate Superior Scale  
CONTRACTOR

Rob Hassler  
BY (TYPED OR PRINTED)

Rob Hassler  
BY (SIGNATURE)

Sales Manager  
TITLE

5404 JEDMED CT.  
BUSINESS ADDRESS

St. Louis, MO 63129  
CITY, STATE, ZIP CODE

314-845-7778 ext 314  
TELEPHONE NUMBER

4-4-18  
DATE

PLEASE CHECK, IF APPLICABLE, FOR YOUR COMPANY:

\_\_\_\_\_ MINORITY OWNED

\_\_\_\_\_ FEMALE OWNED



## Council Agenda Item Cover

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**MEETING DATE:** April 26, 2018

**AGENDA ITEM TITLE:** Conditional Use Permit – Amendment of an existing Conditional Use Permit for the proposed expansion of the existing BP gas station at 6700 Olive Boulevard; Applicant – Southside Property, LLC (PC 18-05)

**AGENDA SECTION:** City Manager’s Report

**CAN THIS ITEM BE RESCHEDULED? :** Yes

**BACKGROUND REVIEW:** Attached are the relevant documents for the above-referenced C.U.P. application. The mechanism to accommodate this request for the BP gas station expansion project in the IC – Industrial Commercial District is through an amended C.U.P. as per section 400.2790 of the Zoning Code which requires the submission of a new C.U.P application for amendments other than minor changes. Section 400.2690.A.4 - C.U.P. Application and Plan Requirements states that a site plan in conformance with Article X, Section 400.2600 also be submitted with an application.

The review criteria for a C.U.P. also includes the impact of projected vehicular traffic volumes and site access. In its capacity as an advisory commission on traffic related matters as per Section 120.420 of the Municipal Code, the Traffic Commission reviewed the application and provided a recommendation of approval at their April 11, 2018 meeting.

Section 400.2700 of the Zoning Code requires staff to review the C.U.P. application and prepare a report for the Plan Commission. Subsequently, the Plan Commission shall review the C.U.P. application and conduct a public hearing. Plan Commission held a public hearing and considered the application on March 28, 2018. The C.U.P. was subsequently approved by Plan Commission with conditions. The letter of transmittal from Plan Commission with its recommendation is attached.

A C.U.P. does not require a public hearing at the City Council level. For its approval, this agenda item would require a motion by the City Council.

**Attachments:**

- 1: Transmittal Letter from Plan Commission
- 2: Staff Report with Site Plan and Application Materials

**RECOMMENDATION:** City Manager recommends approval



**Plan Commission**

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 862-6767, Fax: (314) 862-3168

March 29, 2018

Ms. LaRette Reese  
City Clerk  
City of University City  
6801 Delmar Boulevard  
University City, MO 63130

RE: Application for Conditional Use Permit PC 18-05 – amendment of an existing Conditional Use Permit for the proposed expansion of the existing BP gas station at 6700 Olive Boulevard

Dear Ms. Reese,

At its regular meeting on March 28, 2018 at 6:30 pm in the Heman Park Community Center, 975 Pennsylvania Avenue, the Plan Commission conducted a public hearing on the above-referenced application by Southside Property, LLC for a Conditional Use Permit in the "IC" – Industrial Commercial District.

By a vote of 5 to 0, the Plan Commission recommended approval of the application subject to the conditions in Attachment A.

Sincerely,

*Michael Miller*

Michael Miller, Chairperson  
University City Plan Commission



**Department of Community Development**

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 862-6767, Fax: (314) 862-3168

**REVISED STAFF REPORT REVISED**

**REVISED DATE:** *April 16, 2018*  
**MEETING DATE:** March 28, 2018, Plan Commission

**FILE NUMBER:** PC 18-05

**COUNCIL DISTRICT:** 2

**Location:** 6700 Olive Boulevard (southwest corner of intersection of Olive Boulevard and Kingsland Avenue)

**Applicant:** Southside Property, LLC

**Property Owner:** Albert Anderson

**Request:** Conditional Use Permit (C.U.P.) amendment for the proposed expansion of an existing gas station (also including abutting parcel 6714 Olive Boulevard)

**COMPREHENSIVE PLAN CONFORMANCE**

Yes     No     No reference

**STAFF RECOMMENDATION**

Approval     Approval with Conditions in Attachment A     Denial

**ATTACHMENTS:**

- A. Conditions of Approval
- B. Application Documents & Site Plan Drawings

**Existing Zoning:** "IC" – Industrial Commercial District  
**Existing Land Use:** Commercial (BP gas station)  
**Proposed Zoning:** No change – "IC" District  
**Proposed Land Use:** No change – Commercial (BP gas station)

**Surrounding Zoning and Land Use:**

|  |                               |
|--|-------------------------------|
| North: IC-Industrial Commercial District | Commercial/Industrial         |
| East: IC-Industrial Commercial District  | Offices/performing arts space |
| South: IC-Industrial Commercial District | Vacant restaurant             |
| West: IC-Industrial Commercial District  | Industrial                    |

## REVISIONS TO STAFF REPORT

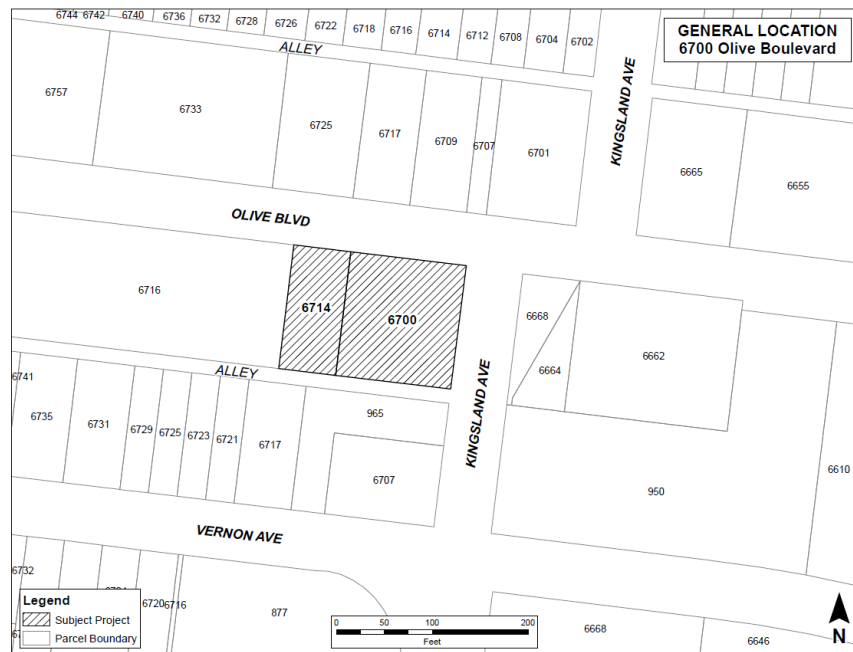
The applicant submitted a revised site plan following the issuance of this staff report but prior to the Plan Commission meeting on March 28, 2018 that addressed staff's comments regarding the provision of additional pervious pavers to lower the proposed site coverage to 80 percent (the maximum allowed through a C.U.P.) when included in the calculation. The revised site plan also includes the provision of one additional vehicle parking space to satisfy the minimum off-street parking requirements, as well as the depiction of the proposed bike racks to accommodate 15 bicycles in order to meet the vehicle parking space exception as set forth in the Zoning Code. Staff feels that the additional pervious pavers proposed compensates for the proposed site coverage and meets the spirit and intent of this requirement. The revised site plan is included in the attachments. The Traffic Commission also recommended approval of the site plan at their April 11, 2018 meeting. The remaining content of this staff report is as it was presented to the Plan Commission.

## Existing Property

The existing gas station parcel at 6700 Olive Boulevard is approximately 0.4 acre. The proposed expansion project includes the abutting parcel to the west at 6714 Olive Boulevard, enlarging the existing gas station site to approximately 0.5 acre upon the completion of a future lot consolidation of the two parcels. The original gas station was reviewed through the Conditional Use Permit (C.U.P.) procedure in 1985 and was unanimously approved, issuing Conditional Use Permit #238. This C.U.P. allowed the construction of a self-service filling station and convenience store, which currently has an interior space of approximately 600 square feet. The gas station currently has four pump islands with eight pumping stations, and there are no delineated parking spaces. The site currently has ingress/egress from two curb cuts along Kingsland Avenue and one curb cut along Olive Boulevard with no accessibility from the adjacent alley to the south.

## Applicant's Request

The current request is for a C.U.P. amendment for the proposed expansion of the existing gas station and convenience store in the "IC" – Industrial Commercial District onto the abutting parcel to the west (6714 Olive Boulevard). Except for minor changes, amendments to existing Conditional Use Permits require the submission of a new C.U.P. application as per section 400.2790 of the Zoning Code.



The proposed expansion project is intended to provide a higher capacity of existing services to its patrons while also providing aesthetic improvements for the neighborhood. The proposed interior will feature a

larger retail area than the existing convenience store, a larger sales counter, self-serve beverage stations, and restrooms. Neither interior nor exterior seating areas are proposed. The proposed operation would be accessible 24 hours, which is the same as the existing facility.

The exterior of the convenience store is proposed to be of concrete block veneer, and the proposed trash enclosure would be of the same material. Signage proposed for the expanded facility is included for reference and will be reviewed for compliance upon the submission of separate sign permits.

Section 400.2690.A.4 - C.U.P. Application and Plan Requirements states that a site plan in conformance with Article X, Section 400.2600 also be submitted with an application.

### **Process – Required City Approvals**

Plan Commission. Section 400.2700.C of the Zoning Code requires that C.U.P. applications be reviewed by Plan Commission. The Plan Commission shall make a recommendation to the City Council for their consideration. A public hearing is required at the Plan Commission meeting.

City Council. Section 400.2700.D of the Zoning Code requires that C.U.P. applications be reviewed by City Council for the final decision, subsequent to the public hearing and recommendation from Plan Commission. In conducting its review, City Council shall consider the staff report, Plan Commission's recommendation, and application to determine if the proposed C.U.P. application meets the requirements of the Zoning Code.

### **Other Processes**

Traffic Commission - The review criteria for a C.U.P. includes the impact of projected vehicular traffic volumes and site access with regard to the surrounding traffic flow, pedestrian safety, and accessibility of emergency vehicles and equipment. In its capacity as an advisory commission on traffic related matters as per Section 120.420 of the Municipal Code, the Traffic Commission may be concerned with the parking and traffic impact of the project. As such, this proposed project was submitted to the Traffic Commission for review and recommendation at their April 11, 2018 meeting. Both Olive Boulevard and Kingsland Avenue are St. Louis County roads adjacent to this project, and the applicant is complying with the County's requirements.

### **Analysis**

An amended C.U.P. is required for the proposed expansion of the existing gas station and convenience store, which is expanding onto the abutting parcel to the west at 6714 Olive Boulevard. Except for minor changes, amendments to existing Conditional Use Permits require the submission of a new C.U.P. application as per section 400.2790 of the Zoning Code. The C.U.P. to be amended is Conditional Use Permit #238 that was originally approved in 1985 for the construction of the self-service filling station and convenience store at 6700 Olive Boulevard in the "IC" – Industrial Commercial District, of which the Zoning Code establishes gas stations and convenience stores as conditional uses within the district.

Setback regulations as per Section 400.640 of the Zoning Code require a minimum right-of-way setback of 15 feet for buildings located along a right-of-way if no parking areas are located between the street right-of-way and any principal or accessory building. The proposed site plan does not propose parking along the street frontage of either Olive

Boulevard or Kingsland Avenue and is therefore in compliance. No minimum property line setback is required in the "IC" District; however, where a property line setback is not required, but a building is set back off the property line, it shall be set back at least five (5) feet. The proposed site plan depicts a setback of at least five feet from the south and west property limits and is in compliance. The proposed height of the convenience store is approximately 17, feet which is in compliance and within the maximum building height limitation of 35 feet as per this section of the Code.

Eighteen off-street parking spaces are required for the proposed plan as per Section 400.2140 of the Zoning Code. Sections 400.2130.I and 400.2130.J allow for exceptions to reduce the required number of parking spaces for proximity to transit stops and provision of bicycle parking space, respectively. Application of these exceptions reduces the required number to thirteen (13) parking spaces. The proposed site plan indicates twelve (12) parking spaces provided. A further analysis of the parking space requirements is provided below. The existing gas station currently does not have parking spaces delineated.

Zoning Code Section 400.1200 requires screening for the ground-mounted mechanical or electrical equipment from adjoining streets and neighboring properties, as well as for outside storage of rubbish and garbage on all four sides by an architecturally compatible fence or wall not to be chain-link fencing. The proposed trash enclosure and decorative fence and landscaping required as per the Olive Boulevard Design Guidelines satisfy this screening requirement. The applicable parking area setback for the proposed development is five (5) feet from the property line to be landscaped, exclusive of access drives, as per Section 400.2020 of the Zoning Code. The proposed parking area setbacks are found to be in compliance with this requirement.

The proposed site coverage of the development is 94 percent, which is less than the existing site coverage of both parcels to be included (98 percent). Section 400.640 of the "IC" District regulations establishes a maximum site coverage of 70 percent for developments encompassing 20,000 square feet or greater of land, which can be increased up to 80 percent under the Conditional Use Permit procedure. In an effort to satisfy the spirit and intent of the site coverage requirement, the applicant proposes an eleven foot wide strip of the parking area along the southern property limit to be constructed of pervious pavers. The landscaping of the proposed site plan enhances this prominent corner of the neighborhood by incorporating greater aesthetically pleasing elements and foliage, and it is also a lower site coverage than the current condition. A further analysis of the site coverage requirement is provided below.

The proposed development also possesses one or more criteria that trigger the Olive Boulevard Design Guidelines as per Section 400.650.N of the Zoning Code. The applicant was provided with the Olive Boulevard Design Guidelines document and the accompanying Olive Boulevard Design Standards to incorporate in the development's design. Significant features required as per these documents include enhanced aesthetics along Olive Boulevard, including but not limited to lighting, fencing, and landscaping, as well as signage regulations which will be more thoroughly reviewed upon the submission of separate sign permits.

Per Section 400.2700 of the Zoning Code pertaining to City Council's Action of the Conditional Use Permit procedure, the City Council has the ability to adjust the standards set forth in the Zoning Code by 20 percent provided that it still meets the spirit and intent of such



standards. The following items discussed of the proposed site plan may not meet the Zoning Code requirements due to dimensional challenges of the development site, although the applicant has demonstrated efforts above and beyond the requirements that meet the spirit and intent of the Zoning Code. These items may be approved as per the discretion of the City Council in the manner stated above:

- With the exceptions applied as noted earlier in this analysis, the required number of parking spaces for this development is 13 spaces. The required number of parking spaces cannot be met on this site due to the dimensional challenges presented. Application of the Zoning Code for the additional space required will negatively impact the traffic flow and circulation of the site. The existing site does not have parking spaces delineated, and the provision of twelve parking spaces in addition to the twelve pumping stations depicted on the proposed site plan are an improvement and allow for adequate traffic flow through the site.
- Traffic flow and circulation will also be negatively impacted with strict application of the Zoning Code regarding maximum site coverage. The proposed site coverage of 94 percent is lower than the existing condition of both properties to be included in the development, and this calculation does not factor the 11 foot wide strip of pervious pavers along the southern property limit, which is above and beyond the requirements of the Zoning Code in an effort to satisfy the spirit and intent of the regulation.

It is staff's opinion that the proposed project is reasonable and appropriate at this location and would not be detrimental to the surrounding area.

Public Works & Parks: This department has reviewed the proposed site plan in regards to general construction, sewer, stormwater, and erosion control, forestry, and site conditions. The proposed C.U.P. will be presented to Traffic Commission for comments related to traffic impact at the April 11, 2018 meeting in accordance with Chapter 120 of the City Code. All other comments have been resolved.

Fire Department: No comment.

Police Department: No comment.

### **Public Involvement**

A public hearing at a regular Plan Commission meeting is required by the Zoning Code. The public hearing notice for the current proposal was published in the newspaper 15 days prior to the meeting date and was mailed to property owners within 200 feet of the subject property, exceeding the required distance of 185 feet. Signage was also posted on the subject property with information about the public hearing. Any member of the public will have an opportunity to express any concerns by writing in or attending the Plan Commission meeting.

### **Staff Recommendation**

Based on the preceding considerations, staff is of the opinion that the proposed gas station and convenience store expansion project, as shown on the Site Plan and application materials, is appropriate at this location and complies with the Conditional Use Permit findings of fact as set forth in Section 400.2720 of the Zoning Code with the exceptions noted

above. The applicant proposes features above and beyond the requirements of the Zoning Code in an effort to satisfy the spirit and intent of the regulations that cannot be met due to dimensional challenges that may negatively impact traffic flow and circulation. Given these considerations, staff recommends approval of this request subject to the conditions set forth in Attachment A.

ATTACHMENT A  
Conditional Use Permit – PC 18-05 – Conditions of Approval  
6700 Olive Boulevard

**[Except as noted herein below, other codes and regulations of the City of University City shall apply.]**

Department of Community Development

1. PERMITTED USES

The uses permitted by this Conditional Use Permit shall include a gasoline station and one-story convenience store establishment not exceeding 3,780 gross square feet.

2. HOURS OF OPERATION

The proposed facility is a 24 hour operation as is the existing facility. Any modification of the hours of operation shall require written approval from the Department of Community Development.

3. SIGNAGE

A sign permit shall be required prior to the installation of any signage associated with the proposed use. All signage shall comply with the regulations set forth in Article 8 of the Zoning Code.

4. LIGHTING

Lighting of all exterior areas, including parking areas, shall comply with Section 400.2110 of the Zoning Code, and shall be designed to be compatible with the surrounding area, shall be shaded to direct light downward and away from abutting uses, adjoining properties and streets.

5. CURB CUTS

Curb cuts shall be approved by the proper State and/or County agencies. If there is a substantial change in site design caused by those approvals, the applicant shall resubmit the changes to the City for applicable review and approval.

6. SPEAKERS

Any exterior speakers shall be operated so that the volume of the service speaker as well as noise from patrons shall not be perceptible beyond the property lines of the business.

## 7. LITTER AND DEBRIS

The operator of the business shall regularly police the site and the area adjacent to the restaurant to remove litter and debris. Trash containers for patron use shall be available on the premises at all times and adequately disposed of by the business. The refuse containers and surroundings shall be maintained in a clean condition.

## 8. EXHAUST SYSTEM

If applicable, an exhaust system shall be installed and/or other means shall be taken to prevent any food preparation odors or cooking odors from being perceptible beyond the lot lines of the property on which the business is located. The exhaust system shall be maintained in a clean condition by regularly scheduled cleaning of the system.

## 9. CONSTRUCTION TRAFFIC CONTROL/PARKING PLAN

A detailed construction traffic control and parking plan should be submitted to the Director of Planning for approval. Said plan shall set forth details pertaining to worker and resident parking during all phases of the proposed construction. It shall further detail solutions to public property maintenance issues such as street cleaning and traffic diversion. Said plan shall be finalized prior to the issuance of a building permit.

## 10. LOT CONSOLIDATION

A consolidation of the two parcels proposed for the stated development should be submitted to the Department of Community Development and executed prior to the issuance of a building permit.

## 11. PERVIOUS SURFACES

At least fourteen (14) percent of the site should be comprised of pervious pavers or other pervious material. Reducing the amount of pervious surfaces by fourteen percent, in addition to the landscaped areas indicated on the site plan, will decrease the total maximum site coverage of pervious surfaces from 94 percent to the maximum allowable site coverage approved through a C.U.P. of 80 percent.

## 12. OLIVE BOULEVARD DESIGN GUIDELINES

All applicable sections of the Olive Boulevard Design Guidelines and Olive Boulevard Design Standards shall be in compliance for the proposed development.

### 13. OTHER REQUIREMENTS

All appropriate permits [e.g. building, mechanical, electrical, and plumbing] must be obtained prior to the start of any and all construction. The applicant must adhere to all requirements of the Building Code.

#### Department of Public Works and Parks

1. All pedestrian facilities shall comply with the Americans with Disabilities Act (ADA).
2. If work will occur in the right-of-way, a traffic control plan is required.
3. If a sidewalk closure will be necessary, provide a plan for re-routing.
4. All concrete in right-of-way shall be removed back to next construction joint-no intermediate saw cutting allowed
5. Provide erosion control where necessary
6. Any work – permanent or temporary – will require a right-of-way permit and/or approval by the Department of Public Works and Parks.
7. Contractor shall make sure the sidewalk closed ahead sign is at Ferguson and Olive headed east so the pedestrians can cross at a safe crossing, this will go for Kingsland and Vernon.

#### Fire Department

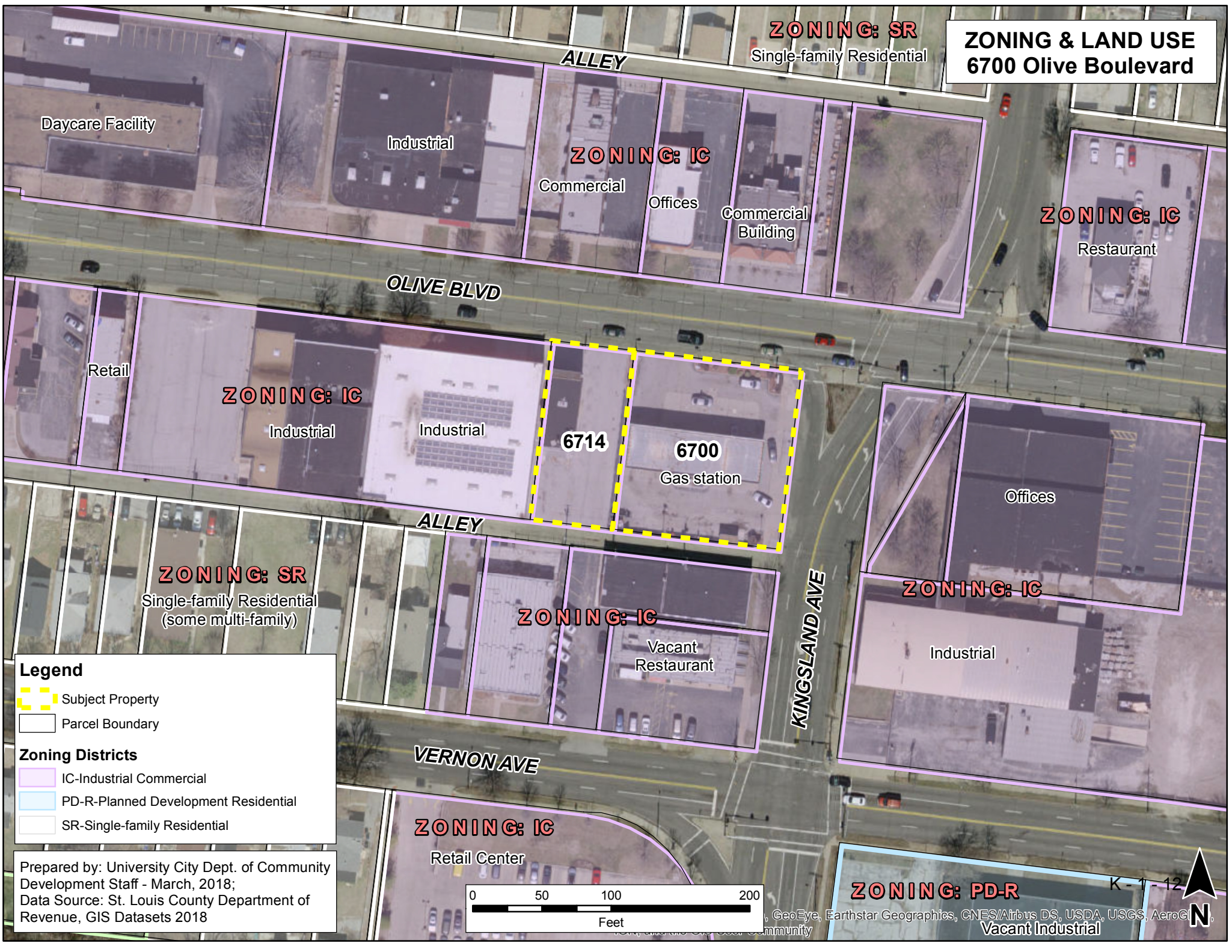
No Comments

#### Police Department

No Comments



**ZONING & LAND USE**  
**6700 Olive Boulevard**



**ZONING: SR**  
 Single-family Residential

ALLEY

Daycare Facility

Industrial

**ZONING: IC**  
 Commercial  
 Offices

Commercial Building

**ZONING: IC**  
 Restaurant

OLIVE BLVD

Retail

**ZONING: IC**

Industrial

Industrial

6714

6700

Gas station

Offices

ALLEY

**ZONING: SR**  
 Single-family Residential  
 (some multi-family)

**ZONING: IC**

Vacant  
 Restaurant

KINGSLAND AVE

**ZONING: IC**

Industrial

VERNON AVE

**ZONING: IC**

Retail Center

**ZONING: PD-R**

Vacant Industrial

**Legend**

-  Subject Property
-  Parcel Boundary

**Zoning Districts**

-  IC-Industrial Commercial
-  PD-R-Planned Development Residential
-  SR-Single-family Residential

Prepared by: University City Dept. of Community Development Staff - March, 2018;  
 Data Source: St. Louis County Department of Revenue, GIS Datasets 2018







Department of Community Development

6801 Delmar Boulevard • University City, Missouri 63130 • 314-505-8500 • Fax: 314-862-3168

APPLICATION FOR CONDITIONAL USE PERMIT
Under Article 11 of the Zoning Code of University City, Missouri

1. Address/Location of Site/Building: 6700 Olive Blvd.

2. Zoning District (check one):

SR LR MR HR HRO GC LC CC x IC PA PD

3. Applicant's Name, Corporate or DBA Name, Address and Daytime Telephone:

Southside Properties LLC St. Louis, LLC, 6700 Olive Blvd.
University City MO, / 314-222-3448

4. Applicant's Interest in the Property: x Owner Owner Under Contract Tenant\*
Tenant Under Contract\* Other\* (explain):

\* Please Note: Zoning Code Section 400.2680 requires that the application may only come from one (1) or more of the owners of record or owners under contract of a lot of record (or zoning lot), or their authorized representative. If you are applying as a tenant, tenant under contract or other, you must attach a letter from the owner stating you are an authorized representative of them and they give you permission to file this application for Conditional Use on their behalf.

5. Owner's Name, Corporate or DBA Name, Address and Daytime Telephone, if other than Applicant:

Albert Anderson, 8725 Clifton Ave. St. Louis, MO
Phone No. 314-222-3448

6. Please state, as fully as possible, how each of the following standards are met or will be met by the proposed development or use for which this application is being made. Attach any additional information to this application form.

a) Complies with all applicable provisions of the University City Zoning Code (e.g. required yards and setbacks, screening and buffering, signs, etc.).

Please see attached 6a.

b) At the specific location will contribute to and promote the community welfare or convenience.

Please see attached 6b.

c) Will not cause substantial injury to the value of neighboring property.

The improvement will not cause any injury to the neighboring property. The neighboring property is an industrial building and small businesses where workers will benefit from the improvements location.

d) Is consistent with the Comprehensive Plan, neighborhood development plan (if applicable), and any other official planning and development policies of the City.

Any policy requirement of the City to adhere to St. Louis County roadway and traffic signal standards for the this improvement was followed.

e) Will provide off-street parking and loading areas in accordance with the standards contained in Article 7 of the University City Zoning Code

A 13 foot by 25 foot loading zone is provided on the Site Plan sheet C2.

\*\* Please Note: You should also submit twelve (12) copies of a memo detailing the following information:

- 1) Description of the proposed Conditional Use, in narrative form. Please include historical information about the applicant, the company and/or the organization. Explain why this particular site was chosen for the proposal, state the number of employees that will be working at the site, state the hours of operation, explain other features unique to the proposed use and submit any other information that will help the Plan Commission and City Council in their decisions.
- 2) Estimated impact of the conditional use on the surrounding properties and adjacent streets, including, but not limited to, average daily and peak hour traffic generation, existing traffic volumes of adjacent streets, if available, use of outdoor intercoms, and any other operational characteristics of the proposed use that may have impacts on other adjacent or nearby properties.
- 3) Legal description of the property(s) proposed for the Conditional Use Permit, when the proposed use involves a substantial addition or new construction.

A Public Hearing before the Plan Commission is required by Ordinance. Notice of such Public Hearing must be published in a newspaper of general circulation at least fifteen (15) days in advance. Upon receipt of a Plan Commission Recommendation, the City Council must consider this application and supporting information before a Use Permit may be granted. A fee of \$250 must accompany this application.

Date

Applicant's Signature and Title

Representing (if applicable)

FOR OFFICE USE ONLY

Application First Received.

Application Fee in the Amount of \$

Receipt #

Application returned for corrections, additional data.

Final complete application received.

File # created.



**Department of Community Development**  
**Application for Site Review**  
**Address: 6700 Olive Blvd.**

Item 4.

Contractor shall set up all fencing necessary to block of construction area.

1. Contractor will set up erosion control plan.
2. Contractor shall remove existing convenience store, underground tanks, motor fueling pumps, pavement and all other existing affects.
3. Contractor shall perform proposed building construction, underground tanks, etc.
4. Contractor shall remove street pavement for island and turning movement alterations.
5. Contractor shall complete site improvements.
6. Contractor shall remove erosion control and fencing.

6a.cont.

The site complies with all applicable provisions of the University City Zoning Codes as required for convenient store and gas stations. Moreover, the existing site will be updated to meet the current requirements of the Zoning Codes or ask for a less stringent requirements due to project specifics.

6b.cont.

The convenient store / gas station serves the surrounding neighborhood it occupies. It appears that this location, although not blighted, could use a well needed aesthetically pleasing improvement. The new improvement brings a sense of pride to the neighborhood by providing ample landscaped area enhancing the greenery in the area.



# PROPOSED CONVENIENT STORE FUELING PUMP STATION (6700 OLIVE BLVD)

- All dimensions should be taken from dimension text and not scaled. All dimensions are to the face of curb unless otherwise noted.
- All sidewalk construction shall conform to St. Louis County and American with Disabilities Act (ADA) standard Construction Standards Construction Standards.
- All sewer construction standards, materials, and specifications shall be in accordance with MSD Standard Construction Specifications for Sewer and Drainage Facilities, 2009.
- All proposed improvement to be constructed to County of St. Louis and University City Standards.
- Any discrepancies between recorded data and field data should be brought to the attention of the owner prior to construction.
- Contractors to coordinate utility connections between interior and exterior building connections.
- All utility companies shall be notified by the contractor prior making connections.
- The developer is advised that utility companies will require compensation for relocation of these utility facilities within the public road right-of-way. Utility relocation costs shall be considered the developer's responsibility. The developer should also be aware of extensive delays in utility company relocation and adjustments. Such delay will not constitute a cause to allow occupancy prior to completion of improvements.
- Improvements indicated on these plans are reflective of the developer having ownership of all of the parcels within the tract of land being developed. The engineer assumes no liability for improvements done by the developer prior to obtaining ownership of tracts shown in the improvement plan.
- Telephone and cable television services are not included on the plans the builder must contact the respective utility companies concerning new services.
- Joining material for Polyvinyl Chloride (PVC) Sanitary Sewer shall conform to ASTM Specification D-3512. All polyvinyl chloride (PVC) pipes shall conform to ASTM D-3034, Type FSN with a SDK rating of 35, or lower.
- Trenches under existing pavement and under areas to be paved shall be back filled with 2" minus crushed limestone and compacted to 95% of the maximum dry density as determined by the modified proctor test.
- All manhole and inlet tops built with elevation furnished by the engineer will be the responsibility of the Sewer Contractor. At the time of construction stockades of the sewer lines, all curb and grate inlets will be concrete stock, provided steel stakes are needed. Traps of manholes, inlets, valve boxes, etc., shall conform to Finished Grade. Staking services are not provided in the design contract.
- When P.V.C. pipe is used, appropriate rubber seal water stop, as approved by the sewer district, shall be installed between P.V.C. pipe and masonry (concrete or brick) structure.
- It is the contractor's responsibility to confirm the location of existing utilities and/or underground facilities by notifying utility companies prior to construction.
- Gas, water and other underground utilities shall not conflict with the depth or horizontal locations of existing and proposed sanitary and storm sewers including building inlets.
- Maintenance of the sewer designated as "public" shall be the responsibility of the Metropolitan St. Louis Sewer District upon dedication of the sewer to the District.
- The Contractor shall obtain all necessary permits to accomplish this work. The cost of these permits shall be included in the contract amount.
- The Contractor shall obtain permission from all owners outside of the property lines within the project area prior to using their properties to store or stockpile materials, grade and/or disturb. The engineer is not responsible for the contractor not obtaining permission from the adjacent property owners.
- Contractor's insurance requirements: Prior to obtaining a construction permit from the Metropolitan St. Louis Sewer District, the contractor shall be required to provide the District with a copy of an executed Certificate of Insurance indicating that the permit has obtained and will continue to maintain the minimum required amount of insurance. The contractor shall also provide a copy of the contract and the Requirements and Limits shall be stated in the "Professional Regulation and Engineering Design (addendum)/Drainage Facility". Section 10.100.

- All excavations, grading, or filling shall have a finished grade not to exceed a 3:1 slope (33%).
- Temporary Siltation Control measures (silt fence or straw bales) shall be maintained until vegetative cover is established at a sufficient density to provide erosion control on the site.
- Upon completion of storm sewer, siltation control shall be provided around all open sewer inlets and shall remain until the disturbed drainage area has been properly stabilized.
- The contractor shall maintain or match the existing sidewalk grade. Within public right-of-way unless otherwise noted.
- All contours are to finished pavement grade. Sub grade and top of rock grade to be obtained by subcontracting pavement thickness and rock thickness.
- If a building is installed, all sidewalks shall slope away from buildings at a minimum of 2%.
- Contractor shall restore all disturbed areas per landscape requirements. Disturbed areas in the city right-of-way shall be restored per University City and St. Louis County requirements.
- The contractor shall contact the street department prior to the removal of any curbing, street pavement and/or sidewalk in the public right-of-way.
- Sidewalk damaged outside of the project limits by the contractor shall be replaced by the contractor in-kind. All replacements shall meet City of University City and St. Louis County St. Louis standards.
- Sidewalk shall be replaced on the nearest joint. NO EXCEPTIONS. All concrete in the ROW shall be removed back to the next construction joint and no intermediate saw cutting is allowed.
- Failure to set the proposed slab at the recommended slab elevation may result in problems connecting to the existing sanitary sewer system and/or drainage problems.
- Contractor to reseed all disturbed areas after construction is complete.
- Contractor to coordinate downspout connection locations with canopy plans.
- Granite curb damaged outside of the project limits shall be replaced per City of St. Louis details.
- In all areas where sewer and appurtenances are to be constructed in filled ground the fill will be replaced to approximate finish grade and compacted to 90% of the maximum dry density, prior to the excavating and installing pipe.
- Grading on properties outside of the development is permitted only with the property owners permission. The engineer is not responsible for the developer failing to obtain permission from the adjoining property owners.
- All grades shall be within 0.2 feet of those shown on the grading plan.
- All soil tests shall be verified by a soil engineer concurrent with the grading and backfilling operations.
- Design of shoring for utility and trenches is the responsibility of the contractor.
- Contractor to verify any existing wyes to be used in place are active open wyes (not blocked). Use of existing wyes must be approved by the MSD Field Inspector prior to connection.
- Contractor to verify any construction shall be installed as needed during demolition and construction activities or as directed by the City and per Traffic Control Standards of St. Louis County.
- Barriercas and/or construction fences shall be installed as needed during demolition and construction activities or as directed by the City and per Traffic Control Standards of St. Louis County.
- Disturbed off-site turf areas shall be restored with sod of the same species or kind as that disturbed.
- Any wells, cisterns, septic tanks/fields and similar systems within the limits of the demolition must be removed, filled and/or sealed in accordance applicable state and/or local agency regulations.
- Any wells, cisterns, septic tanks/fields and similar systems within the limits of the demolition must be removed, filled and/or sealed in accordance applicable state and/or local agency regulations.
- The contractor shall contact Ameron U.L. prior to the start of construction to verify the extent of utility relocation work required for this project. The cost for the relocation work shall NOT be included in the bid price as this is a direct cost to the owner.
- Contractor to protect the existing power pole and guy wire during grading operation.
- The removal and replacement or rehabilitation of the existing structures will be determined by the MSD Field Inspector. If the structure is to remain in place then the top shall be adjusted to grade if needed. The contractor shall be responsible for the removal and replacement of this structure in the contractors bid for scope for in the proposal. If the structure is to remain in place the cost for removal and replacement of the structure shall be credited back to the owner.
- Use M.S.D. 2009 Standards and Construction Details.
- All pavement to be removed shall be Replaced in Kind per St. Louis County Standards.
- Any further land disturbance and/or increase in impervious area on this site may require additional storm water management per MSD regulations in place at that time (including total land disturbance and/or impervious added on this plan).
- Contractor shall provide by-pass pumping as necessary to construct any new sanitary sewers.

- All proposed improvements shall be constructed to St. Louis County Standards.
- No slope within St. Louis County right-of-way shall exceed 3 (horizontal) to 1 (vertical).
- Storm water shall be discharged at an adequate natural discharge point. Sinkholes are not adequate discharge points.
- Required access to St. Louis County roads shall meet minimum St. Louis County sight distance requirements.
- All sidewalks and associated accessibility improvements within right-of-way shall be constructed to St. Louis County ADA Standards.
- A signed/sealed note shall be added to the Construction Plans indicating that the unimproved existing sidewalk/paved area along the project frontage meets current St. Louis County ADA standards.
- All hydrants, power poles or other potential obstructions within the St. Louis County and MSD Standards shall have a minimum two (2) foot setback from face of curb or edge of pavement, as directed by the St. Louis County Department of Highway and Traffic.
- Any entity that performs work on St. Louis County maintained property shall provide the County with a Certificate of Insurance evidencing general liability coverage (bodily injury and property damage) in the amounts specified as the limits of liability set by the State for public entities. Such certificates shall include St. Louis County as an additional insured and shall be provided prior to the issuance of any permit. Certificate shall provide for a 30 day policy cancellation notice to St. Louis County. Upon request, the County will provide the specific amounts for both per person and per occurrence limits.
- Prior to Special Use Permit issuance by the St. Louis County Department of Highway and Traffic, a special cash review or a special security deposit by an irrevocable Letter of Credit, may be required to be established with the St. Louis County Department of Highway and Traffic to guarantee completion of the required roadway improvements.
- Continuous pedestrian access shall be provided during the construction process. Prior to the start of construction, adequate pedestrian access around the site shall be provided and verified. No existing sidewalk shall be removed without providing adequate pedestrian facilities and routes during construction activities.

**UTILITY NOTE**

Underground facilities, structures and utilities have been plotted from available surveys and records and therefore, do not reflect the actual existence, nonexistence, size, type, depth, number or location of these facilities, structures and utilities. The verification of the location of all underground facilities, structures and utilities either shown or not shown on these plans shall be the responsibility of the contractor. The contractor shall verify the location of all underground facilities, structures and utilities shall be located in the field prior to any grading excavation or construction of any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319 RSMo.

**Call BEFORE you Dig**  
TOLL FREE  
1-800-344-7483  
MISSOURI ONE-CALL SYSTEM, INC.

**THOMPSON CIVIL, LLC**

906 OLIVE ST., SUITE 902  
ST. LOUIS, MISSOURI, 63101  
PHONE: 314-724-3127  
EMAIL: lorenzo.thompson@tcivil.com  
CORPORATE SEAL NO. 2016035943



**STANDARD CONSTRUCTION:**

All storm and sanitary sewer structures and appurtenances to be dedicated to MSD, or to be Private Under MSD Inspection, shall conform to the Metropolitan St. Louis Sewer District, Standard Construction Specifications for Sewers and Drainage Facilities, 2009. That will include Standard Details shown therein, and shall include all subsequent changes made therein.

Some recent changes concern Pipe Field Testing and performance, and include the following:

**PART 4 - PIPE SEWER CONSTRUCTION**

Section B, Pipe Field Tests, Paragraph 2, Reach Integrity Testing - delete the first sentence and the following replacement applies:

All sanitary and combined sewers shall sustain a maximum leakage limit of 100 gallons/inch of pipe diameter/minute of line/day, as required by the Missouri Department of Natural Resources Specifications.

Section B, Pipe Field Tests, Paragraph 2, Reach Integrity Testing, Subparagraph c, Infiltration/Exfiltration Testing - delete the sixth sentence, concerning leakage limits, and the following replacement applies:

The measurement of leakage shall not exceed 100 gallons/inch of pipe diameter/minute of line/day, as required by the Missouri Department of Natural Resources Specifications.

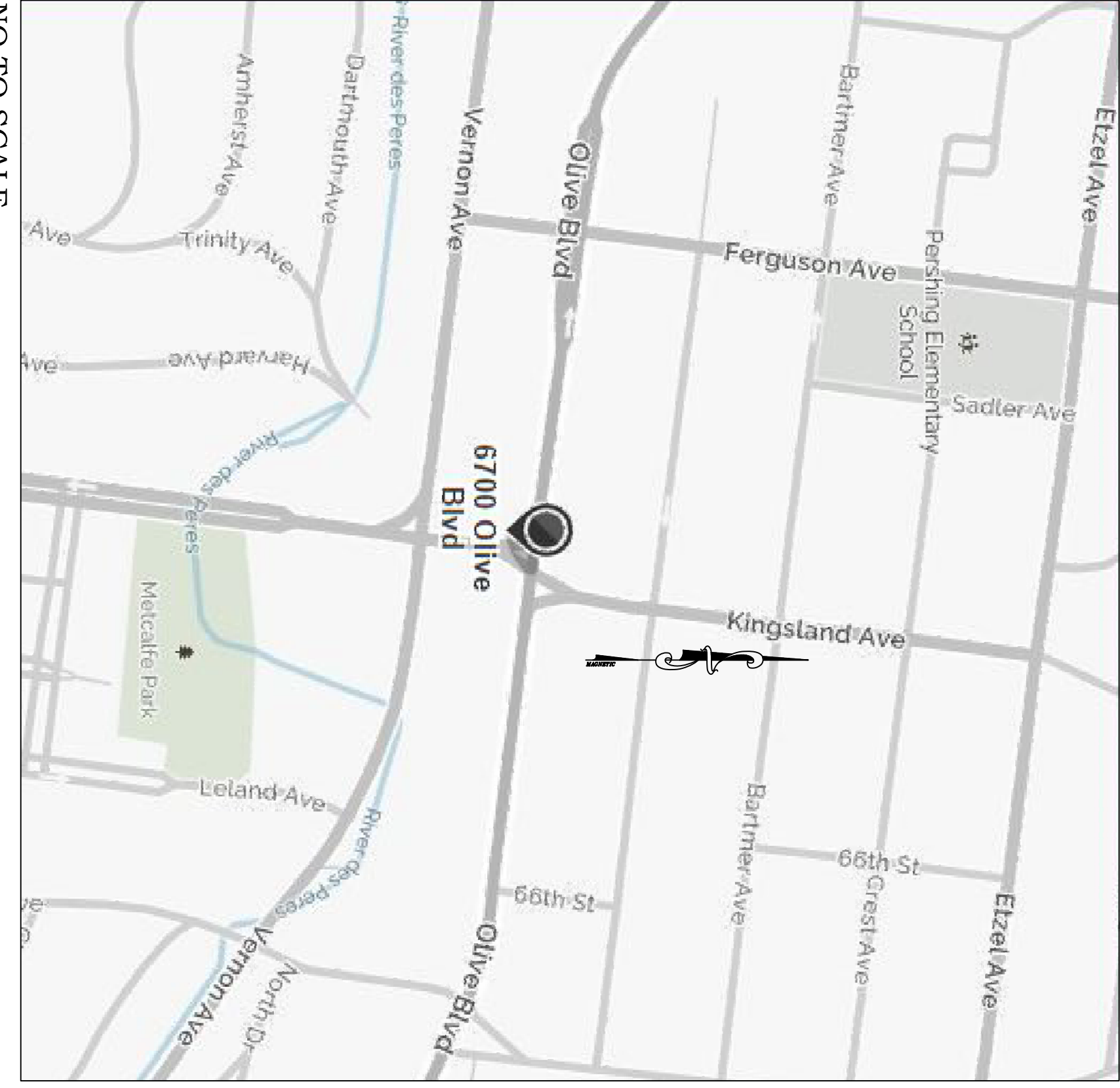
Section B, Pipe Field Tests, Paragraph 4, Manhole Testing, Subparagraph a, Vacuum Testing - after the first sentence, the following addition applies:

The vacuum test must be performed prior to back filling around the manhole unless the contractor provides documentation from the precast manhole manufacturer stating that the manhole may be vacuum tested after backfilling has taken place. The contractor must submit this documentation prior to backfilling around any manhole.

Section B, Pipe Field Tests, Paragraph 4, Manhole Testing, Subparagraph a, Exfiltration Testing - delete the second sentence, concerning leakage limits, and the following addition applies:

For exfiltration testing, the allowable leakage limit is 100 gallons/inch of pipe diameter/minute of line/day when the average head on the test section is three feet (3') or less.

**LOCATION MAP**



**NO TO SCALE**

**LOCATION MAP**

**SHEET INDEX**

| SHEET NO. | SHEET NAME                     |
|-----------|--------------------------------|
| C0        | COVER/GENERAL NOTES SHEET      |
| COE       | EXISTING CONDITIONS            |
| C1        | CIVIL DEMOLITION PLAN          |
| C2        | CIVIL SITE/UTILITY PLAN        |
| C3        | CIVIL GRADING/STORM SEWER PLAN |
| C4        | SEWER PROFILES                 |
| C5        | SITE DETAILS                   |
| C6        | PRE DEVELOPMENT RUNOFF         |
| C7        | POST DEVELOPMENT RUNOFF        |
| C8        | TRAFFIC CONTROL PLAN           |

**COUNTY CONCEPT NOTES**

- All proposed improvements shall be constructed to St. Louis County Standards.
- No slope within St. Louis County right-of-way shall exceed 3 (horizontal) to 1 (vertical).
- Storm water shall be discharged at an adequate natural discharge point. Sinkholes are not adequate discharge points.
- Required access to St. Louis County roads shall meet minimum St. Louis County sight distance requirements.
- All sidewalks and associated accessibility improvements within right-of-way shall be constructed to St. Louis County ADA Standards.
- A signed/sealed note shall be added to the Construction Plans indicating that the unimproved existing sidewalk/paved area along the project frontage meets current St. Louis County ADA standards.
- All hydrants, power poles or other potential obstructions within the St. Louis County and MSD Standards shall have a minimum two (2) foot setback from face of curb or edge of pavement, as directed by the St. Louis County Department of Highway and Traffic.
- Any entity that performs work on St. Louis County maintained property shall provide the County with a Certificate of Insurance evidencing general liability coverage (bodily injury and property damage) in the amounts specified as the limits of liability set by the State for public entities. Such certificates shall include St. Louis County as an additional insured and shall be provided prior to the issuance of any permit. Certificate shall provide for a 30 day policy cancellation notice to St. Louis County. Upon request, the County will provide the specific amounts for both per person and per occurrence limits.
- Prior to Special Use Permit issuance by the St. Louis County Department of Highway and Traffic, a special cash review or a special security deposit by an irrevocable Letter of Credit, may be required to be established with the St. Louis County Department of Highway and Traffic to guarantee completion of the required roadway improvements.
- Continuous pedestrian access shall be provided during the construction process. Prior to the start of construction, adequate pedestrian access around the site shall be provided and verified. No existing sidewalk shall be removed without providing adequate pedestrian facilities and routes during construction activities.

**NOTE:** ANY FUTURE LAND DISTURBANCE AND/OR INCREASE IN IMPERVIOUS AREA ON THIS SITE MAY REQUIRE ADDITIONAL STORM WATER MANAGEMENT PER MSD REGULATIONS IN PLACE AT THAT TIME (INCLUDING TOTAL LAND DISTURBANCE AND/OR IMPERVIOUSNESS ADDED ON THIS PLAN).

TOTAL LAND DISTURBANCE = 0.5406 ACRES  
TOTAL IMPERVIOUS AREA = 0.5326 ACRES

**CLIENT:** ANDERSON DESIGN CONSULTANTS, LLC 8725 CLIFTON AVE., ST. LOUIS MISSOURI

**SHEET TITLE:** COVER

**PROJECT:** SITE IMPROVEMENT PLANS FOR: 6700 OLIVE BLVD. UNIVERSITY CITY, MISSOURI

**REVISIONS:**

| NO.  | DESCRIPTION | DATE |
|------|-------------|------|
| #### | ####        | #### |
| #### | ####        | #### |
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| #### | ####        | #### |

**THE FOLLOWING UTILITY COMPANIES ARE A PARTIAL LIST OF UTILITIES KNOWN TO HAVE FACILITIES WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY WORK WHICH WILL AFFECT ANY EXISTING UTILITY.**

**MR. PAUL LANGRISH**  
ONE EGGAR PUBLIC WORKS  
300 N. OLIVE ST. SUITE 200  
ST. LOUIS, MISSOURI 63101  
TELEPHONE: (314) 972-2804

**MR. JOHN ALEXANDER**  
SEWER DISTRICT  
5300 W. BROADWAY  
ST. LOUIS, MISSOURI 63103  
TELEPHONE: (314) 788-2743

**MR. JOHN ALEXANDER**  
SEWER DISTRICT  
5300 W. BROADWAY  
ST. LOUIS, MISSOURI 63103  
TELEPHONE: (314) 788-2743

**MR. JOE ARLANO**  
12121 DORSETT ROAD  
MARIANO HEIGHTS, MO 63043  
TELEPHONE: (314) 346-9504

**MR. TREVOR PERLEY**  
MANAGER-ENGINEERING DESIGN A  
13075 MANCHESTER RD  
BROOKFIELD, CO 80021  
TELEPHONE: (314) 957-3748

**MR. STEVE GREEN**  
CHARTERED SURVEYOR  
TOWN AND COUNTY, CO 80021  
TELEPHONE: (360) 387-4641

**MR. DOUG LAMPERT**  
12710 S. WOODBURN  
ST. LOUIS, MO 63101  
TELEPHONE: (314) 346-2963

**MR. ROBERT SPENGL**  
700 MARKET STREET  
ST. LOUIS, MISSOURI 63101  
TELEPHONE: (314) 546-9504

**MR. LEE KELEY**  
TRIGREN-ST. LOUIS ENERGY CORP  
5 ASHLEY STREET  
ST. LOUIS, MISSOURI 63102  
TELEPHONE: (314) 621-5550 (EXT 2130)

**DESIGNED BY:** L.T.

**CHECKED BY:** L.T.

**DATE:** 3/21/18

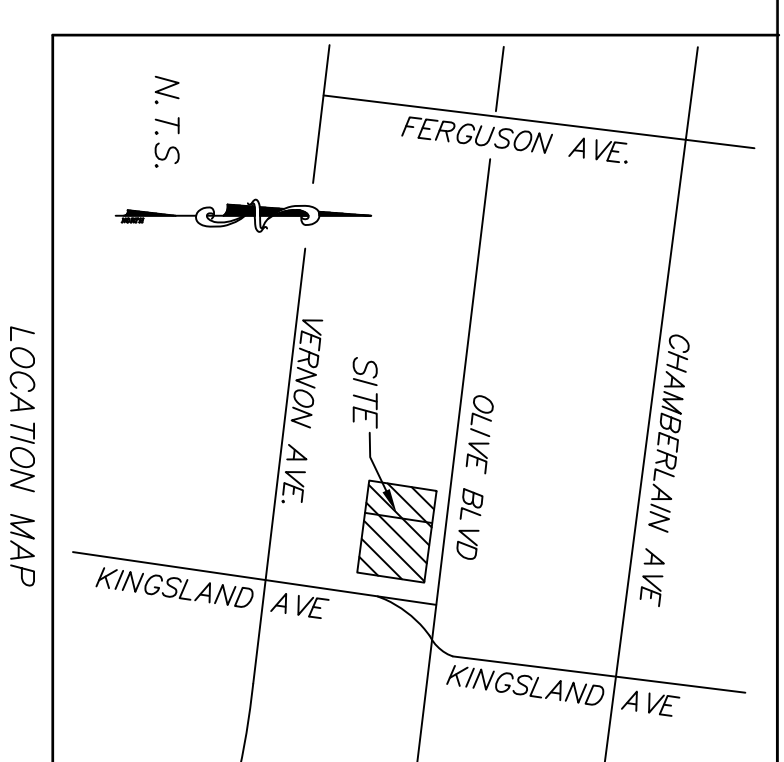
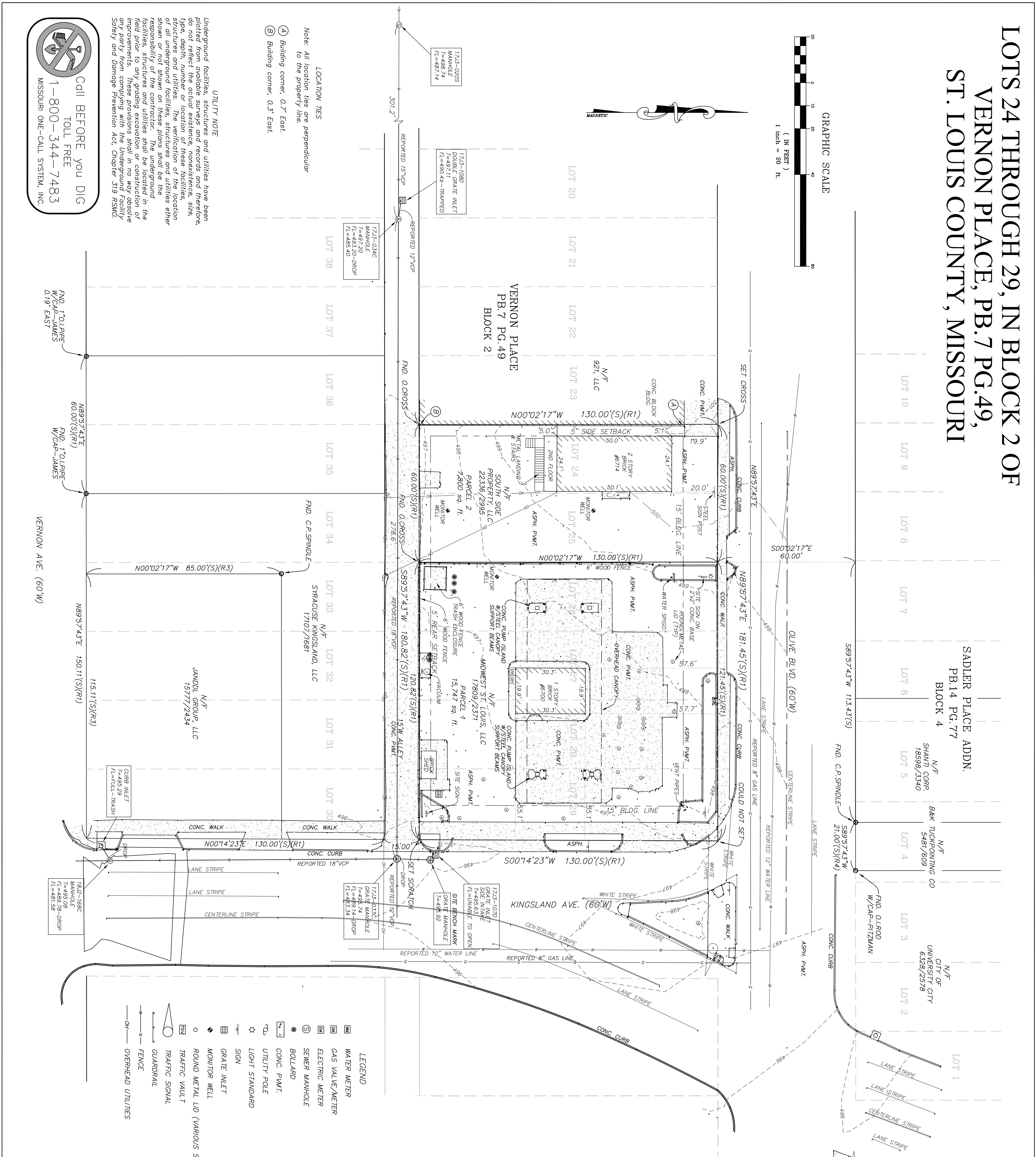
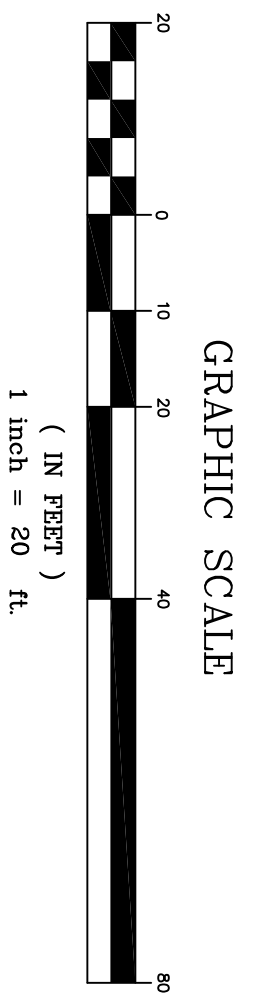
**PROJECT:** ANDERSON DESIGN CONSULTANTS, LLC 8725 CLIFTON AVE., ST. LOUIS MISSOURI

**SHEET NO.:** C0

**MSD P-6255-01**  
**MSD BASE MAP NO. 1733**



# LOTS 24 THROUGH 29, IN BLOCK 2 OF VERNON PLACE, PB. 7 PG. 49, ST. LOUIS COUNTY, MISSOURI



**LOCATION TIES**  
Note: All location ties are perpendicular to the property line.  
 (A) Building corner, 0.7' East  
 (B) Building corner, 0.3' East

**UTILITY NOTE**  
Underground facilities, structures and utilities have been plotted from available surveys and records and therefore do not reflect the actual existence, horizontal, size, depth, or location of such facilities, structures and utilities. The verification of the location of all underground facilities, structures and utilities either shown or not shown on these plans shall be the responsibility of the contractor. The underground facilities, structures and utilities shall be located in the field prior to any grading excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319 RSMo.

Call BEFORE you DIG  
TOLL FREE  
1-800-344-7483  
MISSOURI ONE-CALL SYSTEM, INC.

- LEGEND**
- WATER METER
  - GAS VALVE/METER
  - ELECTRIC METER
  - SEWER MANHOLE
  - BOLLARD
  - CONC. P.W.M.T.
  - UTILITY POLE
  - LIGHT STANDARD
  - SIGN
  - GRATE INLET
  - MONITOR WELL
  - ROUND METAL LID (VARIOUS SIZES)
  - TRAFFIC YAUULT
  - TRAFFIC SIGNAL
  - GUARDRAIL
  - FENCE
  - OVERHEAD UTILITIES

**GENERAL NOTES**

- This plot was prepared from information furnished this office by the client and from additional data pertaining to this site obtained by St. Louis County Surveying & Engineering, Inc. from the St. Louis County Recorder's Office, without the benefit of an up-to-date title policy; therefore there may be easements affecting this tract that are not shown on this plot of survey.
- Survey distance.  
 (R1) Record information per Plat Book 7 Page 49.  
 (R2) Record information per Plat Book 14 Page 77.  
 (R3) Record information per Deed Book 15777 Page 2434.  
 (R4) Record information per Deed Book 5481 Page 609.
- Bearings shown on this survey are based on the South line of Precision Place as shown on the plat of Precision Place as recorded in Plat Book 342 Page 4 of the St. Louis County Records.

**PROPERTY DESCRIPTION**  
 PARCEL 2  
 Lots 24 and 25 in Block 2 of Vernon Place, a subdivision in St. Louis County, Missouri according to the plat thereof recorded in Plat Book 7 Page 49 of the St. Louis County Records.

**BENCH MARK**  
 BM 14310-1 on the northwest corner of porch at 1728 Kingsland Avenue, 30.5' east of the centerline of Kingsland Avenue (southbound) and 150' south of Clemons Avenue. (eastbound) ELEVATION = 518.00 NGVD

**TBM:** North Rim Gated Manhole near the Southeast corner of this site. ELEVATION = 595.92



DAVID J. MORTON  
P.L.S. #2276  
STATE OF MISSOURI

ST. LOUIS COUNTY SURVEYING & ENGINEERING, INC.  
CORPORATE REGISTRATION NO. LS-168D

| REVISIONS |          | DESCRIPTION   |
|-----------|----------|---|
| NO.       | DATE     |   |
| 1         | 09-21-17 | ADDED GAS LINE, WATER LINE, ZONING AND SETBACK INFORMATION          |
| 2         | 10-11-17 | ADDED ADDITIONAL TOPOGRAPHIC INFORMATION (ISLAND IN KINGSLAND AVE.) |
| 3         | 01-04-18 | ADDED ADDITIONAL TOPOGRAPHIC INFORMATION (ISLAND IN KINGSLAND AVE.) |

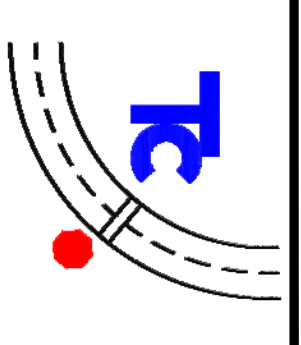
| PROJECT NAME           | DATE     |
|------------------------|----------|
| 6700 OLIVE STREET ROAD | 06-23-17 |
| CHECKED                | DATE     |
| D.J.M.                 | 06-23-17 |

**TOPOGRAPHIC SURVEY**

Prepared For:  
**MIDWEST ST. LOUIS, LLC**

**St. Louis County Surveying & Engineering, Inc.**  
 LAND SURVEYING CIVIL ENGINEERING  
  
 12015 Manchester Rd. Suite 70 St. Louis, Missouri, 63131  
 Phone (314) 965-6732 Fax (314) 965-6734





**THOMPSON CIVIL, LLC**  
 906 OLIVE ST., SUITE 902  
 ST. LOUIS, MISSOURI, 63101  
 PHONE: 314-724-3127  
 EMAIL: lorenzo.thompson@tcivil.com

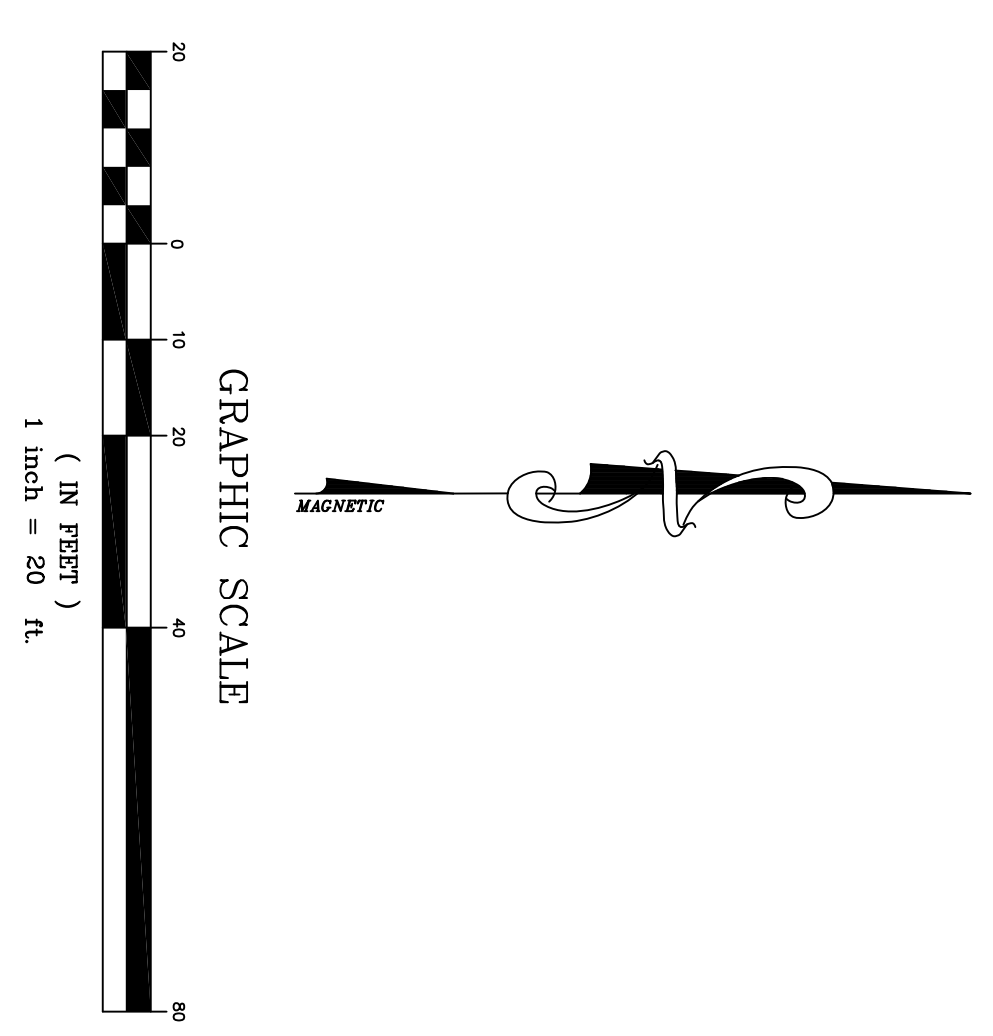
| REVISIONS | DATE | BY   | DESCRIPTION |
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**PROJECT:**  
 SITE IMPROVEMENT PLANS FOR:  
 6700 OLIVE BLVD.  
 UNIVERSITY CITY, MISSOURI

**SHEET TITLE:**  
 DEMO-PLAN  
 EROSION  
 CONTROL

**CLIENT:**  
 ANDERSON DESIGN CONSULTANTS,  
 LLC 8725 CLIFTON AVE.  
 ST. LOUIS MISSOURI

|                |               |
|----------------|---------------|
| Drawn:<br>LT   | Date: 3/21/18 |
| Checked:<br>RL |               |
| <b>C1</b>      |               |
| SHEET NO.      |               |



**LEGEND**

- ☒ WATER METER
- ☒ GAS VALVE/METER
- ☒ ELECTRIC METER
- ☒ SEWER MANHOLE
- BOLLARD
- ☐ CONC. PMWT.
- ☐ UTILITY POLE
- ☐ LIGHT STANDARD
- ☐ SIGN
- ☐ GRATE INLET
- ☐ MONITOR WELL
- ROUND METAL LID (VARIOUS SIZE)
- GUARDRAIL
- FENCE
- OVERHEAD UTILITIES

**DEMOLITION LEGEND**

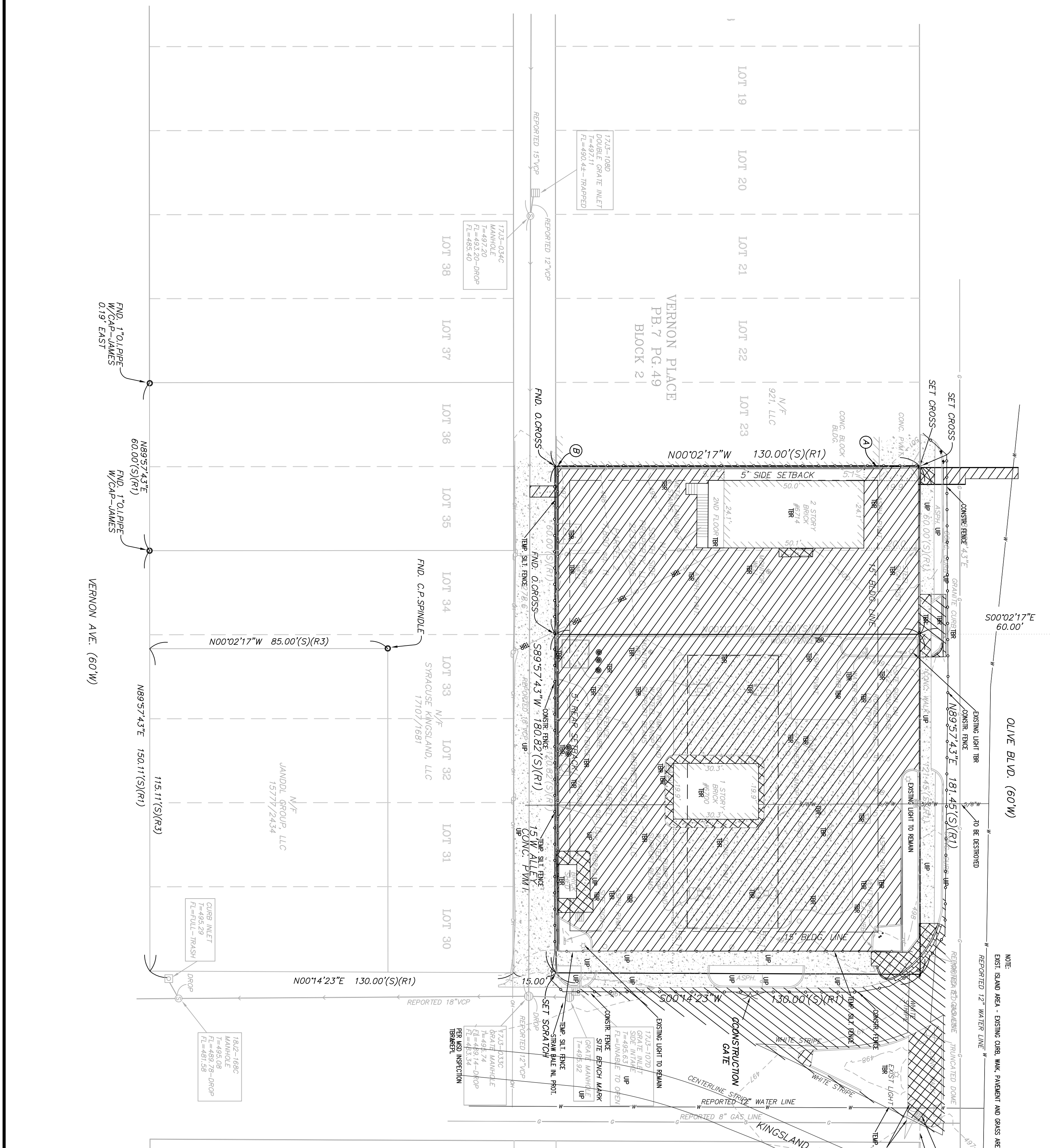
- ▨ PARIENT REMOVAL
- ▨ BRICKM PARIENT REMOVAL
- ▨ SIGNMAK REMOVAL
- ▨ SUT FENCE
- ▨ TO BE REMOVED
- ▨ USE IN PLACE
- ▨ TEMP. CONSTRUCTION FENCE

**LOCATION TIES**

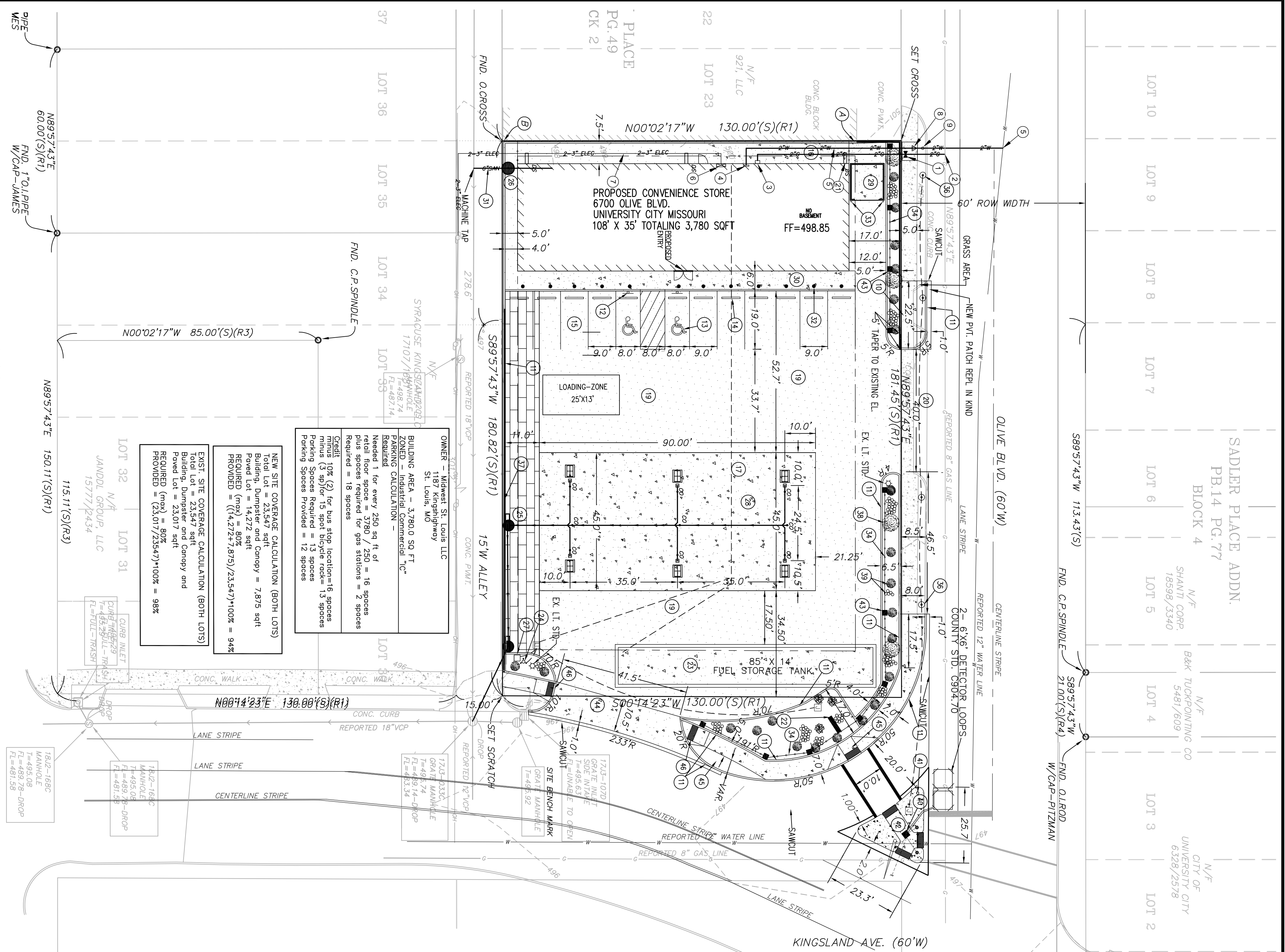
Note: All location ties are perpendicular to the property line.

Ⓐ Building corner, 0.7' East.  
 Ⓑ Building corner, 0.3' East.

- GRADING NOTES:**
1. ALL CONSTRUCTION METHODS, MATERIALS AND PRACTICES SHALL COMPLY TO ALL CURRENT APPLICABLE SPECIFICATIONS OF THE GOVERNING AGENCIES.
  2. ANY DEMOLITION OF EXISTING IMPROVEMENTS OR FEATURES SHALL BE REMAIN THE CONTRACTOR'S RESPONSIBILITY.
  3. UNDERGROUND UTILITIES HAVE BEEN LOCATED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED UNDERGROUND UTILITIES. EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED FROM TO BE SHOWN ON CONSTRUCTION OF IMPROVEMENTS.
  4. SPECIALTY TESTING AND RECORDING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOT RELY ON THE CONTRACTOR OF HIS RESPONSIBILITY TO PERSONS OTHER THAN HIMSELF.
  5. CONTRACTOR SHALL KEEP ROAD CLEAR OF MUD AND DEBRIS.
  6. CONTRACTOR SHALL MAINTAIN ADEQUATE ACCESS TO ALL ADJACENT PROPERTIES AND SHALL MAINTAIN ADEQUATE ACCESS TO ALL ADJACENT PROPERTIES AND SHALL MAINTAIN ADEQUATE ACCESS TO ALL ADJACENT PROPERTIES.
  7. IT SHALL BE THE GRADING CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES AND TO BE SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED FROM TO BE SHOWN ON CONSTRUCTION OF IMPROVEMENTS.
  8. THE GRADING CONTRACTOR SHALL CUT OR FILL TO SUBGRADE ELEVATION UNDER ALL AREAS TO BE PAVED. SUBGRADE DEPTH IS 0.6 FEET BELOW PROPOSED FINISH GRADE ELEVATIONS.
  9. ALL DRAINAGE SWALES SHALL BE SOODED OR SEEDED AND MULCHED TO PREVENT EROSION.
  10. ALL STAKES, LINES, AND OTHER DEVICES ARE TO BE REMOVED FROM THE SITE AFTER CONSTRUCTION OF THE IMPROVEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STAKES, LINES, AND OTHER DEVICES FROM THE SITE AFTER CONSTRUCTION OF THE IMPROVEMENTS.
  11. IF FILL IS TO BE PLACED IN AREAS OF SOFT SOIL, PARTICULARLY IN AREAS OF SOFT SOIL, THE CONTRACTOR SHALL ADVANCE BY THE SOFT SOIL SHALL BE EXCAVATED UNTIL FIRM SOIL IS ENCOUNTERED.
  12. PERMANENT GRASS IS REQUIRED FOR AREAS WHERE GRADING IS REQUIRED ON A 30 DAY SUSPENSION OF ANY SITE GRADING WILL BE REQUIRED.
  13. EROSION CONTROL SHALL BE INSTALLED FROM TO ANY GRADING OR AS NECESSARY TO MAINTAIN PROPER FUNDATION UNTIL PERMANENT RESTORATION HAS BEEN ESTABLISHED TO PREVENT EROSION.
  14. THE INSTALLATION AND MAINTENANCE OF ALL SLOTTION CONTROLS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  15. ALL GRADING AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDED AND MULCHED AS REQUIRED BY THE GOVERNING AGENCY.
  16. NO PORTION OF ANY LOT WILL BE IN THE 100 YEAR FLOOD PLAIN.
  17. EROSION CONTROL SHALL NOT BE LIMITED TO WHAT IS SHOWN ON THE SITE PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND EROSION FROM EXISTING AND PROPOSED ADJACENT ROADWAYS, PROPERTIES, DITCHES, AND OTHER UTILITIES.
  18. NO RECORD SHALL BE EXCEEDED UNLESS SUPPORTED BY THE CONTRACTOR'S RECORDS.
  19. ALL EXISTING AREAS UNDER PROPOSED DRIVE AND DRIVEWAY SHALL BE MAINTAINED AND SHALL BE MAINTAINED TO THE BOTTOM OF THE DRIVEWAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL EXISTING AREAS UNDER PROPOSED DRIVE AND DRIVEWAY.
  20. WHEN DEMOLITION NECESSARY, PROTECTIVE STEPS SHOULD BE EXPANDED TO INCLUDE THE EXISTING DRIVEWAY AND DRIVEWAY.
  21. THE CONTRACTOR SHALL MAINTAIN RESPONSIBILITY FOR CONTROLLING ALL SLOTTION AND EROSION OF THE PRODUCT AREA.
  22. ALL TRASH AND DEBRIS ON-SITE EITHER EXISTING OR FROM CONSTRUCTION, MUST BE REMOVED AND DEPOSITED OFF-SITE.
  23. DEBRIS AND FOUNDATION MATERIAL FROM ANY EXISTING ON-SITE BUILDING OR STRUCTURE WHICH IS DEMOLISHED TO BE RAISED FOR THIS PROJECT SHALL BE REMOVED AND DEPOSITED OFF-SITE. ALL EXISTING BUILDINGS AND FOUNDATION ARE TO BE REMOVED.
  24. ALL CONSTRUCTION SHALL BE ENGINEERED, MONITORED, AND CERTIFIED BY AN ENGINEER. A COPY OF SUCH CERTIFICATION BEARING THE ENGINEER'S SEAL SHALL BE PROVIDED TO THE GOVERNING AGENCY.
  25. ALL EROSION CONTROL STRUCTURES SHALL BE INSPECTED AND NECESSARY AS NECESSARY TO MAINTAIN PROPER FUNDATION UNTIL PERMANENT RESTORATION HAS BEEN ESTABLISHED TO PREVENT EROSION.
  26. ALL DISTURBED EARTH AREAS WITHIN THE CITY'S RIGHT-OF-WAY SHALL BE SOODED.







**OWNER** - Midwest St. Louis LLC  
1187 Kingshighway  
St. Louis, MO

**ZONED** - Industrial Commercial "IC"  
RECORDING CALCULATION "IC"  
REQUIRED = (14,272+755)/23,547\*100% = 94%

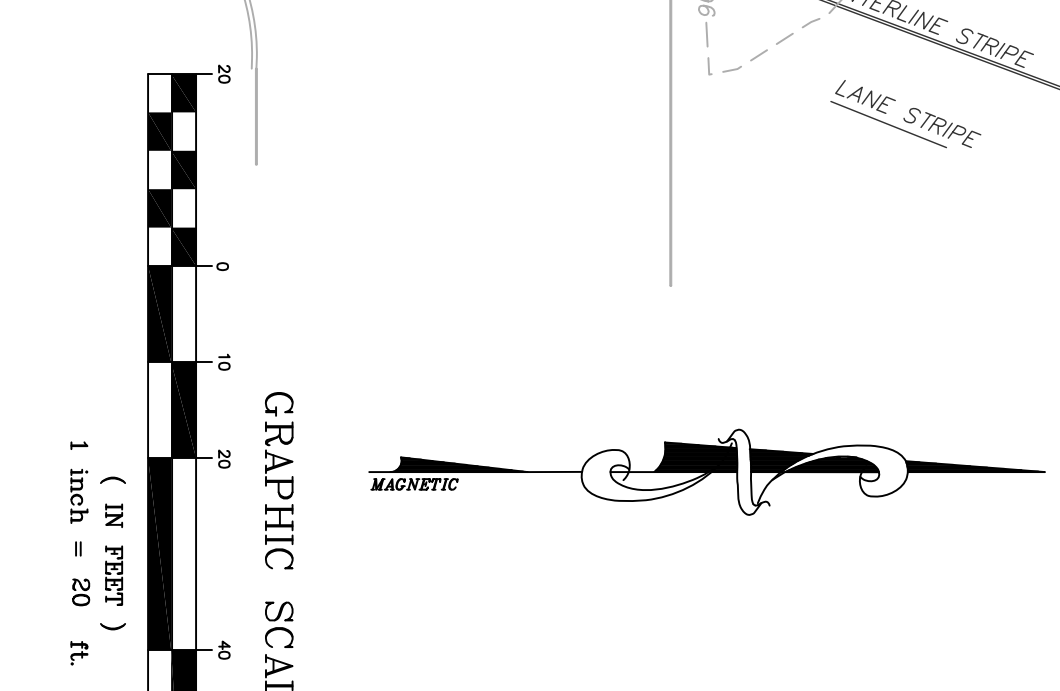
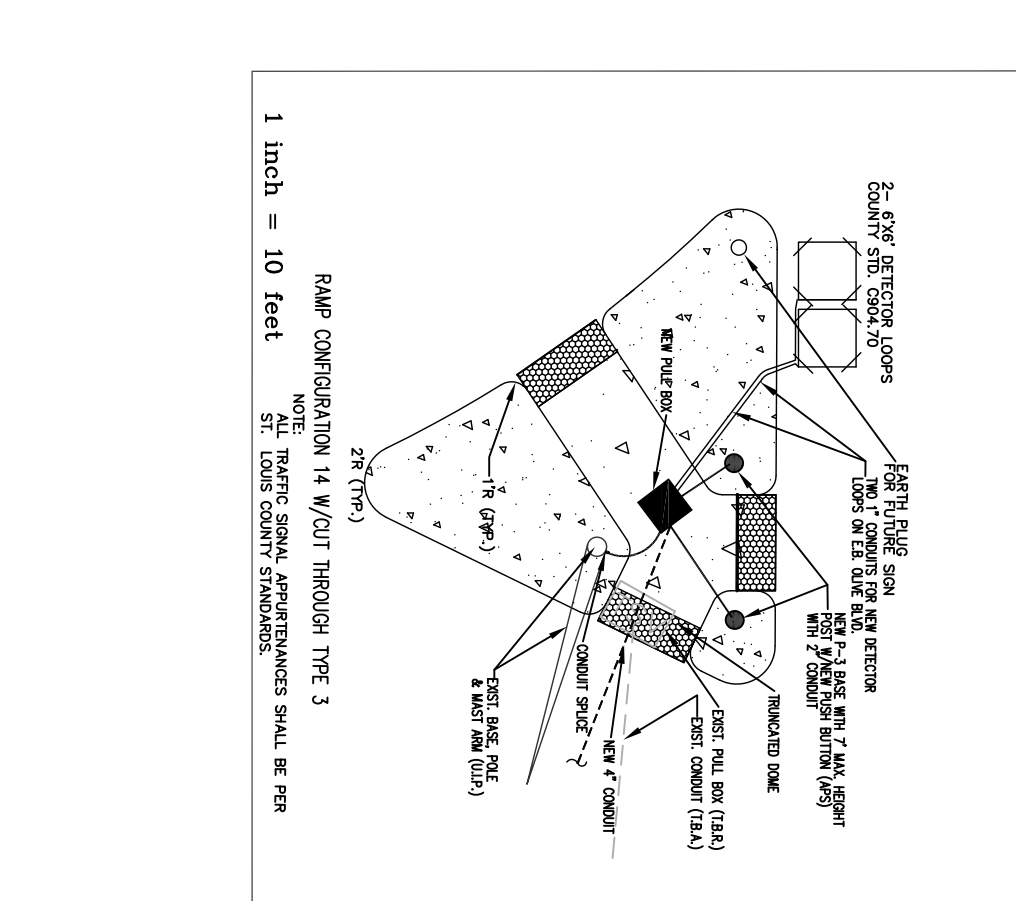
**REQUIRED** = (14,272+755)/23,547\*100% = 94%

**PROVIDED** = (23,071)/23,547\*100% = 97%

**EXIST. SITE COVERAGE CALCULATION (BOTH LOTS)**  
Total Lot = 23,547 sqft  
Building, Dumpster and Canopy and  
Paved Lot = 23,071 sqft  
PROVIDED = (23,071/23,547)\*100% = 97%

**NEW SITE COVERAGE CALCULATION (BOTH LOTS)**  
Total Lot = 23,547 sqft  
Building, Dumpster and Canopy = 7,875 sqft  
Paved Lot = 14,272 sqft  
REQUIRED = (14,272+755)/23,547\*100% = 94%

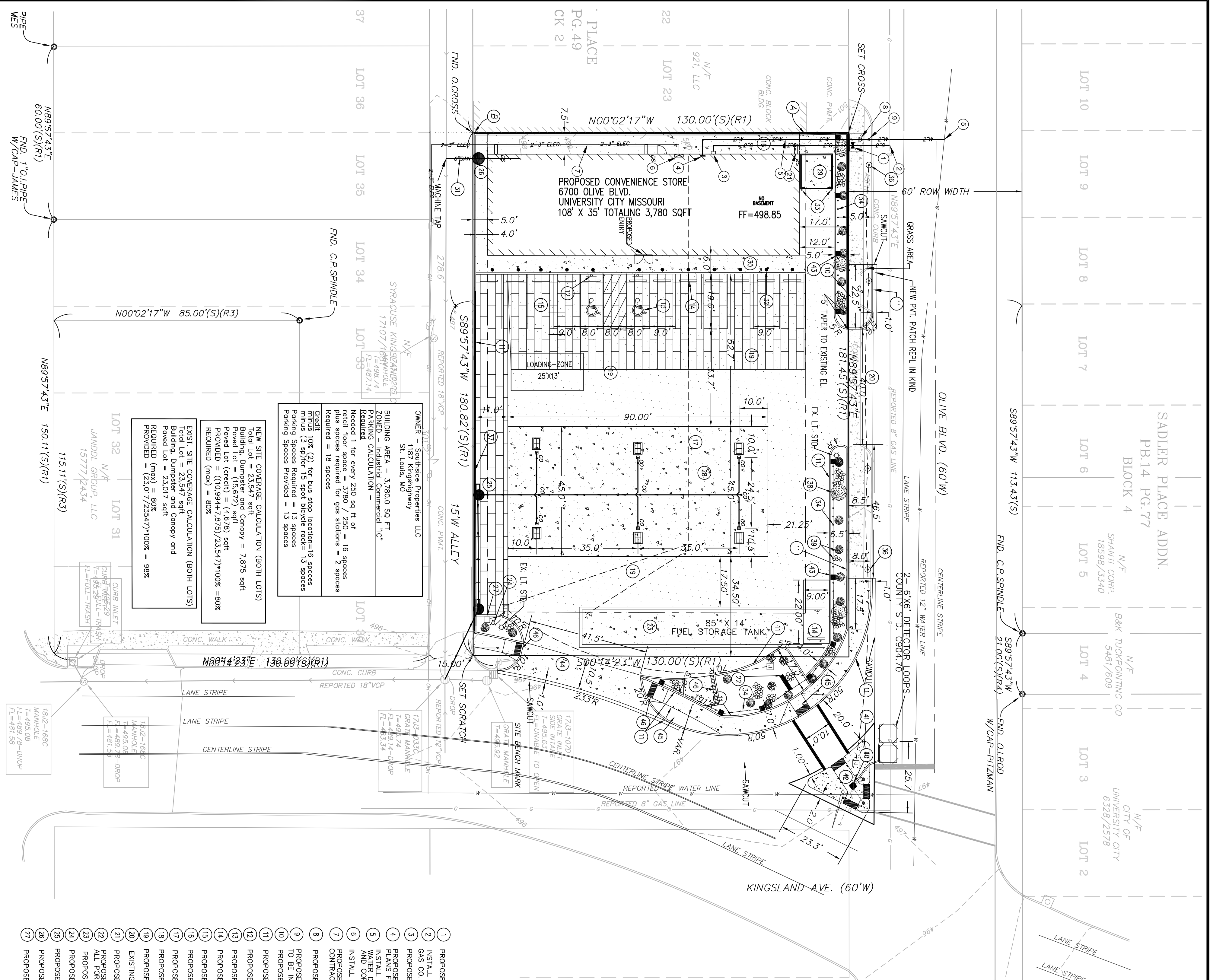
- 1 PROPOSED GAS VALVE PER LACED GAS CO. STANDARDS.
- 2 INSTALL AND CONNECT 2-INCH GAS SERVICE LINE PER LACED GAS CO. STANDARDS.
- 3 PROPOSED GAS METERS PER LACED GAS CO. STANDARDS.
- 4 PROPOSED 2" DOMESTIC WATER SERVICE INTO BUILDING SEE MECHANICAL PLANS FOR CONTINUATION.
- 5 INSTALL AND CONNECT 2" TYPE "K" WATER LINE PER ST. LOUIS COUNTY AND OPERATE PER WATER METERS TO WATER METER.
- 6 INSTALL AND CONNECT 2" - 3" CONDUIT PER ELECTRICAL PLAN.
- 7 PROPOSED ELECTRIC METERS PER AMEREN, I.E. STANDARDS. CONTRACTOR SHALL COORDINATE CONNECTION POWER SOURCE WITH AMEREN.
- 8 PROPOSED 2" WATER METER PER ST. LOUIS COUNTY STANDARDS. TO BE INSTALLED 1-FOOT BEHIND CURB.
- 9 PROPOSED 2" WATER METER PER ST. LOUIS COUNTY STANDARDS. TO BE INSTALLED 1-FOOT BEHIND CURB.
- 10 PROPOSED CONCRETE SIDEWALK SEE DETAIL SHEET CS.
- 11 PROPOSED CONCRETE CURB SEE ST. LOUIS COUNTY STD. DETAILS.
- 12 PROPOSED HANDICAP SIGN SEE ARCHITECTURAL DETAILS.
- 13 PROPOSED HANDICAP SYMBOL SEE DETAILS SHEET CS.
- 14 PROPOSED WHEEL STOP SEE DETAIL SHEET CS.
- 15 PROPOSED PARKING STALL SEE DETAIL SHEET CS.
- 16 PROPOSED HANDICAP RAMP SEE DETAIL SHEET CS.
- 17 PROPOSED PAVEMENT UNDER CANOPY SEE DETAIL SHEET CS.
- 18 PROPOSED CONCRETE ALLEY AT SAN. LATERAL. SEE DETAIL SHEET CS.
- 19 PROPOSED ASPHALT PAVEMENT SEE DETAIL SHEET CS.
- 20 EXISTING CONCRETE ENTRANCE APRON.
- 21 PROPOSED W/ OR ELBOW.
- 22 PROPOSED BR MOUNT SIGN 25'X6'X1" UNDER SEPARATE CONTRACT.
- 23 ALL PORTIONS OF SIGN SHALL BE LOCATED A MIN. OF 3' FROM THE PROPERTY LINE.
- 24 PROPOSED CONCRETE PAD ABOVE UNDERGROUND GAS STORAGE TANKS (BY OTHERS).
- 25 PROPOSED FLAG POLE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 26 PROPOSED SPECIAL DOUBLE SHALLOW INLET WITH TRAPPED OR UNTRAPPED SECTION SEE DETAIL SHEET CS.
- 27 PROPOSED SAMPLING MANHOLE MSD STANDARD
- 28 PROPOSED CON OPERATED AIR COMPRESSOR. SEE MECHANICAL PLANS FOR DETAILS.



- LEGEND (EXIST.)**
- WM WATER METER
  - GV GAS VALVE/METER
  - EM ELECTRIC METER
  - SM SEWER MANHOLE
  - B BOLLARD
  - CP CONC. P.W.M.T.
  - UP UTILITY POLE
  - LS LIGHT STANDARD
  - S SIGN
  - GI GRATE INLET
  - MW MONITOR WELL
  - RM ROUND METAL LID (VARIOUS SIZE)
  - G GUARDRAIL
  - X FENCE
  - OH OVERHEAD UTILITIES
- LOCATION TIES**  
Note: All location ties are perpendicular to the property line.
- (A) Building corner, 0.7' East.
  - (B) Building corner, 0.3' East.
- SYMBOL LEGEND PROPOSED**
- NEW CONCRETE PAVING
  - NEW ASPHALT PAVING
  - PROP. DECORATIVE FENCE
  - BUILDING SETBACK LINE
  - RIGHT-OF-WAY DEMARCATION 1-FOOT BEHIND EXISTING SIDEWALK
  - PROPOSED JUNCTION BOX
  - PROPOSED ELECTRICAL CONDUIT
  - PROPOSED REMOVAL MARKERS
- 29 PROPOSED PUMP CANOPY UNDER SEPARATE CONTRACT.
  - 30 PROPOSED TRASH PAD & ENCLOSURE SEE ARCHITECTURAL PLAN FOR DETAILS.
  - 31 INSTALL MONOLITHIC SIDEWALK & CURB SEE DETAIL SHEET CS.
  - 32 INSTALL 1 1/2" OF 6" SPR. 35 SANITARY LATERAL.
  - 33 PROPOSED LARGE BOLLARD SEE DETAIL SHEET CS.
  - 34 PROPOSED SMALL BOLLARD SEE DETAIL SHEET CS.
  - 35 PROPOSED WROUGHT IRON FENCE SEE DETAIL SHEET CS.
  - 36 PROPOSED GRANITE CURB OR REMOVE AND RESET SEE DETAIL SHEET CS.
  - 37 DECORATIVE STREET LIGHTING PER OLIVE BLVD. DESIGN STDS.
  - 38 CONTRACTOR TO COORDINATE LIGHT STANDARD CONNECTION POINT WITH ELECTRICAL CONTRACTOR.
  - 39 PROPOSED MOUNTABLE CURB SEE DETAIL SHEET CS.
  - 40 ARCES (2" CALIBER) TYPE TBD 40" ON CENTERS PER OLIVE BLVD. DESIGN STDS.
  - 41 PROPOSED BROWNWOOD SHRUB MAX. GROUND HEIGHT 3.0' AT 10' ON CENTERS.
  - 42 PROPOSED MULCH AT BOTTOM OF SHRUB PER OLIVE BLVD. DESIGN STDS.
  - 43 PROPOSED PULL BOX PER ST. LOUIS COUNTY STD.
  - 44 EARTH PLUG FOR FUTURE SIGN
  - 45 RAISED 4 INCH CUT-THROUGH ISLAND CONFIGURATION TYPE 3 CURB RAMP SEE DETAIL SHEET CS
  - 46 DECORATIVE FENCE PIERS 20" ON CENTERS PER OLIVE BLVD. DESIGN STDS.
  - 47 PROPOSED CONCRETE ENTRANCE SEE DETAIL SHEET CS
  - 48 TYPE 3 CURB RAMP SIDEWALK BACK OF CURB SEE DETAIL SHEET CS

|  |                                      |   |  |      |      |      |      |      |      |      |      |  |
|--|--------------------------------------|---|--|------|------|------|------|------|------|------|------|--|
| <p>CLIENT:</p> <p>ANDERSON DESIGN CONSULTANTS, LLC 8725 CLIFTON AVE. ST. LOUIS MISSOURI SU. Phone NO. 314-222-3448</p> | <p>SHEET TITLE:</p> <p>SITE-PLAN</p> | <p>PROJECT:</p> <p>SITE IMPROVEMENT PLANS FOR: 6700 OLIVE BLVD. UNIVERSITY CITY, MISSOURI</p> | <p>REVISIONS</p> <table border="1"> <tr><td>####</td><td>####</td></tr> <tr><td>####</td><td>####</td></tr> <tr><td>####</td><td>####</td></tr> <tr><td>####</td><td>####</td></tr> </table> | #### | #### | #### | #### | #### | #### | #### | #### | <p>THOMPSON CIVIL, LLC</p> <p>906 OLIVE ST., SUITE 902 ST. LOUIS, MISSOURI, 63101<br/>PHONE: 314-724-3127<br/>EMAIL: lorenzo.thompson@tcivil.com<br/>CORPORATE SEAL NO. 2016035943</p> |
| ####   | ####                                 |   |  |      |      |      |      |      |      |      |      |  |
| ####   | ####                                 |   |  |      |      |      |      |      |      |      |      |  |
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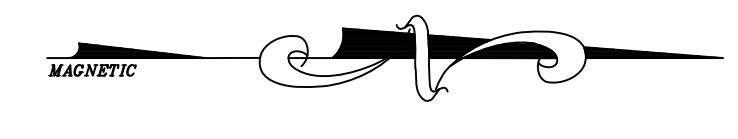
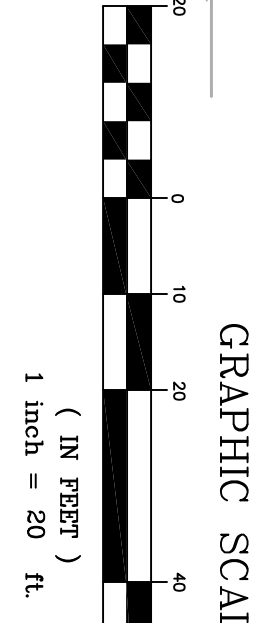
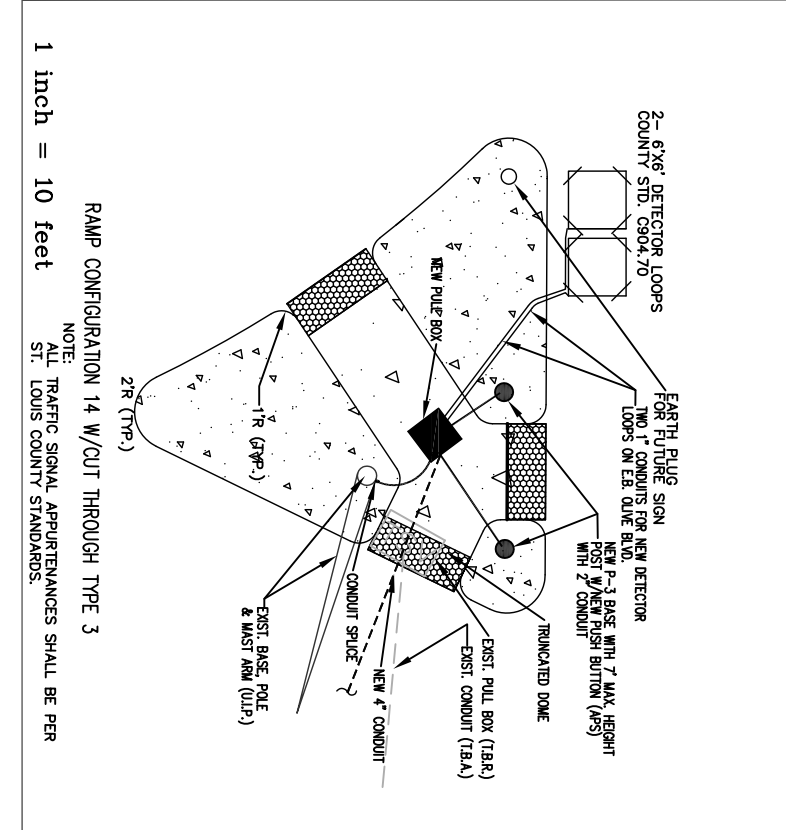
**OWNER:** Southside Properties LLC  
 1187 Kingshighway  
 St. Louis, MO

**BUILDING AREA:** 3,780.0 SQ FT  
**ZONED:** Industrial Commercial "IC"  
**RECORDING:** 17101/1818/19874  
**RECORDING:** 17101/1818/19874  
**RECORDING:** 17101/1818/19874

**NEW SITE COVERAGE CALCULATION (BOTH LOTS)**  
 Total Lot = 23,547 sqft  
 Paved Lot = (15,672) sqft  
 PROVIDED = ((10,984+2,672)/23,547)\*100% = 80%  
 REQUIRED (max) = 80%

**EXIST. SITE COVERAGE CALCULATION (BOTH LOTS)**  
 Total Lot = 23,547 sqft  
 Paved Lot = 23,017 sqft  
 PROVIDED = (23,017/23,547)\*100% = 98%

- 1 PROPOSED GAS VALVE PER LACED GAS CO. STANDARDS.
- 2 INSTALL AND CONNECT 2-INCH GAS SERVICE LINE PER LACED GAS CO. STANDARDS.
- 3 PROPOSED GAS METERS PER LACED GAS CO. STANDARDS.
- 4 PROPOSED 2" DOMESTIC WATER SERVICE INTO BUILDING SEE MECHANICAL PLANS FOR CONTINUATION.
- 5 INSTALL AND CONNECT 2" TYPE "K" WATER LINE PER ST. LOUIS COUNTY AND OPERATE PER WATER METERS TO WATER METER.
- 6 INSTALL AND CONNECT 2" - 3" CONDUIT PER ELECTRICAL PLAN.
- 7 PROPOSED ELECTRIC METERS PER AMEREN, I.E. STANDARDS. CONTRACTOR SHALL COORDINATE CONNECTION POWER SOURCE WITH AMEREN.
- 8 PROPOSED 2" WATER METER PER ST. LOUIS COUNTY STANDARDS. TO BE INSTALLED 1-1/2' FOOT BEHIND CURB.
- 9 PROPOSED CONCRETE SIDEWALK SEE DETAIL SHEET CS.
- 10 PROPOSED CONCRETE VERTICAL CURB SEE ST. LOUIS COUNTY STD. DETAILS.
- 11 PROPOSED HANDICAP SIGN SEE ARCHITECTURAL DETAILS.
- 12 PROPOSED HANDICAP SYMBOL SEE DETAILS SHEET CS.
- 13 PROPOSED WHEEL STOP SEE DETAIL SHEET CS.
- 14 PROPOSED PARKING STALL SEE DETAIL SHEET CS.
- 15 PROPOSED HANDICAP RAMP SEE DETAIL SHEET CS.
- 16 PROPOSED PAVEMENT UNDER CANOPY SEE DETAIL SHEET CS.
- 17 PROPOSED ASPHALT PAVEMENT SEE DETAIL SHEET CS.
- 18 EXISTING CONCRETE ENTRANCE APRON.
- 19 PROPOSED W/ OR ELBOW.
- 20 PROPOSED BR MOUNT SIGN 25"x36" X1", UNDER SEPARATE CONTRACT.
- 21 ALL PORTIONS OF SIGN SHALL BE LOCATED A MIN. OF 3' FROM THE PROPERTY LINE.
- 22 PROPOSED CONCRETE PAD ABOVE UNDERGROUND GAS STORAGE TANKS (BY OTHERS).
- 23 PROPOSED FLAG POLE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 24 PROPOSED SPECIAL DOUBLE SHALLOW INLET WITH TRAPPED OR UNTRAPPED SECTION SEE DETAIL SHEET CS.
- 25 PROPOSED SAMPLING MANHOLE MSD STANDARD.
- 26 PROPOSED CON OPERATED AIR COMPRESSOR. SEE MECHANICAL PLANS FOR DETAILS.
- 27
- 28
- 29 PROPOSED PUMP CANOPY UNDER SEPARATE CONTRACT.
- 30 PROPOSED TRASH PAD & ENCLOSURE SEE ARCHITECTURAL PLAN FOR DETAILS.
- 31 INSTALL MONOLITHIC SIDEWALK & CURB SEE DETAIL SHEET CS.
- 32 INSTALL 1" OF 6" SFR 35 SANITARY LATERAL.
- 33 PROPOSED LARGE BOLLARD SEE DETAIL SHEET CS.
- 34 PROPOSED SMALL BOLLARD SEE DETAIL SHEET CS.
- 35 PROPOSED WROUGHT IRON FENCE SEE DETAIL SHEET CS.
- 36 PROPOSED GRANITE CURB OR REMOVE AND RESET SEE DETAIL SHEET CS.
- 37 DECORATIVE STREET LIGHTING PER OLIVE BLVD. DESIGN STDS.
- 38 CONTRACTOR TO COORDINATE LIGHT STANDARD CONNECTION POINT WITH ELECTRICAL CONTRACTOR.
- 39 PROPOSED MOUNTABLE CURB SEE DETAIL SHEET CS.
- 40 ARCS (2" CALIPER) TYPE TBD 40" ON CENTERS PER OLIVE BLVD. DESIGN STDS.
- 41 PROPOSED BROWNWOOD SHIRUP MAX. GROUP HEIGHT 3.0' AT 10' ON CENTERS.
- 42 PROPOSED BULL BOX PER ST. LOUIS COUNTY STD.
- 43 EARTH PLUG FOR FUTURE SIGN.
- 44 RAISED 4 INCH CUT-THROUGH ISLAND CONFIGURATION TYPE 3 CURB RAMP SEE DETAIL SHEET CS.
- 45 DECORATIVE FENCE PIERS 20" ON CENTERS PER OLIVE BLVD. DESIGN STDS.
- 46 PROPOSED CONCRETE ENTRANCE SEE DETAIL SHEET CS.
- 47 TYPE 3 CURB RAMP SIDEWALK BACK OF CURB SEE DETAIL SHEET CS.
- 48 PROPOSED 15 SPACE BICYCLE RACK



**LEGEND (EXIST.)**

- WATER METER
- GAS VALVE METER
- ELECTRIC METER
- SEWER MANHOLE
- BOLLARD
- CONC. PWMT
- UTILITY POLE
- LIGHT STANDARD
- SIGN
- GRATE INLET
- MONITOR WELL
- ROUND METAL LID (VARIOUS SIZE)
- GUARDRAIL
- FENCE
- OVERHEAD UTILITIES

**LOCATION TIES**  
 Note: All location ties are perpendicular to the property line.

- (A) Building corner, 0.7' East.
- (B) Building corner, 0.3' East.

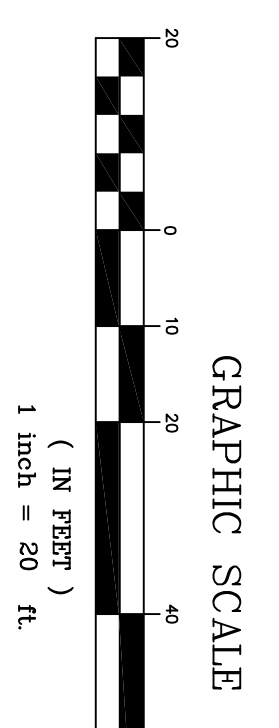
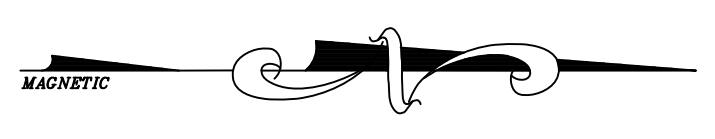
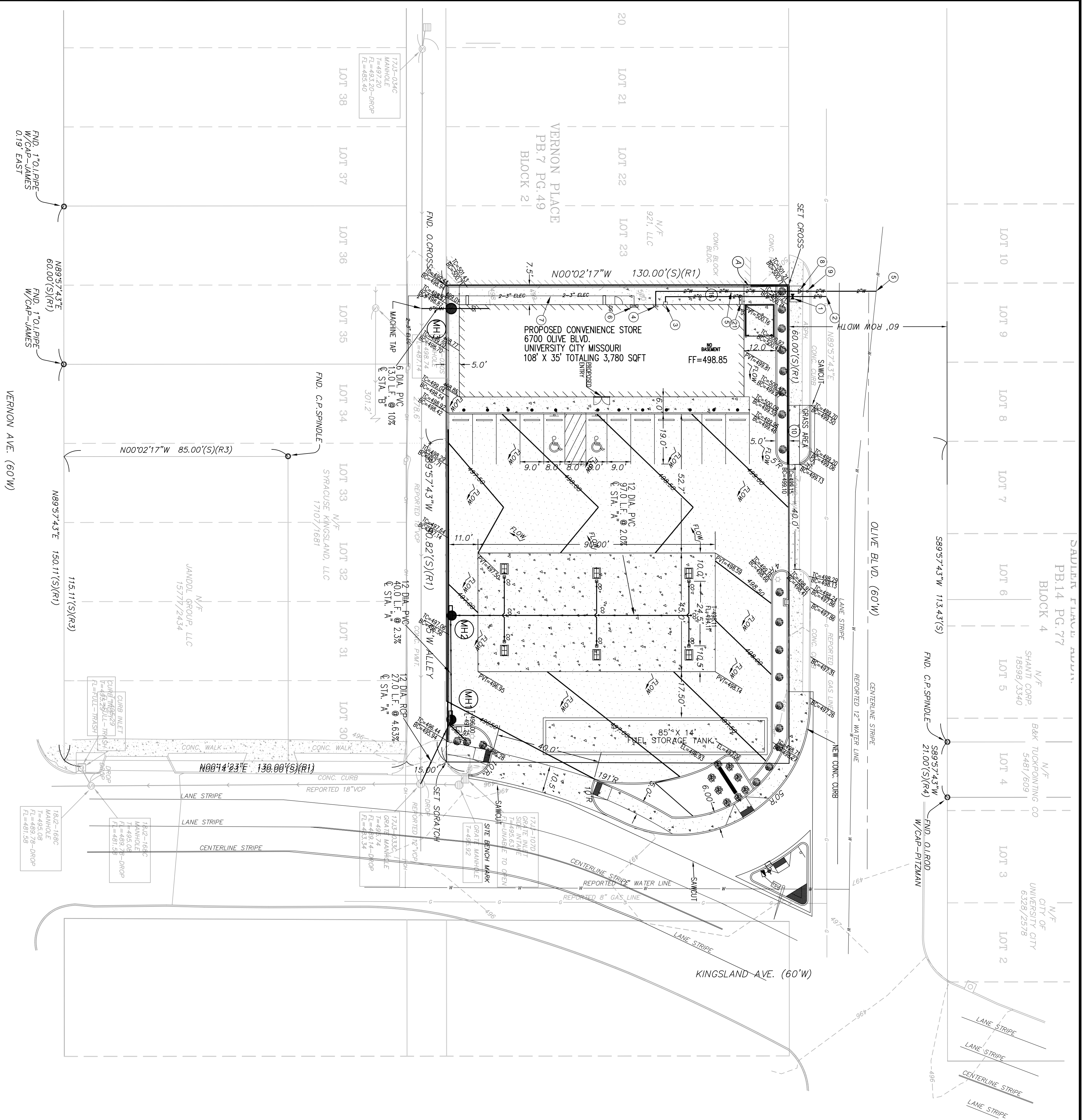
**SYMBOL LEGEND PROPOSED**

- NEW CONCRETE PAVING
- NEW ASPHALT PAVING
- PROP. DECORATIVE FENCE
- BUILDING SETBACK LINE
- RIGHT-OF-WAY DEMARCATION 1-FOOT BEHIND EXISTING SIDEWALK
- PROPOSED JUNCTION BOX
- PROPOSED ELECTRICAL CONDUIT
- PROPOSED REMOVING PAVERS

|  |                                      |   |  |      |      |      |      |      |      |      |      |   |
|--|--------------------------------------|---|--|------|------|------|------|------|------|------|------|---|
| <p>CLIENT:</p> <p>ANDERSON DESIGN CONSULTANTS, LLC 8725 CLIFTON AVE. ST. LOUIS MISSOURI SU. Phone NO. 314-222-3448</p> | <p>SHEET TITLE:</p> <p>SITE-PLAN</p> | <p>PROJECT:</p> <p>SITE IMPROVEMENT PLANS FOR: 6700 OLIVE BLVD. UNIVERSITY CITY, MISSOURI</p> | <p>REVISIONS</p> <table border="1"> <tr><td>####</td><td>####</td></tr> <tr><td>####</td><td>####</td></tr> <tr><td>####</td><td>####</td></tr> <tr><td>####</td><td>####</td></tr> </table> | #### | #### | #### | #### | #### | #### | #### | #### | <p>THOMPSON CIVIL, LLC</p> <p>906 OLIVE ST., SUITE 902 ST. LOUIS, MISSOURI, 63101<br/>         PHONE: 314-724-3127<br/>         EMAIL: lorenzo.thompson@tcivil.com<br/>         CORPORATE SEAL NO. 2016035943</p> |
| ####   | ####                                 |   |  |      |      |      |      |      |      |      |      |   |
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| <p>Drawn: C2</p> <p>Checked: C2</p> <p>Date: 3/21/18</p> |
|--|





- LEGEND**
- WATER METER
  - GAS VALVE/METER
  - ELECTRIC METER
  - SEWER MANHOLE
  - BOLLARD
  - CONC. P.W.M.T.
  - UTILITY POLE
  - LIGHT STANDARD
  - SIGN
  - GRATE INLET
  - MONITOR WELL
  - ROUND METAL LID (VARIOUS SIZE)
  - GUARDRAIL
  - FENCE
  - OVERHEAD UTILITIES

**LOCATION TIES**  
 Note: All location ties are perpendicular to the property line.

- (A) Building corner, 0.7' East.
- (B) Building corner, 0.3' East.

**SYMBOL LEGEND PROPOSED**

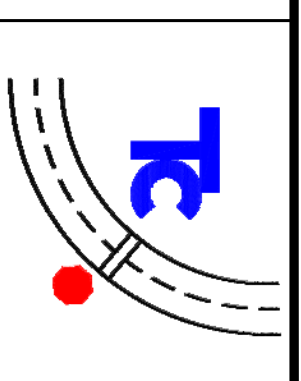
- CONC.
- 4.5%

**BUILDING SETBACK LINE**  
 RIGHT-OF-WAY INDICATION 1-FEET BEHIND EXISTING SIDEWALK

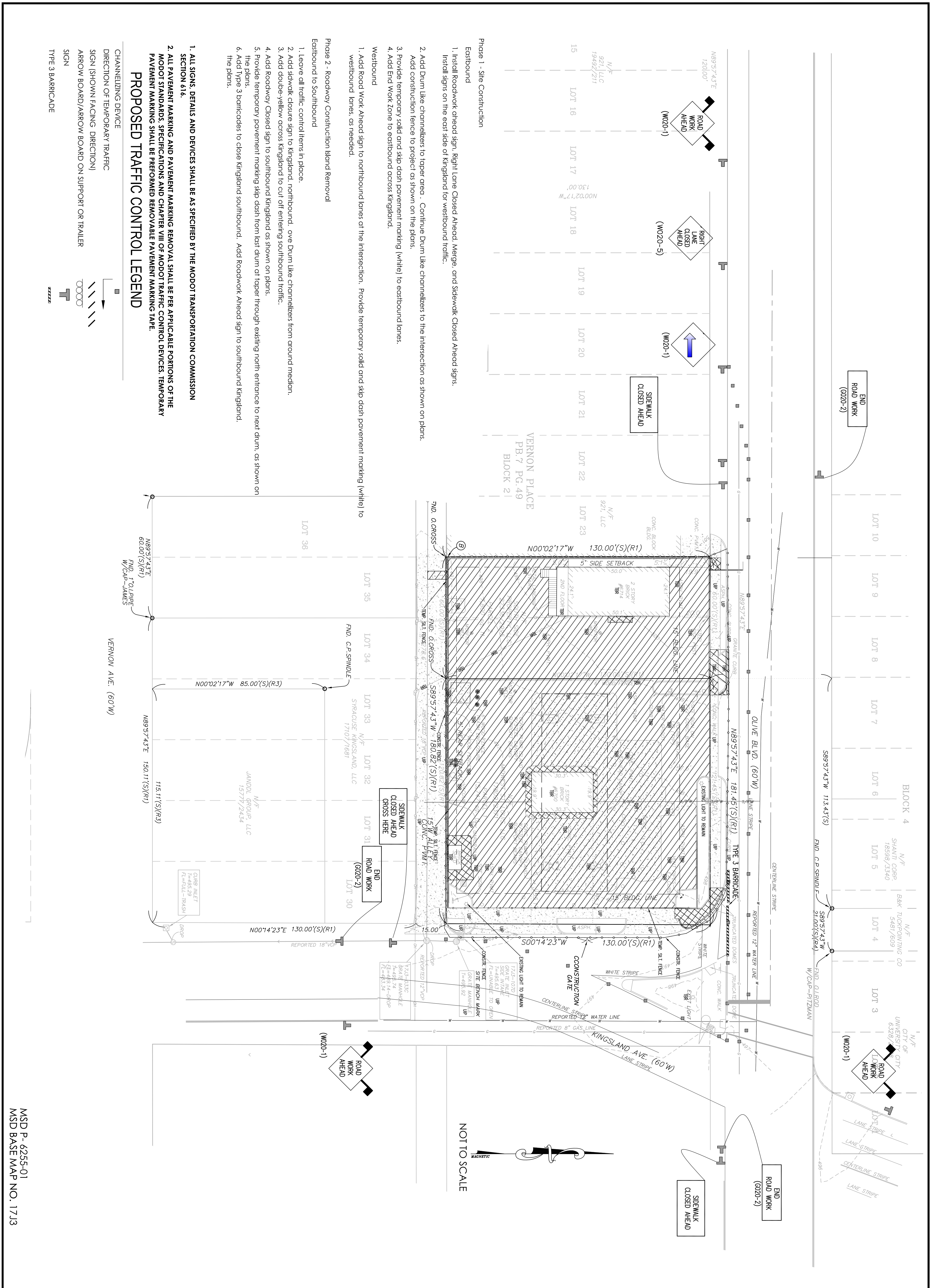
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| <b>CLIENT:</b>   | <b>SHEET TITLE:</b>       | <b>PROJECT:</b>  |
| ANDERSON DESIGN CONSULTANTS, LLC 8725 CLIFTON AVE. ST. LOUIS MISSOURI SU. Phone NO. 314-222-3448 | <b>GRADING-SEWER PLAN</b> | SITE IMPROVEMENT PLANS FOR: 6700 OLIVE BLVD. UNIVERSITY CITY, MISSOURI |
| <b>Drawn:</b> J.D.   | <b>Checked:</b> J.D.      | <b>Design:</b> J.D.  |
| <b>Date:</b> 3/21/18   | <b>Scale:</b>             | <b>Project No.:</b> MSD P-6255-01                                      |
| <b>Sheet No.:</b> C3   |                           | <b>MSD BASE MAP NO.:</b> 1713  |

**THOMPSON CIVIL, LLC**  
 906 OLIVE ST., SUITE 902  
 ST. LOUIS, MISSOURI, 63101  
 PHONE: 314-724-3127  
 EMAIL: lorenzo.thompson@tcivil.com  
 CORPORATE SEAL NO. 2016035943



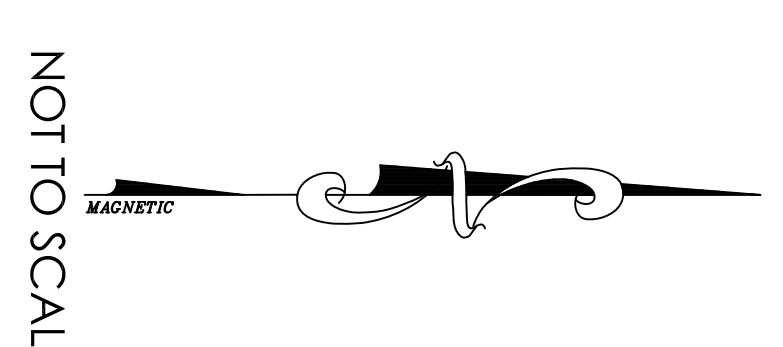
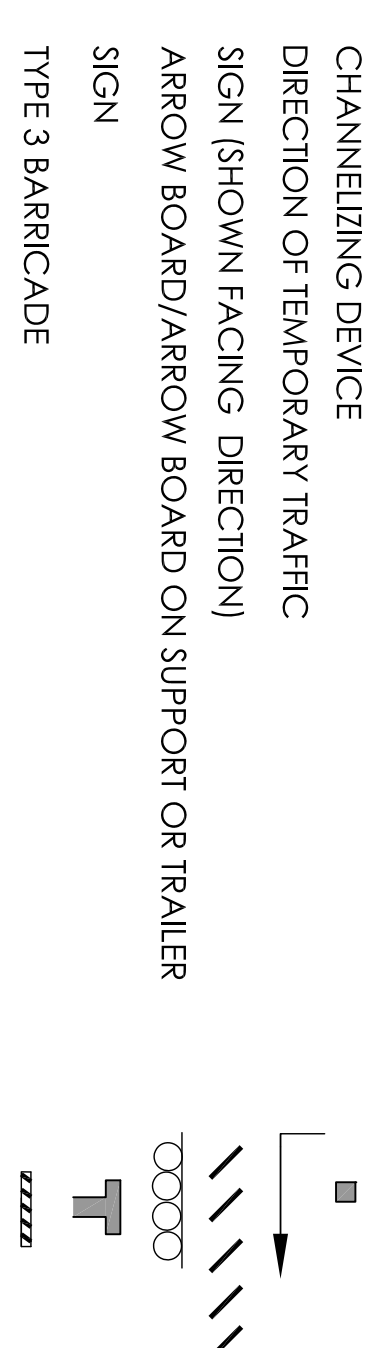




- Phase 1 - Site Construction
- Eastbound
1. Install Roadwork ahead sign, Right Lane Closed Ahead, Merge, and Sidewalk Closed Ahead signs. Install signs on the east side of Kingsland for westbound traffic.
  2. Add Drum Like channelizers to taper area. Continue Drum Like channelizers to the intersection as shown on plans. Add construction fence to protect as shown on the plans.
  3. Provide temporary solid and skip dash pavement marking (white) to eastbound lanes.
  4. Add End Work Zone to eastbound across Kingsland.
- Westbound
1. Add Road Work Ahead sign to northbound lanes of the intersection. Provide temporary solid and skip dash pavement marking (white) to westbound lanes, as needed.

- Phase 2 - Roadway Construction Island Removal
- Eastbound to Southbound
1. Leave all traffic control items in place.
  2. Add sidewalk closure sign to Kingsland, northbound. one Drum Like channelizers from around median.
  3. Add double-yellow across Kingsland to cut off entering southbound traffic.
  4. Add Roadway Closed sign to southbound Kingsland as shown on plans.
  5. Provide temporary pavement marking skip dash from lost drum of taper through existing north entrance to next drum, as shown on the plans.
  6. Add Type 3 barricades to close Kingsland southbound. Add Roadwork Ahead sign to southbound Kingsland.

1. ALL SIGNS, DETAILS AND DEVICES SHALL BE AS SPECIFIED BY THE MODOOT TRANSPORTATION COMMISSION SECTION 616.
  2. ALL PAVEMENT MARKING AND PAVEMENT MARKING REMOVAL SHALL BE PER APPLICABLE PORTIONS OF THE MODOOT STANDARDS. SPECIFICATIONS AND CHAPTER VIII OF MODOOT TRAFFIC CONTROL DEVICES. TEMPORARY PAVEMENT MARKING SHALL BE PERFORMED REMOVABLE PAVEMENT MARKING TAPE.
- PROPOSED TRAFFIC CONTROL LEGEND**



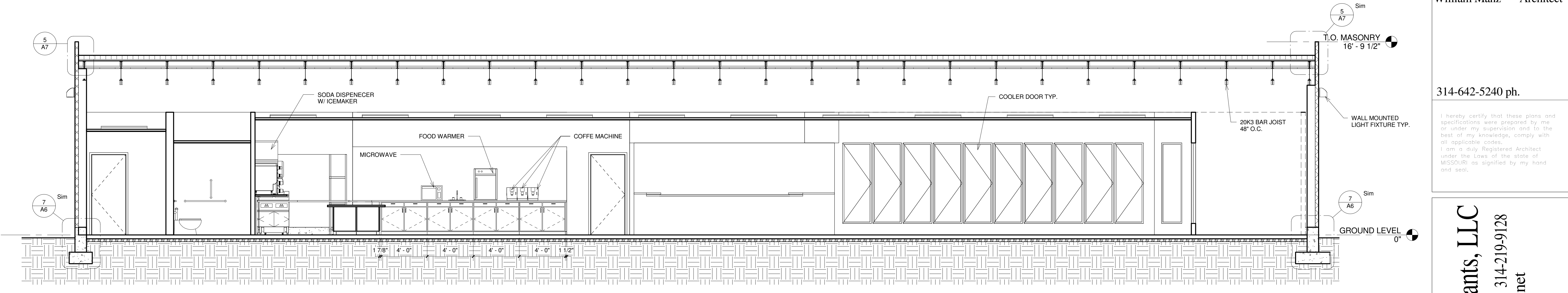
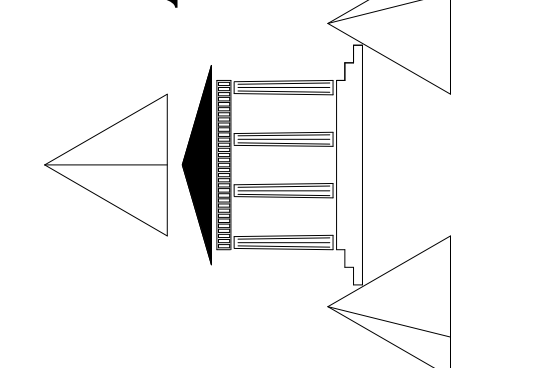
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| Drawn:<br>LT<br>Date: 3/21/18<br>Checked:<br>RL<br><b>C8</b><br>SHEET NO. | CLIENT:<br>ANDERSON DESIGN CONSULTANTS,<br>LLC 8725 CLIFTON AVE.<br>ST. LOUIS MISSOURI | SHEET TITLE:<br><b>TRAFFIC CONTROL PLAN</b> | PROJECT:<br>SITE IMPROVEMENT PLANS FOR:<br>6700 OLIVE BLVD.<br>UNIVERSITY CITY, MISSOURI | REVISIONS<br>#####<br>#####<br>#####<br>##### | SEAL<br><b>THOMPSON CIVIL, LLC</b><br>906 OLIVE ST., SUITE 902<br>ST. LOUIS, MISSOURI, 63101<br>PHONE: 314-724-3127<br>EMAIL: lorenzo.thompson@tcivil.com |  |
|   | MSD P-6255-01<br>MSD BASE MAP NO. 17J3   |   |  |   |   |  |



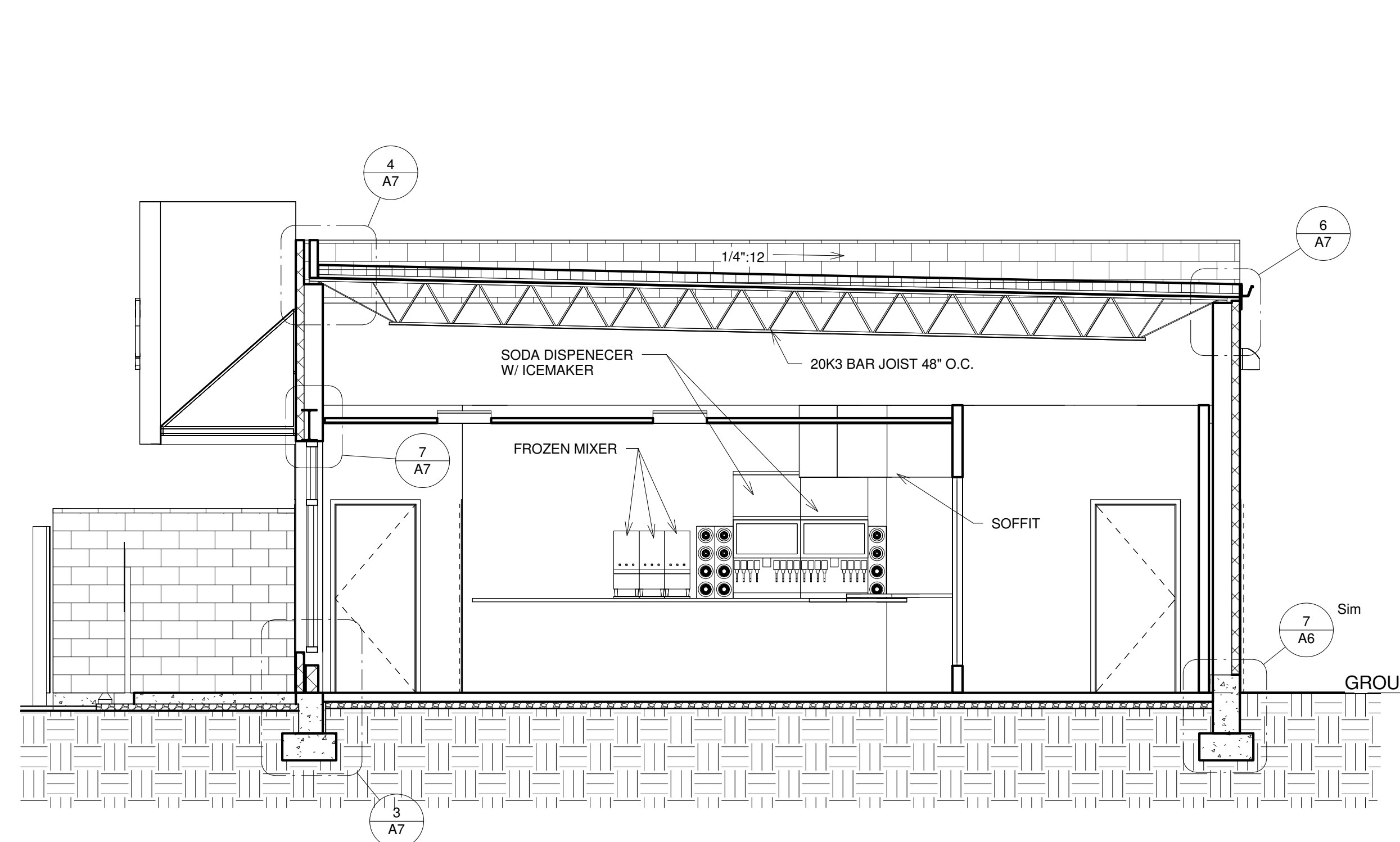


I hereby certify that these plans and specifications were prepared by me or under my supervision and to the best of my knowledge, comply with all applicable codes. I am a duly Registered Architect under the Laws of the state of MISSOURI as signified by my hand and seal.

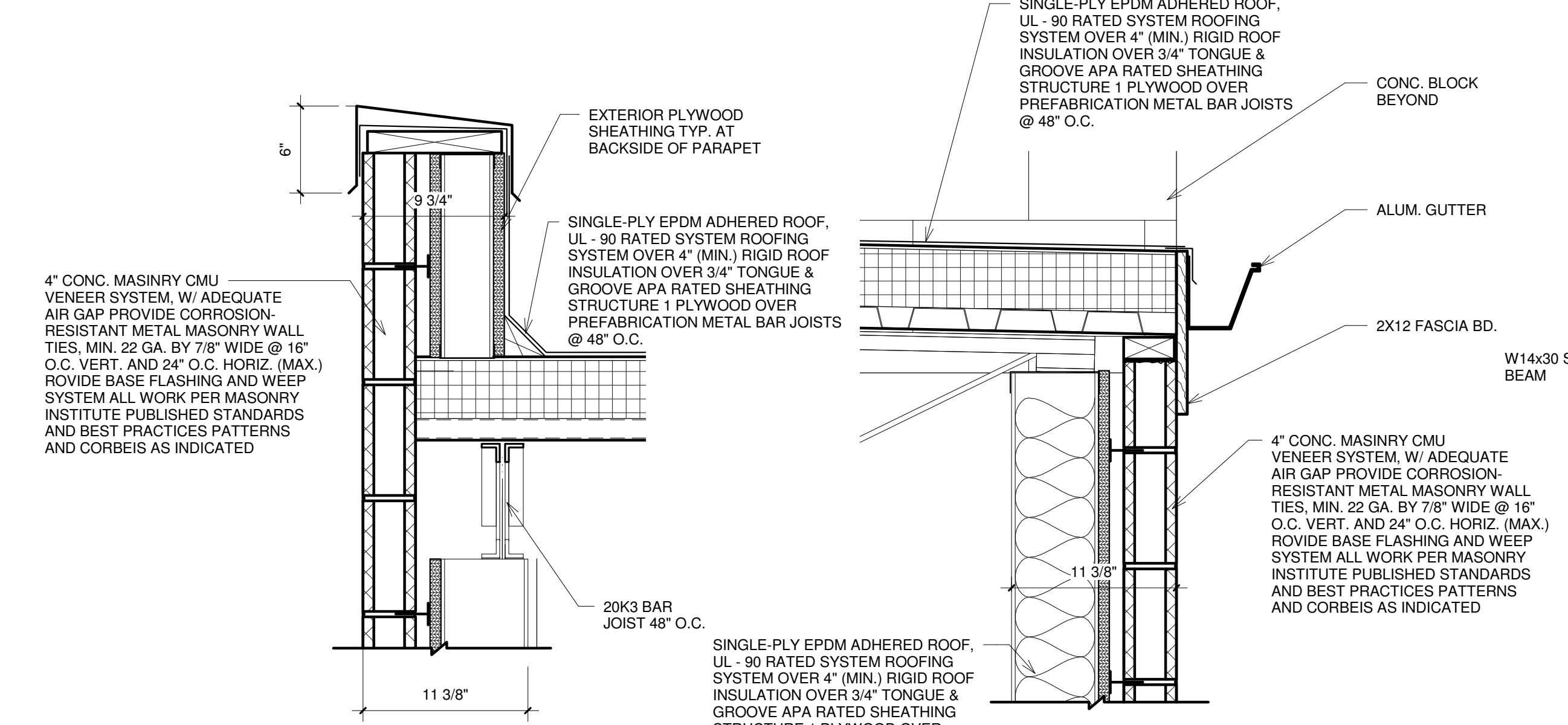
Anderson Design Consultants, LLC  
 8725 Clifton Ave. St. Louis, Mo. 63136 314-219-9128  
 andersondesign3@sbcglobal.net



1 BUILDING SECTION  
 1/4" = 1'-0"

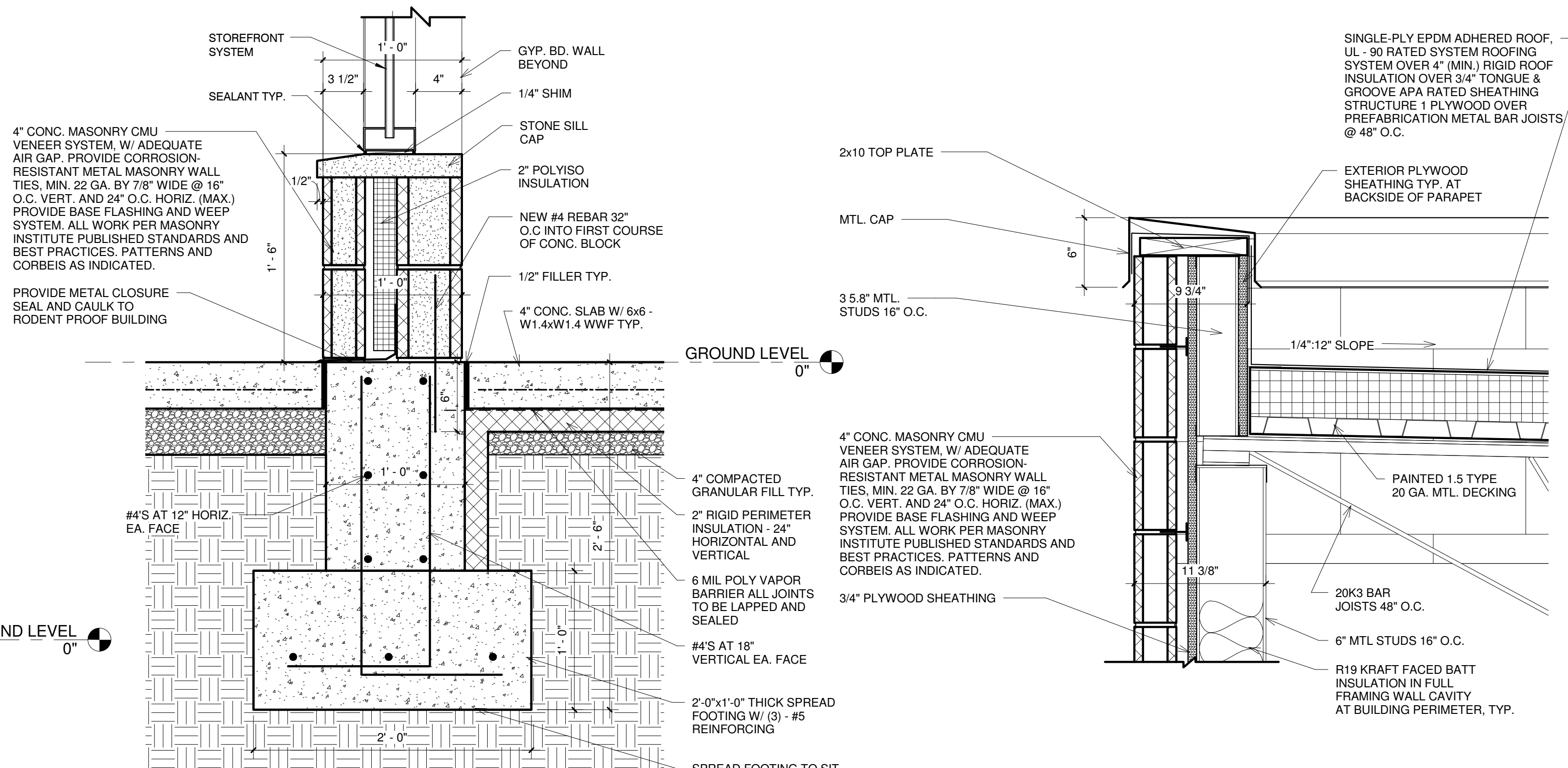


2 BUILDING SECTION.  
 1/4" = 1'-0"

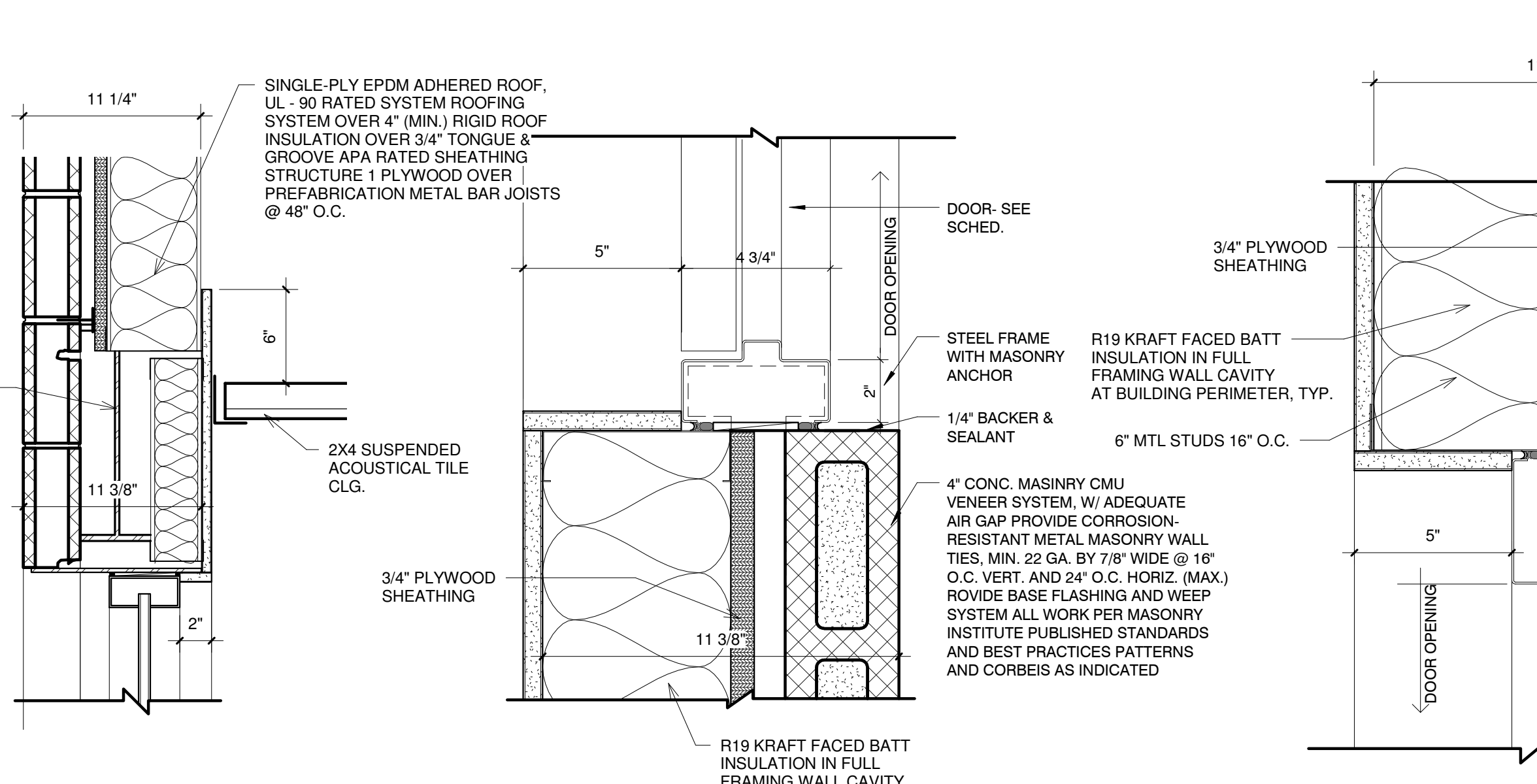


5 DETAIL @ PARAPET.  
 1 1/2" = 1'-0"

6 DETAIL @ GUTTER  
 1 1/2" = 1'-0"

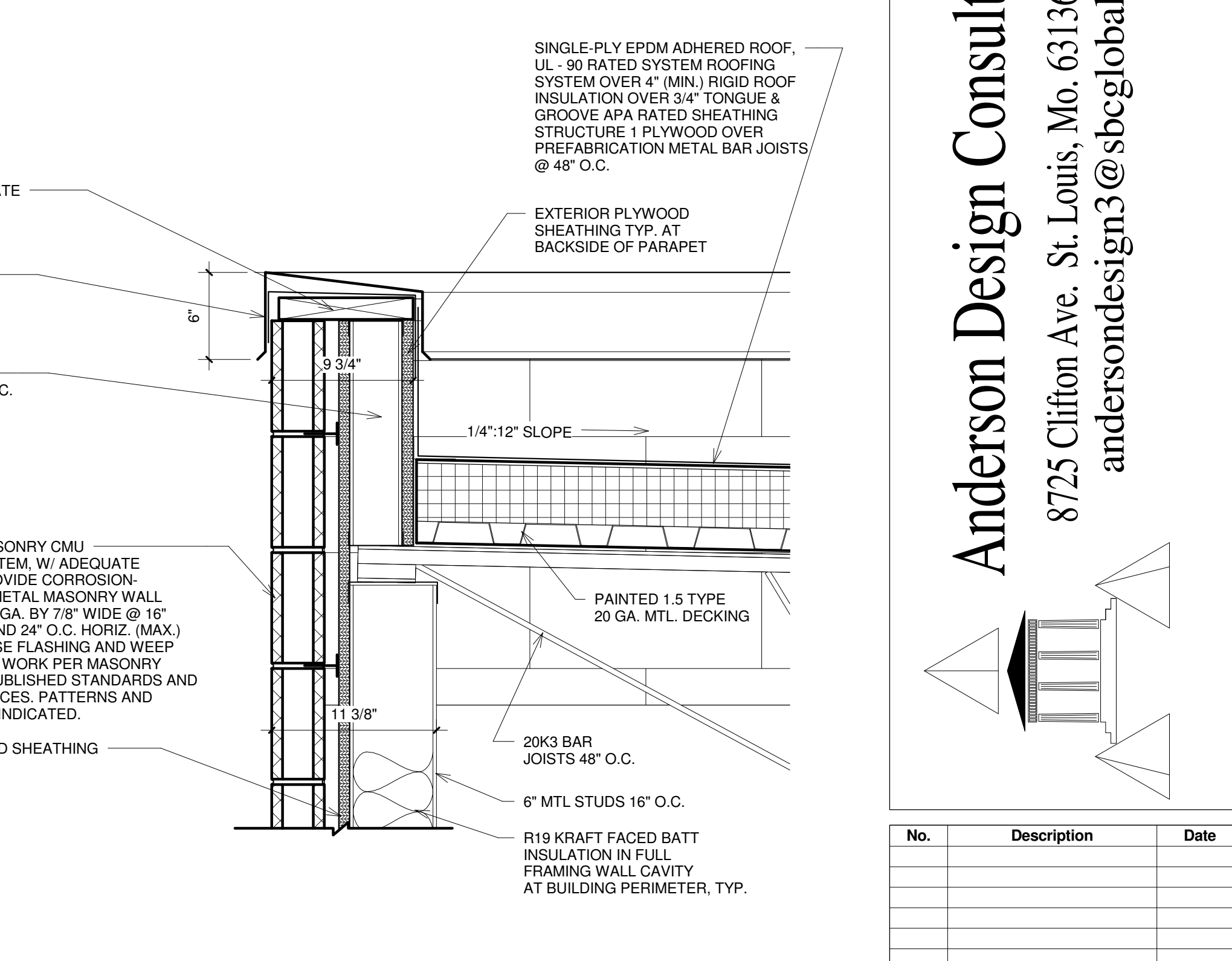


3 DETAIL @ STOREFRONT SILL  
 1 1/2" = 1'-0"

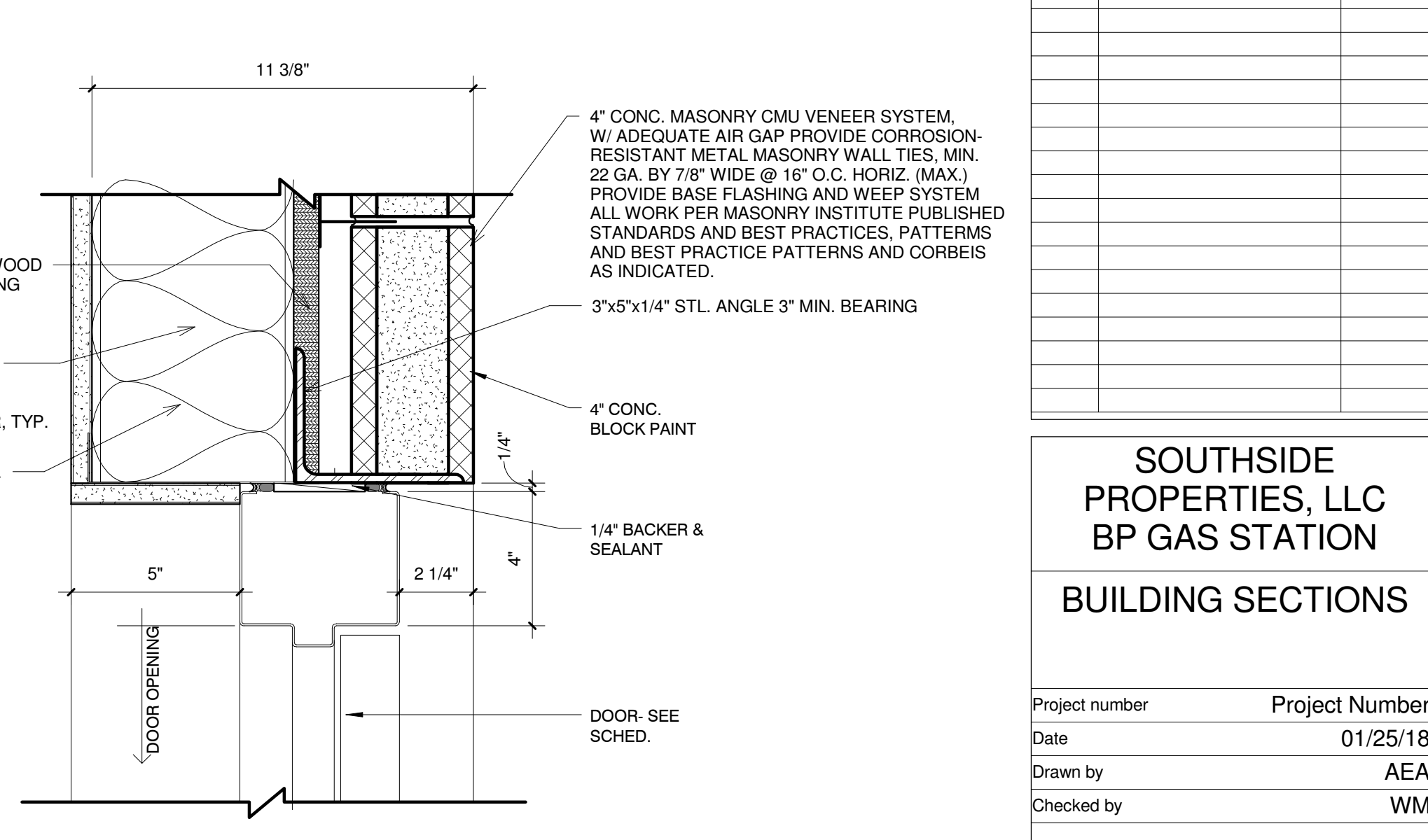


7 DETAIL @ STOREFRONT HEAD  
 1 1/2" = 1'-0"

8 DETAIL @ CONC. BLOCK DOOR JAMB  
 3" = 1'-0"



4 DETAIL @ PARAPET  
 1 1/2" = 1'-0"



9 DETAIL @ CONC. BLOCK DOOR HEAD  
 3" = 1'-0"

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SOUTHSIDE PROPERTIES, LLC  
 BP GAS STATION  
 BUILDING SECTIONS

|                |                |
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| Project number | Project Number |
| Date           | 01/25/18       |
| Drawn by       | AEA            |
| Checked by     | WM             |
| A7             |                |
| Scale          | As indicated   |



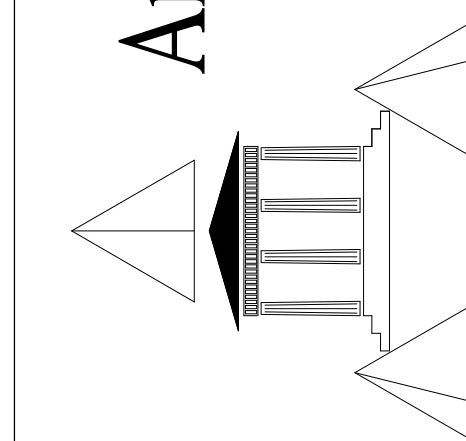




314-642-5240 ph.

I hereby certify that these plans and specifications were prepared by me or under my supervision and to the best of my knowledge, comply with all applicable codes. I am a duly Registered Architect under the Laws of the state of MISSOURI as signified by my hand and seal.

Anderson Design Consultants, LLC  
8725 Clifton Ave. St. Louis, Mo. 63136 314-219-9128  
andersondesign3@sbcglobal.net



| GRAPHIC SYMBOLS |                         |        |                    |        |                        | DRAWING INDEX |             |
|-----------------|-------------------------|--------|--------------------|--------|------------------------|---------------|-------------|
| ACT             | ACOUSTICAL CEILING TILE | GC     | GENERAL CONTRACTOR | PROV   | PROVIDE                | &             | AND         |
| AFF             | ABOVE FINISH FLOOR      | GL     | GLASS              | P.T.   | PRESSURE TREATED       | @             | AT          |
| ARCH            | ARCHITECTURAL           | GYP BD | GYPSUM BOARD       | PTN    | PARTITION              | φ             | DIAMETER    |
| ALUM            | ALUMINUM                | HDCP   | HANDICAPPED        | R      | RADIUS                 | ∠             | ANGLE       |
| BLK             | BLOCK                   | H.C.   | HOLLOW CORE        | QTY    | QUANTITY               | ⊕             | CENTER LINE |
| BLDG            | BUILDING                | H.M.   | HOLLOW METAL       | REQ'D  | REQUIRED               | #             | NUMBER      |
| CLG             | CEILING                 | HORZ.  | HORIZONTAL         | REV    | REVISION               |               |             |
| CER             | CERAMIC                 | H.P.   | HIGH POINT         | SCHED  | SCHEDULE               |               |             |
| COL             | COLUMNS                 | IN     | INCH               | SECT   | SECTION                |               |             |
| CONC            | CONCRETE                | INSUL  | INSULATION         | SHT    | SHEET                  |               |             |
| CONST           | CONSTRUCTION            | INCAN  | INCANDESCENT       | SIM    | SIMILAR                |               |             |
| CONT            | CONTINUOUS              | INT    | INTERIOR           | S C    | SOLID CORE             |               |             |
| DEMO            | DEMOLITION              | LAM    | LAMINATE           | SPECS  | SPECIFICATIONS         |               |             |
| DIA             | DIAMETER                | LAV    | LAVATORY           | S F    | SQUARE FEET            |               |             |
| DIM             | DIMENSION               | LIN    | LINEAR             | S S    | STAINLESS STEEL        |               |             |
| DN              | DOWN                    | LP     | LOW POINT          | STD    | STANDARD               |               |             |
| DTL             | DETAIL                  | LTG    | LIGHTING           | STL    | STEEL                  |               |             |
| DWG             | DRAWING                 | MAS.   | MASONRY            | STRUCT | STRUCTURAL             |               |             |
| EA              | EACH                    | MAX    | MAXIMUM            | SUSP   | SUSPENDED              |               |             |
| E.F.            | EACH FACE               | MECH   | MECHANICAL         | T/     | TOP OF                 |               |             |
| EC              | ELECTRICAL CONTRACTOR   | MFG    | MANUFACTURE        | T W    | TOP OF WALL            |               |             |
| ELECT           | ELECTRICAL              |        |                    | TYP    | TYPICAL                |               |             |
| EJ              | EXPANSION JOINT         | MTL    | METAL              | T & G  | TONGUE & GROOVE        |               |             |
| EL              | ELEVATION               | MIN    | MINIMUM            | VIF    | VERIFY IN FIELD        |               |             |
| EQ.             | EQUAL                   | MISC   | MISCELLANEOUS      | VERT   | VERTICAL               |               |             |
| EQUIP           | EQUIPMENT               | M.O.   | MASONRY OPENING    | VCT    | VINYL COMPOSITION TILE |               |             |
| EXIST           | EXISTING                | NIC    | NOT IN CONTRACT    | WC     | WATER CLOSET           |               |             |
| EXP             | EXPANSION               | NO     | NUMBER             | W/     | WITH                   |               |             |
| EXT             | EXTERIOR                | NOM    | NOMINAL            | W/O    | WITH OUT               |               |             |
| FIN             | FINISHED                | NTS    | NOT TO SCALE       | WD     | WOOD                   |               |             |
| FLUOR           | FLUORESCENT             | O.C.   | ON CENTER          | WP     | WATER PROOF            |               |             |
| FP              | FIREPROOF               | OPG    | OPENING            | WWF    | WELDED WIRE FABRIC     |               |             |
| FURN            | FURNISHED               | PL LAM | PLASTIC LAMINATE   | WF     | WATER FOUNTAIN         |               |             |
| GA              | GAUGE                   | PL     | PLATE              |        |                        |               |             |
| GALV            | GALVANIZED              | PLG    | PLUMBING           |        |                        |               |             |

| DETAIL NUMBER | DOOR NUMBER IDENTIFICATION | PARTITION TYPE | SECTION CUT | DETAIL SYMBOL | ELEVATION | EXISTING TO REMAIN | PARTITION OR MATERIAL TO BE REMOVED | NEW WALL | FIN. ELEVATION |
|---------------|----------------------------|----------------|-------------|---------------|-----------|--------------------|-------------------------------------|----------|----------------|
|               | 01                         | □              | ○           | ○             | ---       | ---                | ---                                 | █        | 0.0            |

| POURED CONCRETE | FACE BRICK | STEEL    | ROUGH WOOD | FINISHED WOOD | PLYWOOD  | GYPSUM BOARD | RELOCATED DOOR | EXISTING DOOR TO REMAIN | NEW EXHAUST FAN 50CFM MIN. EXHAUST TO OUTSIDE WITH WEATHER CAP | 4" FLOOR DRAIN | FIN. ELEVATION |
|-----------------|------------|----------|------------|---------------|----------|--------------|----------------|-------------------------|--|----------------|----------------|
| [Symbol]        | [Symbol]   | [Symbol] | [Symbol]   | [Symbol]      | [Symbol] | [Symbol]     | [Symbol]       | [Symbol]                | [Symbol]   | [Symbol]       | [Symbol]       |

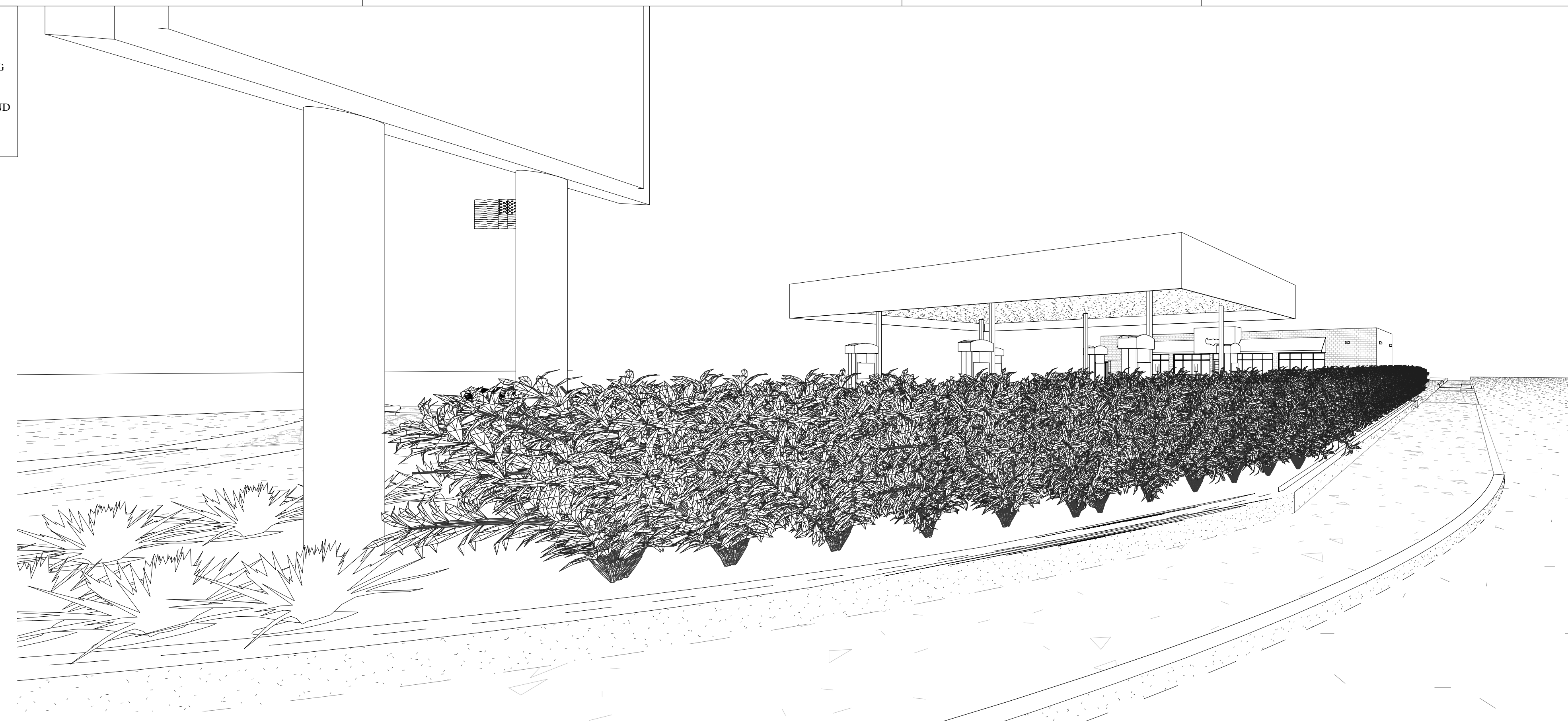
  

| DRAWING INDEX                           | DRAWING INDEX                   |
|---|---------------------------------|
| A0 COVER SHEET                          | M1 GROUND LEVEL MECHANICAL PLAN |
| A1 SITE DEMOLITION AND PLAN AND DETAILS | M2 PLUMBING ROOF PLAN           |
| A2 GROUND & ENLARGED STOREFRONT PLAN    | M3 MECHANICAL                   |
| A3 EXTERIOR ELEVATIONS                  | M4 MECHANICAL                   |
| A4 CEILING PLAN & DETAILS               | M5 MECHANICAL                   |
| A5 ROOF AND FRAMING PLAN                | E1 GROUND LEVEL ELECTRICAL PLAN |
| A6 TRASH ENCLOSURE AND DETAILS          | E2 GROUND LEVEL ELECTRICAL PLAN |
| A7 BUILDING SECTIONS                    | E3 ELECTRICAL ROOF PLAN         |
| CO COVER SHEET                          | P1 GROUND LEVEL PLUMBING        |
| C1 DEMO-PLAN                            | P2 PLUMBING ROOF PLAN           |
| C2 SITE-PLAN                            |                                 |
| C3 GRADING/SEWER PLAN                   |                                 |
| C4 SEWER PROFILES                       |                                 |
| C5 DETAILS                              |                                 |
| C6 PRE DEVELOPMENT Q                    |                                 |
| C7 POST DEVELOPMENT "Q"                 |                                 |

| CODE DATA  | SCOPE OF WORK  |
|--|--|
| BUILDING DEPARTMENT:<br>CITY OF UNIVERSITY CITY<br>6801 DELMAR BOULEVARD<br>UNIVERSITY CITY, MO. 63130<br>314-505-8560 | Demolish existing building and pumps and build new building and new pumps. |
| BUILDING CODE: 2012 IBC  |  |
| USE GROUP: M   |  |
| CONSTRUCTION TYPE: IIB   |  |

**CONTRACTOR'S NOTE:**  
WRITTEN DIMENSIONS HOLD PREFERENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. CONTRACTOR'S MUST VISIT JOB SITE TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE SUBMITTING BIDS. REPORT ANY DISCREPANCIES OF ANY CONDITIONS WHICH MAY INTERFERE WITH THE PROPER EXECUTION OF WORK, TO TENANT REPRESENTATIVE. REPORT DISCREPANCIES DURING BIDDING PROCESS AND BEFORE START OF CONSTRUCTION. EXTRAS WILL NOT BE ALLOWED FOR JOB OR CODE COMPLIANCE CONDITIONS AFTER COMMENCEMENT OF CONSTRUCTION.



BP GAS STATION  
6700 OLIVE BLVD.  
UNIVERSITY CITY, MISSOURI

| No. | Description | Date |
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SOUTHSIDE PROPERTIES, LLC  
BP GAS STATION  
COVER SHEET

|                |                |
|----------------|----------------|
| Project number | Project Number |
| Date           | 01/25/18       |
| Drawn by       | AEA            |
| Checked by     | WM             |

**A0**

Scale

**project information**

client: BP  
address: Clark's Pump & Shop  
2626 Gallia St.  
Portsmouth, OH 45662  
store #: 19153  
m number: 58937  
date: 10-13-15  
rendered: DR  
file name: BPL\_58937\_15  
Category:

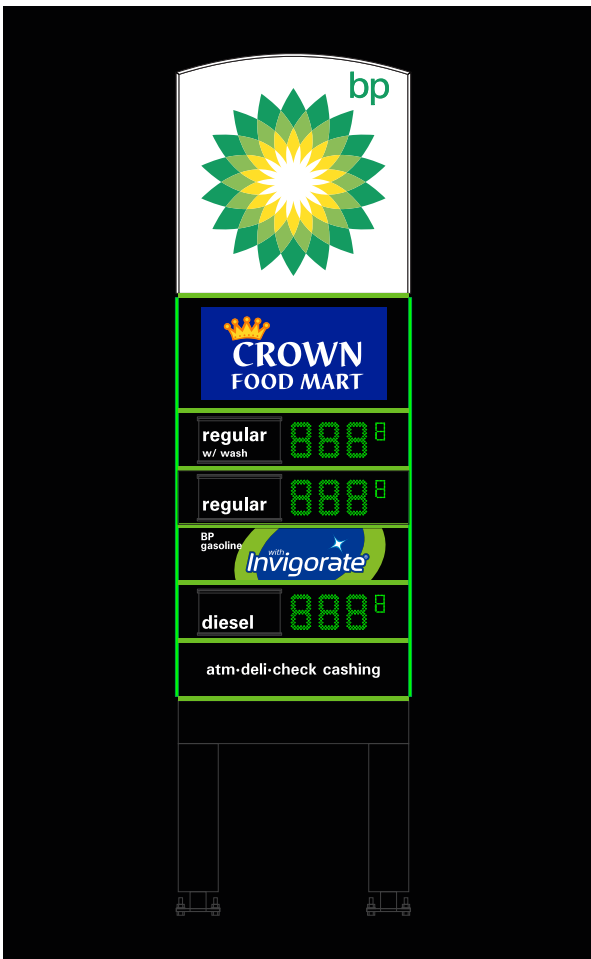
**revisions**

- a. N/A
- b.
- c.
- d.

**sign code:**

**These drawings are not for construction.** The information contained herein is intended to express design intent only.

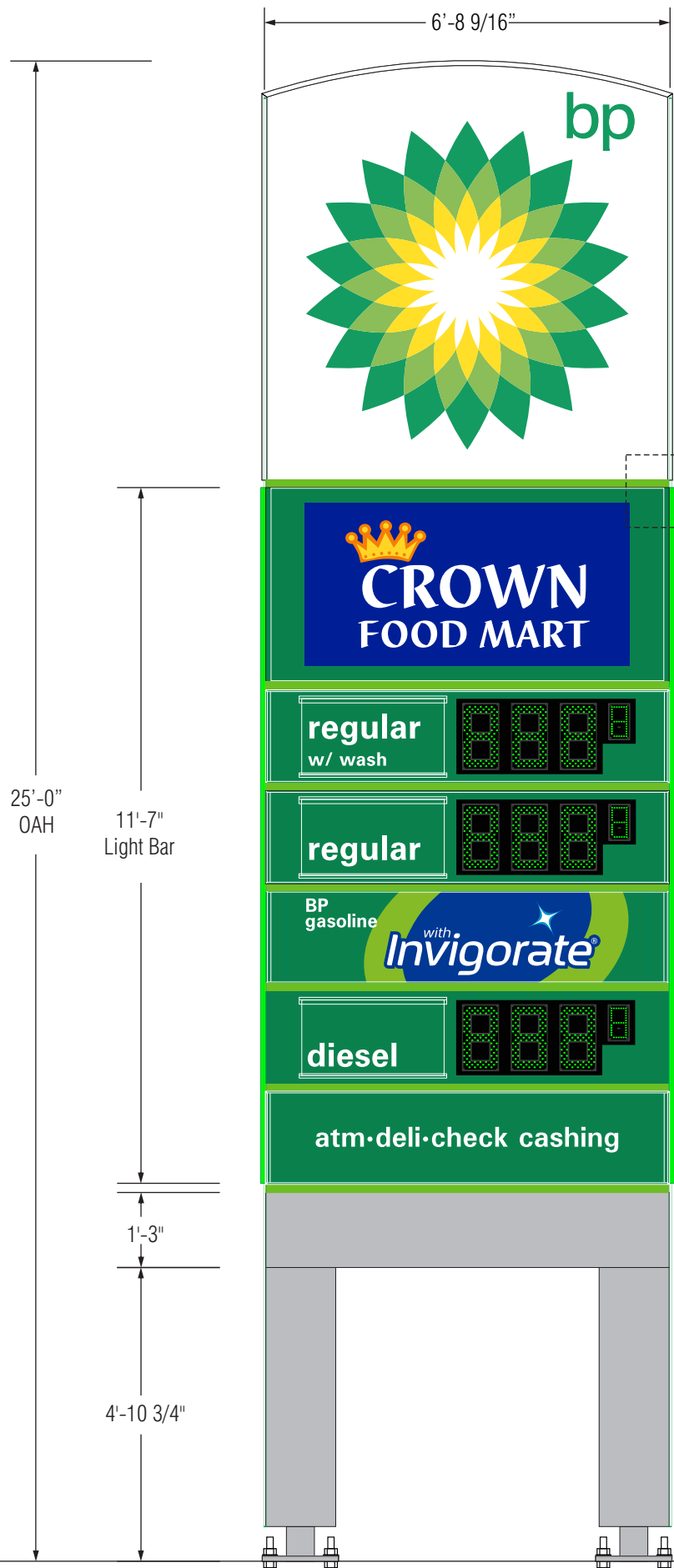
This original design is the sole property of the Blair Companies, it cannot be reproduced, copied or exhibited, in whole or part, without first obtaining written consent from the Blair Companies.



**NIGHT TIME VIEW**

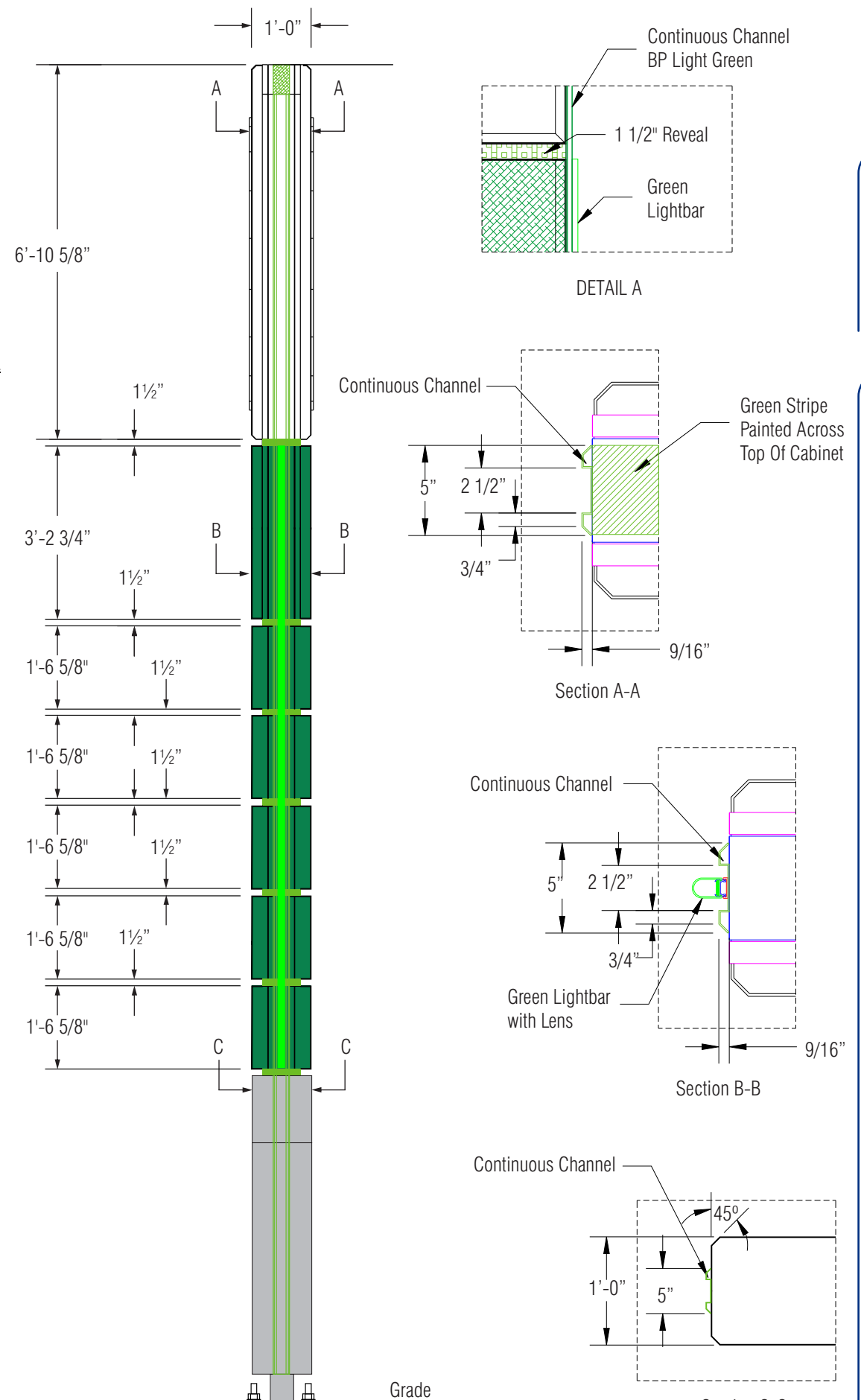
**81" FRAMING SYSTEM**  
**7 PANELS**  
**(NEW BP BEACON GREEN)**

Conceptual Rendering



**FRONT ELEVATION VIEW**

SCALE: 3/8" = 1'-0"



**SIDE ELEVATION VIEW**







## Council Agenda Item Cover

**MEETING DATE:** April 26, 2018

**AGENDA ITEM TITLE:** Streets Maintenance Division Personnel Composition - Revision

**AGENDA SECTION:** Consent Agenda

**CAN THIS ITEM BE RESCHEDULED? :** YES

### BACKGROUND REVIEW:

The Department of Public Works Streets Maintenance division is authorized by City Council for a composition of 11 full-time personnel in the current fiscal year. The personnel make-up of this division includes 1 Streets Superintendent and 2 Crew Leaders. The organization of the division is as listed below:

| <b>Job Title</b>                 | <b>FY2018 Authorized Full Time Equivalent (FTE) personnel</b> |
|----------------------------------|---|
| Streets Superintendent           | 1.0   |
| Crew Leader                      | 2.0   |
| Heavy Equipment Operator         | 3.0   |
| Equipment Operator               | 4.0   |
| Laborer/Light Equipment Operator | 1.0   |
| <b>Total:</b>                    | <b>11.0</b>   |

A review with the Streets Superintendent of the divisional work flows and equipment operations safety for all involved revealed the below findings:

- 1) The division needs more experience and skill in operating equipment,
- 2) The division is supported by a part-time employee (3 ea.) workforce that may not be able to operate equipment in small crew sizes due to the lack of sufficient monitoring and guidance of more experienced employees in the same crew (such as Heavy Equipment Operators),
- 3) The presence of more operators that can perform equipment operator functions and cross train more rapidly is a need,
- 4) The division currently has a viable support team and needs to increase the skilled labor force by increasing the number of operators,
- 5) In the absence of a sufficient number of skilled operators the supervisory staff (Superintendent and Crew Leader) are consistently relied upon to fill this gap causing an imbalance in the required work flows,
- 6) A more sustainable number of skilled operators is anticipated to have an offsetting effect on any increased amount of time spent by the supervisory staff in execution of duties versus supervising, training and managing.

In light of the above, a divisional workforce composition revision of downgrading 1 ea. Crew Leader position to 1 ea. Heavy Equipment Operator position is hereby proposed. This Crew Leader position is currently vacant and when 1 ea. Heavy Equipment Operator position can be

created in its place, it is proposed to be filled by promoting a current Equipment Operator from within the division to that role, who competitively applied for the position, was selected by the interviewing panel and consecutively passed a Commercial Driver's License (CDL) Class A examination as required for the Heavy Equipment Operator position.

**RECOMMENDATION:** City Manager recommends approval to downgrade 1 ea. Crew Leader position (currently vacant) in the Streets Division into 1 ea. Heavy Equipment Operator position. The division therefore is recommended to have the below workforce composition after this approval, which is also to be used for the Fiscal Year 2019 budget with the total number of employees unchanged:

| <b>Job Title</b>                 | <b>FY2018 Authorized Full Time Equivalent (FTE) personnel</b> |
|----------------------------------|---|
| Streets Superintendent           | 1.0   |
| Crew Leader                      | 1.0   |
| Heavy Equipment Operator         | 4.0   |
| Equipment Operator               | 4.0   |
| Laborer/Light Equipment Operator | 1.0   |
| <b>Total:</b>                    | <b>11.0</b>   |

## **RESOLUTION NO. 2018-7**

**A RESOLUTION SELECTING U. CITY, L.L.C. AS PREFERRED DEVELOPER FOR REDEVELOPMENT PROJECT AREA 1 OF THE OLIVE BOULEVARD COMMERCIAL CORRIDOR AND RESIDENTIAL CONSERVATION REDEVELOPMENT AREA, SUBJECT TO CERTAIN REQUIREMENTS, AND AUTHORIZING THE CITY MANAGER TO NEGOTIATE A REDEVELOPMENT AGREEMENT FOR CONSIDERATION BY THE CITY COUNCIL.**

**WHEREAS**, the City has solicited redevelopment proposals for an area located immediately east of the Olive Boulevard and I-170 interchange (“RPA 1”); and

**WHEREAS**, in response to the solicitation of redevelopment proposals, Novus Companies, on behalf of its affiliate U. City, L.L.C. (the “Developer”), submitted a proposal to redevelop RPA 1 into a mixed-use development consisting of retail, restaurant, office, multi-family residential, senior living and hotel uses (the “Redevelopment Project”); and

**WHEREAS**, the City desires to (1) designate the Developer as the developer of RPA 1, subject to entering into a satisfactory redevelopment agreement and (2) authorize the City Manager to negotiate a redevelopment agreement for consideration by the City Council;

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF UNIVERSITY CITY, MISSOURI, AS FOLLOWS:**

**Section 1.** The Developer is hereby designated as the developer with respect to RPA 1; provided, such designation shall terminate if the City and the Developer do not enter into a mutually satisfactory redevelopment agreement with respect to the Redevelopment Project by March 31, 2019.

**Section 2.** The City Manager is hereby authorized to negotiate a redevelopment agreement between the City and the Developer, which provides for the construction and financing of the Redevelopment Project, including the application of any tax increment financing assistance or other economic development incentives approved by the Council, and to present such redevelopment agreement to the Council for consideration.

**Section 3.** All actions heretofore taken by the authorized representatives, agents and employees of the City in connection with the transaction contemplated by this Resolution are hereby ratified and confirmed, and the City shall, and the representatives, agents and employees of the City are hereby authorized and directed to, take such further action, and execute and deliver such other documents and instruments as may be necessary or desirable to carry out and comply with the intent of this Resolution, and to carry out, comply with and perform the duties of the City with respect to the Resolution.

**Section 4.** The sections, paragraphs, sentences, clauses and phrases of this Resolution shall be severable. In the event that any such section, paragraph, sentence, clause or phrase of this Resolution is found by a court of competent jurisdiction to be invalid, the remaining portions of this Resolution are valid, unless the court finds the valid portions of this Resolution are so essential to and inseparably connected with and dependent upon the void portion that it cannot be presumed that the City has enacted the valid portions without the void ones, or unless the court finds that the valid portions, standing alone, are incomplete and are incapable of being executed in accordance with the legislative intent.

**Section 5.** This Resolution shall be in full force and effect from and after its adoption by the City Council.

**PASSED and RESOLVED** this 26<sup>th</sup> day of April, 2018.

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
LaRette Reese, City Clerk



## Council Agenda Item Cover

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**MEETING DATE:** April 26, 2018

**AGENDA ITEM TITLE:** Resolution for Fiscal Year 2017-2018- Budget Amendment # 4

**AGENDA SECTION:** New Business

**CAN THIS ITEM BE RESCHEDULED? :** No

**BACKGROUND REVIEW:** Attached is the fourth budget amendment of fiscal year 2018 for all Funds.

### **General Fund**

- 1) **City Manager's Office** - At the end of the third quarter legal services was 117% of the budget. The monthly average is approximately \$35,000. A transfer of \$120,000 needs to be made from the GF reserve.

### **Fleet Maintenance Fund**

- 2) **Fleet Operation** – Fleet Department spent for outside services from the contractors, including the dealers and auto body for major repair and maintenance, over the budgeted amount. However, the vehicle parts account was only used less than 50% of the budgeted amount. A transfer of \$45,000 from the vehicle parts to vehicle maintenance is needed.

### **Sewer Lateral Repair**

- 2) Transfer of \$150,000 from fund reserve is needed to cover additional funding requested per County regulations to maintain solvency of SSLRP and to continue to provide uninterrupted repair for residents.

### **Solid Waste Management**

- 3) **Solid Waste Operation** - Transfer \$50,000 from Salaries Full Time to cover the cost of Temporary Help. During the budget process, the department planned to hire some of these employees to be full time. This fund was budgeted in Salaries Full Time line item.

### **Capital Improvement Sales Tax**

- 3) Public Works spent approximately \$30,000 for ADA self-evaluation project. This expense is part of the capital improvement for the curb and sidewalk. Transfer of \$30,000 is needed from the capital project account.

The resolution for approval of the amendment is attached.

**RECOMMENDATION:** The City Manager is recommending approval



***Resolution 2018 - 8***

**A RESOLUTION AMENDING THE FISCAL YEAR 2017-2018 (FY18)  
BUDGET – AMENDMENT # 4 AND APPROPRIATING SAID AMOUNTS**

**NOW, THEREFORE BE IT RESOLVED** by the City Council of the City of University City, Missouri, that the Annual Budget for the fiscal year beginning July 1, 2017, was approved by the City Council and circumstances now warrant amendment to that original budget.

**BE IT FURTHER RESOLVED**, that in accordance with the City Charter, the several amounts stated in the budget amendment as presented, are herewith appropriated to the several objects and purposes named.

Adopted this 26th day of April, 2018

\_\_\_\_\_  
Mayor

Attest:

\_\_\_\_\_  
City Clerk

Certified to be Correct as to Form:

\_\_\_\_\_ City Attorney



**FY 18 Budget Amendment # 4  
To be Approved by the City Council  
April 26, 2018**

**GENERAL FUND**

| <u>Account</u>               | <u>Expenditure<br/>Increase</u> | <u>Expenditure<br/>Decrease</u> | <u>Description</u>  |
|------------------------------|---------------------------------|---------------------------------|---|
| 1) City Manager's Office     |                                 |                                 |   |
| 6020 Office Equipment Maint. | \$120,000                       |                                 | Transfer to cover cost of legal services provided by various law firms. |

|                                  |                   |
|----------------------------------|-------------------|
| <b>TOTAL GENERAL FUND</b>        |                   |
| <b>REDUCTION IN FUND BALANCE</b> | <b>\$ 120,000</b> |

**FLEET MAINTENANCE FUND**

|                             |          |            |  |
|-----------------------------|----------|------------|--|
| 2) 6460 Vehicle Maintenance | \$45,000 |            | Transfer to cover various services provided by out side contractors. |
| 7930 Vehicle Parts          |          | (\$45,000) |  |

|                                     |             |
|-------------------------------------|-------------|
| <b>TOTAL FLEET MAINTENANCE FUND</b> | <b>\$ -</b> |
| <b>REDUCTION IN FUND BALANCE</b>    |             |

**SEWER LATERAL FUND**

| <u>Account</u>                 | <u>Expenditure<br/>Increase</u> | <u>Expenditure<br/>Decrease</u> | <u>Description</u> |
|--------------------------------|---------------------------------|---------------------------------|--------------------|
| 2) 6450 Sewer Lateral Expenses | \$150,000                       |                                 |                    |

|                                  |                   |
|----------------------------------|-------------------|
| <b>TOTAL SEWER LATERAL FUND</b>  | <b>\$ 150,000</b> |
| <b>REDUCTION IN FUND BALANCE</b> |                   |

**SOLID WASTE FUND**

| <u>Account</u>                      | <u>Expenditure<br/>Increase</u> | <u>Expenditure<br/>Decrease</u> | <u>Description</u>                   |
|-------------------------------------|---------------------------------|---------------------------------|--------------------------------------|
| <b><u>SW-Operation</u></b>          |                                 |                                 |                                      |
| 3) 6070 Temporary Labor             | \$50,000                        |                                 | Transfer to cover cost of Temp labor |
| 5001 Salaries-Full time - Operation |                                 | (50,000)                        |                                      |

|  |            |
|--|------------|
| <b>TOTAL SOLID WASTE MANAGEMENT FUND</b> |            |
| <b>REDUCTION IN FUND BALANCE</b>         | <b>\$0</b> |

**CAPITAL IMPROVEMENT SALES TAX FUND**

| <u>Account</u>                | <u>Expenditure<br/>Increase</u> | <u>Expenditure<br/>Decrease</u> | <u>Description</u>  |
|-------------------------------|---------------------------------|---------------------------------|---------------------|
| 4) 6010 Professional Services | \$30,000                        |                                 | ADA Self evaluation |
| 8060 Curbs, Sidewalk & Alleys |                                 | (30,000)                        |                     |

|   |            |
|---|------------|
| <b>TOTAL CAPITAL IMPROVEMENT PROJECT FUND</b> |            |
| <b>REDUCTION IN FUND BALANCE</b>              | <b>\$0</b> |

**FY 18 Budget Transfer # 3  
To be Delegated to City Manager  
April 26, 2018**

| <u>Account</u>                        | <u>Expenditure<br/>Increase</u> | <u>Expenditure<br/>Decrease</u> | <u>Description</u>  |
|---------------------------------------|---------------------------------|---------------------------------|---|
| <b><u>GENERAL FUND</u></b>            |                                 |                                 |   |
| <b>1) City Manager's Office</b>       |                                 |                                 |   |
| 6105 Relocation Expense               | 11,500                          |                                 | New expenditure was not budgeted  |
| 5001 Salaries - Full time             |                                 | (11,500)                        |   |
| <b>2) Finance</b>                     |                                 |                                 |   |
| 6001 Audit Services                   | 10,000                          |                                 | Hiring auditor to complete Financial Stmt.  |
| 6010 Professional Services            | 10,000                          |                                 | During staff turn over, Finance incurred additional contractual service expenditures, such as professional services and temporary help. |
| 5001 Salaries - Full time             |                                 | (20,000)                        |   |
| <b>3) Municipal Court</b>             |                                 |                                 |   |
| 6560 Technology Services              | 5,000                           |                                 | Technology Service was budgeted in IT   |
| 6560 Technology Services (IT)         |                                 | (5,000)                         |   |
| <b>4) Information Technology</b>      |                                 |                                 |   |
| 6400 Office Equip. Maint.             | 10,000                          |                                 | Upgrade cost slightly higher than anticipated.  |
| 7090 Office & Comp. Equip.            | 5,000                           |                                 |   |
| 8120 Computer Equip.                  |                                 | (15,000)                        |   |
| <b>3) Police</b>                      |                                 |                                 |   |
| 6050 Maintenance Contract             | 15,000                          |                                 | Additional Maintenance cost for 911 was not budgeted  |
| 6560 Technology Services              |                                 | (15,000)                        |   |
| 7370 Institutional Supplies           | 8,000                           |                                 | These supplies were budgeted by Facilities Maint. previously  |
| 6560 Technology Services              |                                 | (8,000)                         |   |
| 7570 Hardware & Tools                 | 10,000                          |                                 | Installation of shelving for evidence   |
| 6560 Technology Services              |                                 | (5,000)                         |   |
| 7090 Office & Comp Equip.             |                                 | (5,000)                         |   |
| <b>4) Fire</b>                        |                                 |                                 |   |
| 6400 Office Equip Maint.              | 6,000                           |                                 | To properly track the actual expenditures and budget.   |
| 7410 License Plate & Badges           | 1,500                           |                                 |   |
| 7450 Photographic Supplies            | 1,000                           |                                 |   |
| 7850 Awards & Gifts                   | 500                             |                                 |   |
| 6010 Professional Services            |                                 | (2,300)                         |   |
| 6290 Sewer                            |                                 | (600)                           |   |
| 6650 Memberships and Cert.            |                                 | (1,300)                         |   |
| 7050 Publications                     |                                 | (700)                           |   |
| 7530 Medical Supplies                 |                                 | (2,100)                         |   |
| 8200 Vehicles & Equip.                |                                 | (2,000)                         |   |
| <b>5) PW- Admin &amp; Engineering</b> |                                 |                                 |   |
| 6070 Temporary Labor                  | 5,000                           |                                 | PW Support Services   |
| 5001 Salaries Full time               |                                 | (5,000)                         |   |

**FY 18 Budget Transfer# 3  
To be Delegated to City Manager (Continued)  
April 26, 2018**

| <u>Account</u>             | <u>Expenditure<br/>Increase</u> | <u>Expenditure<br/>Decrease</u> | <u>Description</u>           |
|----------------------------|---------------------------------|---------------------------------|------------------------------|
| <b>6) PW- Street</b>       |                                 |                                 |                              |
| 6380 Equipment Maintenance | 6,000                           |                                 | Budgeted amount              |
| 6050 Maintenance Contract  |                                 | (6,000)                         | based on previous year       |
| <b>7) PW- Parks</b>        |                                 |                                 |                              |
| 6050 Maintenance Contract  | 18,500                          |                                 | Tree trimming contract       |
| 5001 Salaries Full time    |                                 | (18,500)                        |                              |
| 6380 Equipment Maintenance | 3,000                           |                                 |                              |
| 6680 Subdivision Taxes     | 4,500                           |                                 | Special assessment           |
| 7690 Recreational Supplies |                                 | (7,500)                         |                              |
| <b>7) PW- Golf</b>         |                                 |                                 |                              |
| 6770 Bank & Credit Cards   | 5,000                           |                                 | Increase in volume of credit |
| 7130 Agricultural Supplies |                                 | (5,000)                         | cards by customers           |

**APPROVAL SECTION:**

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|              |      |
|--------------|------|
| City Manager | Date |
|--------------|------|