



Plan Commission

6801 Delmar Boulevard • University City, Missouri 63130 • 314-505-8500 • Fax: 314-862-3168

**MEETING OF THE PLAN COMMISSION
VIA VIDEOCONFERENCE
Wednesday, December 23, 2020
6:30 p.m.**

**IMPORTANT NOTICE REGARDING
PUBLIC ACCESS TO THE PLAN COMMISSION MEETING & PARTICIPATION**

Plan Commission will Meet Electronically on December 23, 2020

On March 20, 2020, City Manager Gregory Rose declared a State of Emergency for the City of University City due to the COVID-19 Pandemic. Due to the current order restricting gatherings of people and the ongoing efforts to limit the spread of the COVID-19 virus, the December 23, 2020 meeting will be conducted via videoconference.

Observe and/or Listen to the Meeting (your options to joint the meeting are below):

Webinar via the link below:

<https://us02web.zoom.us/j/81682003682?pwd=NmpWTzc5Nm9XS2dDTEUrSTIFWTNoQT09>

Passcode: 843262

Audio Only Call

iPhone one-tap : US: +13126266799,,81682003682#,,,,,0#,,843262# or+19292056099,,81682003682#

Or Telephone: Dial (for higher quality, dial a number based on your current location)

US: +1 312 626 6799 or +1 929 205 6099 or +1 301 715 8592 or +1 346 248 7799 or +1 669 900 6833 or +1 253 215 8782 or 877 853 5247 (Toll Free) or 888 788 0099 (Toll Free)

Webinar ID: 816 8200 3682

Citizen Participation

Those who wish to provide a comment during the “Public Comment” and/or “Public Hearing” portions of the agenda: may provide written comments or request video participation invites to the Director of Planning & Development ahead of the meeting. Please specify which case and portion of the agenda you wish to comment.

ALL written comments or video participation invites must be received **no later than 12:00 p.m. the day of the meeting**. Comments may be sent via email to: ccross@ucitymo.org or mailed to the City Hall – 6801 Delmar Blvd. – Attention Clifford Cross, Director of Planning & Development. Such comments will be provided to the Plan Commission prior to the meeting. Comments will be made a part of the official record and made accessible to the public online following the meeting.

Please note, when submitting your comments or invites, a **name and address must be provided**. Please also note if your comment is on an agenda or non-agenda item, and a name and address are not provided, the provided comment will not be recorded in the official record.

The City apologizes for any inconvenience the meeting format change may pose to individuals, but it is extremely important that extra measures be taken to protect employees, residents board/commission members and elected officials during these challenging times.

AGENDA

PLAN COMMISSION

1. Roll Call
2. Approval of Minutes – December 3, 2020
3. Public Comments – (Limited to 3 minutes for individual's comments, 5 minutes for representatives of groups or organizations.)

*ALL written comments or video participation invites must be received **no later than 12:00 p.m. the day of the meeting**. Comments may be sent via email to: ccross@ucitymo.org or mailed to the City Hall – 6801 Delmar Blvd. – Attention Clifford Cross, Director of Planning & Development. Such comments will be provided to the Plan Commission prior to the meeting. Comments will be made a part of the official record and made accessible to the public online following the meeting.*

*Please note, when submitting your comments or invites, a **name and address must be provided**. Please also note if your comment is on an agenda or non-agenda item, and a name and address are not provided, the provided comment will not be recorded in the official record.*

4. Old Business

- a. None

New Business

a. **Map Amendment – PC 20-11**

Applicant: University City / Novus Companies

Request: Approval of a Zoning Map Amendment from General Commercial (GC), Public Activity (PA), Industrial Commercial (IC), High Density Residential (HR) & Single-Family Residential (SR) Districts to Planned Development – Mixed Use (PD-M) District. Approval of a Preliminary Development Plan.

Address: Multiple Addresses within Redevelopment Project Area 1

(VOTE REQUIRED)

5. Other Business

- a. None

6. Reports

- a. Council Liaison Report

8. Adjournment



Department of Planning and Development

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 505-8500, Fax: (314) 862-3168

PLAN COMMISSION MEETING

Via Video Conference

7:00 pm; Thursday, December 3, 2020

The Plan Commission held a regularly scheduled meeting via video conference on Thursday December 3, 2020. The meeting commenced at 7:00 pm and concluded at 9:29 pm.

1. Roll Call

Present

Margaret Holly
Mark Harvey
Ellen Hartz
Michael Miller
Patricia McQueen
Charles Gascon
Victoria Gonzalez
Council Liaison Jeff Hales

Absent

Staff Present

John Mulligan, City Attorney
Clifford Cross, Director of Planning and Development
Al Fleischer, Jr.

2. **Call to Order** – (7:00 pm.) Chairwoman Holly called the meeting to order. The various members introduced themselves to new members and the new members introduced themselves to the Commission.
3. **Approval of Minutes** – September 23, 2020 and October 23, 2020 Plan Commission meetings. (7:16 pm.)
Ms. Hartz moved to approve the minutes of the September 23, 2020 and October 23, 2020 minutes. The motion was unanimously approved.
4. **Public Comments**
There were no comments or hearings on non-agenda items.

5. Old Business

a. **Map Amendment & Preliminary Development Plan Approval - PC 19-09**

Applicant: ALP Acquisition LLC

Request: Approval of a Zoning Map Amendment from General Commercial (GC) to Planned Development – Mixed Use PDM. Approval of a Preliminary Development Plan.

Address: 8400 Delmar Boulevard
(VOTE REQUIRED)

Consideration of the map amendment and preliminary plan approval began at approximately 7:163 pm. At approximately 8:18 pm. Commission member Miller made a motion to recommend approval of the map amendment to rezone the property from General Commercial (GC) to Planned Development – Mixed Use (PD-M). The motion passed by a 7-0 vote.

The commission continued discussion pertaining to the preliminary plan. At approximately 8:18 pm. Commissioner Miller made a motion to recommend approval of the preliminary plan as presented with the following conditions:

- Lot Consolidation Required Prior to Final
- Density and FAR's Conditioned
- Parking Presented to City Council Reflects total required spaces
- Bistro Square Footage Specified
- West Elevation Clarified Prior to Final

6. New Business

a. **Map Amendment – PC 20-10**

Applicant: University City / Costco

Request: Approval of a Zoning Map Amendment from Industrial Commercial (IC) & Public Activity (PA) Districts to Planned Development – Commercial (PD-C) District. Approval of a Preliminary Development Plan.

Address: Costco Site
(VOTE REQUIRED)

Consideration of the proposed map amendment began at approximately 8:29 pm after a brief break. At approximately 8:52 pm. Commissioner Hartz made a motion to recommend approval of the map amendment to rezone the properties from Industrial Commercial (IC) and Public Activity (PA) to Planned Development Commercial (PD-C) District. The motion passed by a unanimous 7-0 vote.

The commission continued discussion pertaining to the preliminary plan. At approximately 9:25 pm. Commissioner McQueen made a motion to recommend approval of the preliminary plan as presented with the following conditions:

- Resolution to 50 Foot Buffer Prior to Final Plan Approval
- Lot consolidation Completed
- Site control must be in place prior to City Council Approval

7. Other Business

There was no other business discussed

8. Reports – (9:27pm.)

Council Liaison Report – Council Liaison Hales welcomed the new members and thanked Mr. Miller for his many years of service.

Mr. Cross advised the Commission he was still evaluating and discussing the RFP process for the development of a Comprehensive Plan.

9. Adjournment

Chairwoman Holly adjourned the meeting at approximately 9:29 pm.

DRAFT



Department of Community Development

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 862-6767, Fax: (314) 862-3168

STAFF REPORT

MEETING DATE: December 23, 2020

FILE NUMBER: PC 20-11

COUNCIL DISTRICT: 3

Applicant: University City / Novus Companies

Location: Redevelopment Project Area # 1 – Olive / 170

Request: 1) A Zoning Map Amendment from General Commercial (GC), Public Activity (PA), Industrial Commercial (IC), High Density Residential (HR) & Single-Family Residential (SR) to PD-M Planned Development-Mixed Use District; and
2) Preliminary Development Plan approval For Redevelopment Project Area 1.

Existing Zoning: GC, PA, IC, HR & SR

Proposed Zoning: PD-M Planned Development Mixed Use District

Existing Land Use: Commercial, Industrial, Residential

Proposed Land Use: Retail, Commercial, Multi-Family Residential

Surrounding Zoning and Land Use

| | | |
|--------|-------------------------------|----------------------|
| North: | IC-Industrial Commercial | Industrial / Utility |
| East: | GC-General Commercial | Commercial |
| | SR- Single-Family Residential | Single-Family |
| | PA- Public Activity | Vacant/Vegetation |
| South: | SR- Single-Family Residential | Single-Family |
| West: | PA- Public Activity | ROW/170 |
| | MR-Medium Density Residential | ROW/170 |

COMPREHENSIVE PLAN CONFORMANCE

Yes No No reference

STAFF RECOMMENDATION

Approval Approval with Conditions Denial

ATTACHMENTS

- A. Property List & Location Map
- B. October 19, 2020 Plan

Existing Property

St. Louis County Locator ID's and addresses identified and attached to the staff report. The subject properties contain approximately 103 properties totaling 31.79 acres that houses a range of uses that include residential, commercial and service industries. The 31.79-acre site is located on the north and south side of Olive Boulevard at the 170 Interchange

Background

The proposed development is incorporated within Redevelopment Project Area 1 that was approved in June 2019 as part of the "Market At Olive" site plan concept. The total acreage, associated with the RPA1 concept, is approximately 47.85 acres. To move forward the underlying zoning and plan approval must be completed to obtain the applicable permits for construction. As a result, Novus Companies has entered into an agreement to purchase the properties to complete the development identified in RPA1. Based upon those circumstances staff is presenting the proposed rezoning and preliminary plan, to the Plan Commission, seeking their recommendation for approval of the map amendment and preliminary plan. Furthermore, staff is seeking the Plan Commissions execution of an application to City Council, on behalf of the applicant, to request the aforementioned map amendment and preliminary plan approval.

The Plan Commission considered the remaining 16.09 acres during their December 3, 2020 meeting. That remaining acreage will house the Costco development identified within RPA1. Upon complete land control the entire RPA1 site will be incorporated into a final Planned Development Mixed Use (PD-M) development and zoning classification.

Applicant's Request

The applicant is requesting that the subject property be rezoned from five underlying zoning classifications, that include Public Activity (PA), Industrial Commercial (IC), General Commercial (GC), High Density Residential (HR) & Single-Family Residential (SR) to Planned Development Mixed Use (PD-M) in conjunction with approval of a preliminary development plan for the proposed commercial, retail and residential uses.

The total development, minus the Costco site, is proposing 12 retail sites totaling approximately 189,385 square feet, a 222 key hotel totaling approximately 20,340 square feet and a 184-unit residential multi-family development totaling approximately 193,700 square feet. The total parking proposed for the development is 1,439 spaces.

Surrounding Zoning and Land Use

The subject properties are located on the north and south side of Olive Boulevard at the intersection of Olive and 170. The properties surrounding the development consist of a mix of commercial, service and residential uses. Specifically, to the east there are single-family residences and commercial uses. To the south there are single-family residential uses. North of the property is a commercial service facility and to the west is 170.

Proposed Land Use (PLU) Designations, per Map 23 of the 2005 Comprehensive Plan, identify the subject property as having Institution, Industrial and Mixed-Use Transit designations. The property to the north has an Industrial designation while the properties to the east have a combination of single-family and Commercial designations. No designations are identified to the west.

Analysis

Zoning

Article 14, Section 400.3180 of the Zoning Code requires that Plan Commission review a request for a map amendment and forward its recommendation to City Council. A public hearing will be conducted at the City Council level.

The purpose of "PD" Planned Development Districts, as set forth in Section 400.720, of the Zoning Code, is "to provide a means of achieving greater flexibility in development of land in a manner not always possible in conventional zoning districts; to encourage a more imaginative and innovative design of projects; to promote a more desirable community environment; and to retain maximum control over both the design and future operation of the development." The Code further states, "The city council, upon review by the plan commission, may, by an ordinance adopted in the same manner as a rezoning is approved, authorize a planned development district when the proposed development or use of a specific tract of land or area warrants greater flexibility, control and density than is afforded under the general regulations of standard zoning districts."

It is important to note that the purpose for allowing flexibility through Planned Developments is to create developments that adapt better to site conditions and the relation to surrounding properties otherwise not possible under traditional district regulations, thus resulting in developments that are more compatible and consistent with surrounding neighborhoods.

The relationship of planned development districts to the zoning map is set forth in Section 400.730 of the Zoning Code, which states in paragraph 1, "The "PD" designation, as detailed in this section, is a separate use district and may be attached to a parcel of land through the process of rezoning and zoning map amendment." However, in addition to the rezoning of a parcel of land, development plan approval is required. Section 400.730, paragraph 2 states, "It is the intent of this chapter that no development or redevelopment of the property encompassed by the "PD" designation take place until an acceptable development plan has been reviewed and approved in conformance with the requirements of this section, Article 14, "Amendments," of this chapter and applicable sections of Chapter 405, "Subdivision and Land Development Regulations," of the University City Municipal Code."

Uses

The proposed use can be accommodated under the proposed PD-M District Zoning. In staff's opinion, the proposed retail, commercial and multi-family development mix of uses is appropriate for this site. It is located close to the intersection of Olive and 170. Furthermore, it is associated with a concept that will mitigate any future negative impact on existing residential uses surrounding the development.

Section 400.760 of the Zoning Code establishes the permitted uses within a "PD-M" District. The specific permitted land uses shall be established in the resolution adopted by the City Council governing the particular PD-M District. Specific uses may include those uses designated as permitted, accessory, or conditional uses in any of the residential districts, and/or in the "LC" – Limited Commercial District, "GC" – General Commercial District, and "CC" – Core Commercial District. The proposed uses comply with those set forth in the Zoning Code.

Minimum Site Size

The minimum site size for developments in any planned development district is one (1) acre. The Code states that the minimum site size may be waived by the City Council upon report by the Plan Commission; if it is determined that the uses proposed is desirable or necessary in relationship to the surrounding neighborhood; or, if the city council should determine such waiver to be in the general public interest. The subject site is situated in close proximity to other commercial uses and residential dwellings to the east and south. Thus, the proposal would be compatible with the existing pattern of development and existing surrounding uses. Also, the proposed development could be an impetus for further redevelopment of properties centering this intersection into a node for this neighborhood. There is no need for a waiver based upon the site containing more than one (1) acre.

Density and Dimensional Regulations

Density and dimensional regulations for PD-M Planned Development Mixed Use District developments are set forth in Section 400.780 of the Zoning Code and are to incorporate the regulations set forth in the subsection dealing specifically with “PD-R” and PD-C developments. Any discrepancies between the two sets of regulations and resolutions thereof shall be set forth in the map amendment ordinance and/or the resolution approving the development plan. Section 400.780 of the Zoning Code also states that the approval of a development plan may provide for exceptions from the regulations associated with traditional zoning districts as may be necessary to achieve the objectives of the proposed planned development.

Density under the “PD-R” regulations in Section 400.780 states that the density may be limited to that which is established in the original residential district or which is consistent with nearby existing developed areas. Density is not addressed in the “PD-C” regulations. The density, in accordance with section 400.780, for a PD-R only district is approximately 6.8 units per acre or 5.9 units per acre if based upon the MR and SR concepts.

Floor Area Ratio is not addressed in the “PD” Section of the Zoning Code. The HR – High Density Residential District allows for elevator apartment developments with a Floor Area Ratio of up to 2.0 when developed on a lot of at least one acre in area. The FAR Range ratio for the proposed development is approximately 0.29.

Site coverage regulations state that total site coverage, by uses permitted in the “PD-C” or “PD-I” districts, shall be seventy (70) percent. Maximum site coverage may be increased up to ninety (90) percent if the development plan complies with four or more criteria from a list of eleven listed in the Zoning Code. Among the criteria listed, for granting an increase in site coverage, are resolving existing storm drainage problems and proposal of a development more than 5 acres in size. The site coverage for traditional PD-C Developments is 70% and can qualify for up to 90% based upon meeting at least four performance criteria. Based upon the project, and the RPA1 project, the proposed plan appears to meet 1) a resolution off-site drainage problems, 2) a design principal that allows for shared access, 3) approval for a development that exceeds 5 acres or more and 4) a development that meets the criteria and performance standards of the Comprehensive Plan.

Building Setbacks and Buffers

Required building setbacks or buffers shall be as specifically established in the governing ordinances and resolutions for PD-M Developments on a case by case basis. A perimeter buffer of fifty (50) feet is required when a PD-C or a PD-I development abuts a residential district. It is noted that the subject property does abut a residential districts to the south and east. Where a PD-R development abuts a commercial or industrial use or district, a thirty (30) – foot wide buffer is required with landscaping and screening.

If the applicable setback was contingent upon the current underlying districts then the setbacks would be based upon the most restrictive standards associated with the various underlying districts. Therefore, if applicable, the required front and side yard setbacks along Olive would be 15 feet from the applicable right-of-way (ROW) lines assuming there are no parking areas located between the ROW and principle building. Additionally, the rear property line setback would be a minimum of 30 feet and the two side yard setbacks would be 15 feet.

Building Height

The tallest proposed building is 5 stories above grade and approximately 75 feet in height. It is noted that there is no maximum building height established for elevator apartment buildings.

Landscaping/Screening

The Preliminary Development Plan shows the areas of open space being along the landscape buffers, of the property. Landscaping is proposed within the boundaries of the subject property and throughout the parking area. Staff will require an acceptable detailed landscape plan during the land disturbance review process. Staff would also require a detailed landscape plan prior to final plan approval.

Vehicular Access/Circulation

Vehicular access serving the development is provided by a grade access signalized point on the north and south of Olive Boulevard. Parking will be located within the development and landscaped to reduce public view. There will be 1,439 total on-site parking spaces.

Sidewalks

At the location, of the proposed development, it is staff's opinion that promoting a pedestrian-friendly and walkable environment is of the utmost importance.

Parking

Under the PD – Planned Development District regulations, relief from conventional zoning standards may be provided when the proposed development warrants greater flexibility than afforded under the general regulations. The preliminary development plan shows a total of 1,439 off street parking spaces. Based upon an approximate retail square footage of 189,305 square feet, 222 key hotel and 184 multi-family unit the total required parking is 1,581 spaces. The development is located within 500 feet of a transit stop and therefore allowed a 10% exception in accordance to section 400.2130, Subsection E of the code. Based upon that exception, the total proposed parking would be in compliance with the parking requirements of 1,423 required spaces.

Building Design

No set building design is required per the current code, but the applicant has proposed an architectural design that can be locked in as part of the approval.

Sustainability

Additional sustainability measures are encouraged to be incorporated into the proposed development for environmental considerations. The applicant has provided a sustainable design narrative within the plan.

Comprehensive Plan

It is staff's opinion that the proposed mixed-use development, as shown on the Preliminary Development Plan submitted, is consistent with the goals and objectives of the University City Comprehensive Plan Update of 2005. Applicable sections from the Plan Update that support this opinion are included below:

In Chapter 3 of the Comprehensive Plan Update of 2005, under Housing, as an implementation action it states, *"Encourage new housing development that is mixed-use and supports pedestrian oriented activities. Encourage planned housing developments to integrate different types, densities and income levels."* It goes on further to state, *"Ensure flexibility in land use regulations so that a variety of developments are more feasible. Ensure that the Zoning Code permits mixed-use activities and amenities. For example, review the parking requirements and investigate the possibility of parking credits if located near commercial or employment activities, on-street parking, or transit stations (such as the proposed MetroLink stations); review design elements to ensure flexible development standards for creating various positive attributes of mixed use housing such as open spaces; allow flexibility in lot sizes; review the possibility of allowing additional non-residential uses in planned residential developments."*

Also in Chapter 3, of the Comprehensive Plan Update of 2005, under Land Use and Redevelopment, as a general policy it states, *"The City will strongly support development(s) that promote desirable planning concepts such as neighborhood-serving, mixed uses and transit-oriented development and enhance the pedestrian character of the City."* The Comprehensive Plan also indicates that the City *"will encourage the design of commercial and retail structures along major corridors for multiple tenants and mixed uses."*

Conclusion/Recommendation

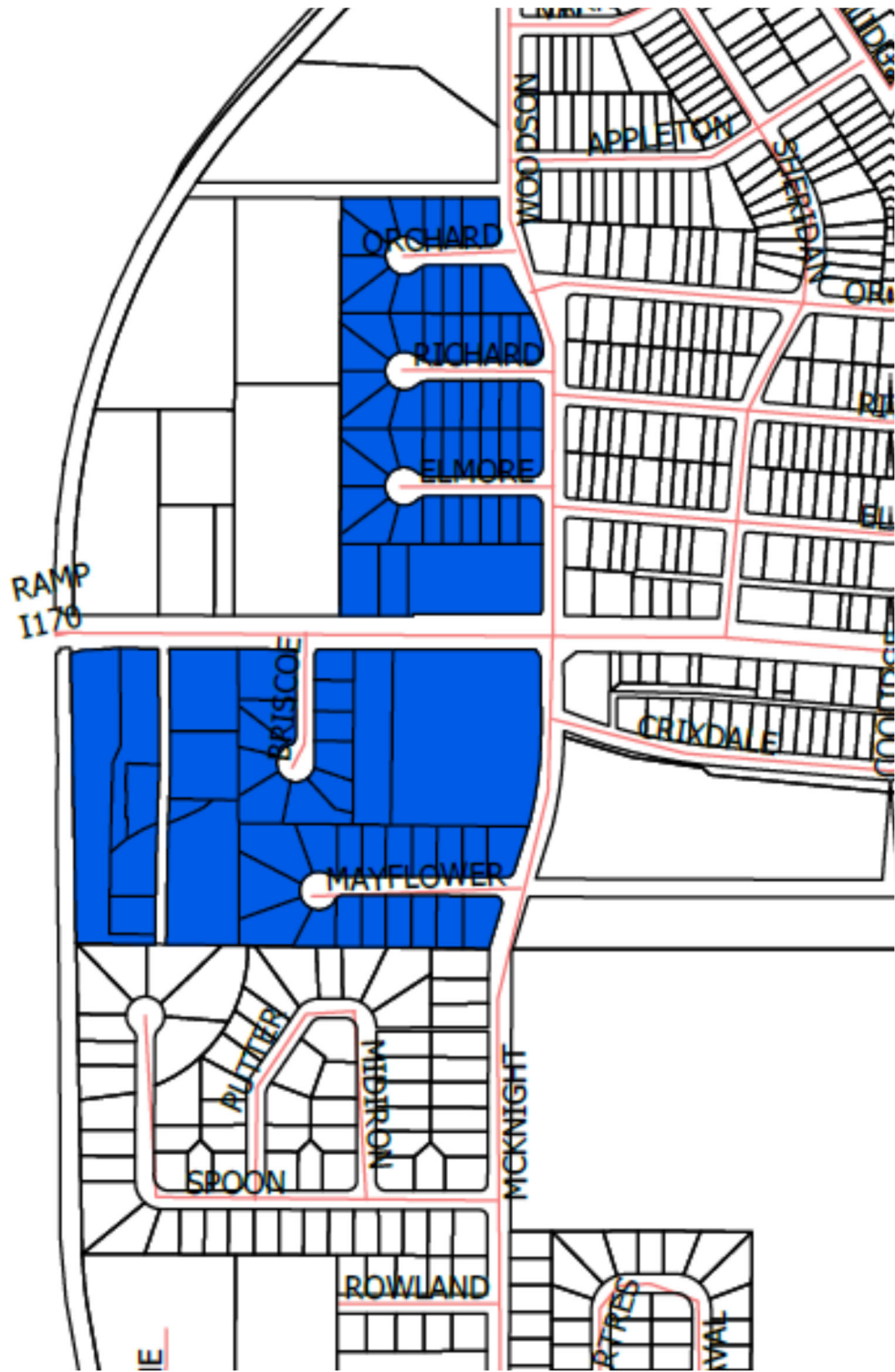
Based on the preceding considerations, staff would recommend 1) approval of the Zoning Map Amendment from Public Activity (PA), Industrial Commercial (IC), General Commercial (GC), High Density Residential (HR) & Single-Family Residential (SR) to Planned Development Mixed Use (PD-M); and 2) approval of the Preliminary Development Plan based upon the following;

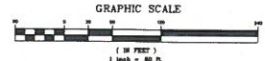
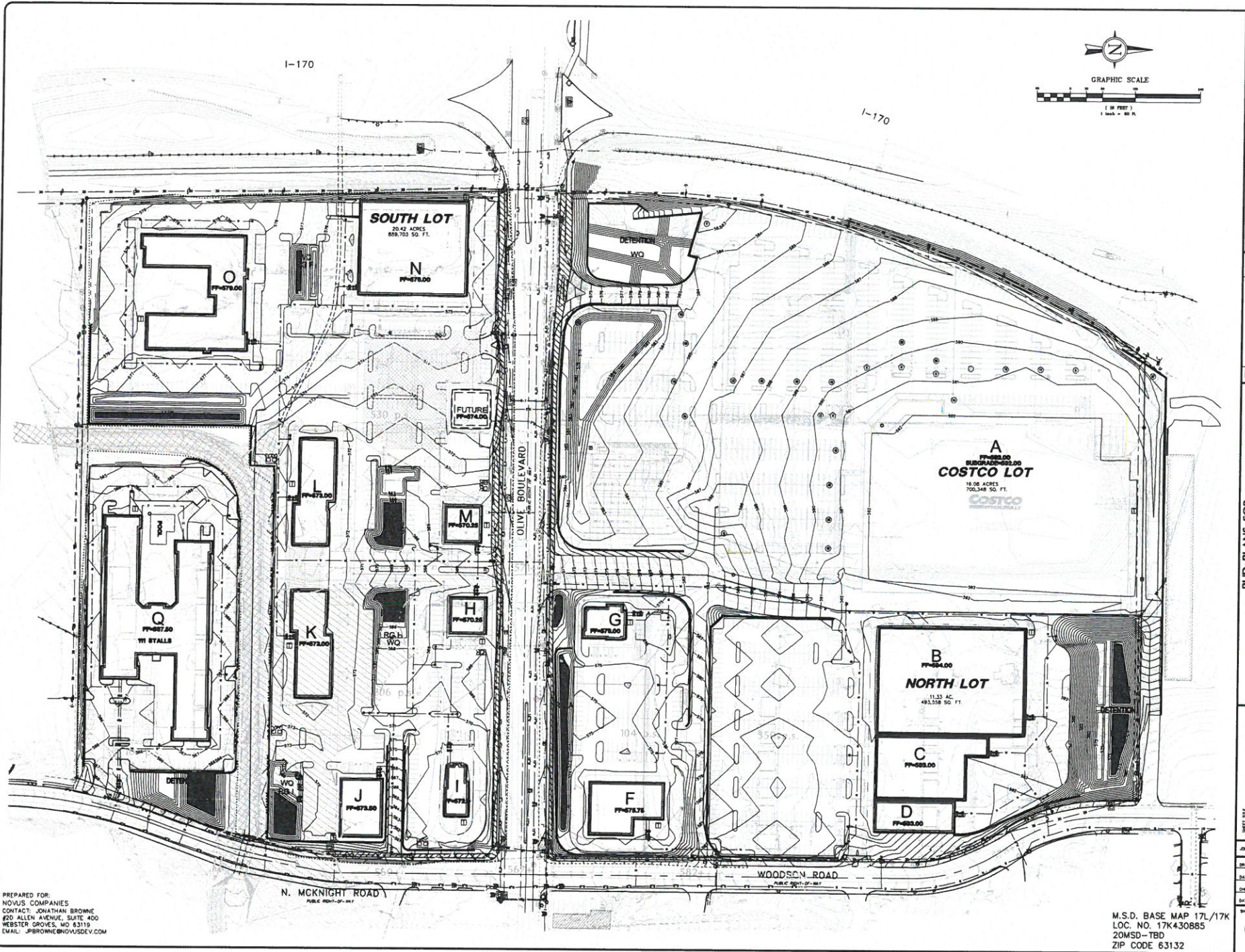
1. Site control must be in place prior to City Council approval.

| LOCATOR | PROP_ADD |
|----------------|--------------------|
| 17L620359 | 8686 SPOON DR |
| 17L620371 | 8690 SPOON DR |
| 17L620579 | 8674 OLIVE BLVD |
| 17K410733 | 1151 N MCKNIGHT RD |
| 17K410777 | 8641 MAYFLOWER CT |
| 17K410788 | 1157 N MCKNIGHT RD |
| 17K410810 | 8605 MAYFLOWER CT |
| 17K410801 | 8615 MAYFLOWER CT |
| 17K410843 | 8625 MAYFLOWER CT |
| 17K410821 | 8633 MAYFLOWER CT |
| 17L640511 | 8666 OLIVE BLVD |
| 17L640490 | 8678 OLIVE BLVD |
| 17K430038 | 1183 BRISCOE PL |
| 17K430083 | 1184 BRISCOE PL |
| 17K430171 | 8640 OLIVE BLVD |
| 17L640544 | 8680 OLIVE BLVD |
| 17K430258 | 8601 OLIVE BLVD |
| 17K430247 | 8637 OLIVE BLVD |
| 17K430236 | 8643 OLIVE BLVD |
| 17K430346 | 8648 ELMORE CT |
| 17K430357 | 8642 ELMORE CT |
| 17K430401 | 8600 ELMORE CT |
| 17K430391 | 8608 ELMORE CT |
| 17K430412 | 8614 ELMORE CT |
| 17K430380 | 8620 ELMORE CT |
| 17K430379 | 8626 ELMORE CT |
| 17K430368 | 8634 ELMORE CT |
| 17K430423 | 8652 ELMORE CT |
| 17K430500 | 8653 ELMORE CT |
| 17K430577 | 8601 ELMORE CT |
| 17K430544 | 8609 ELMORE CT |
| 17K430533 | 8617 ELMORE CT |
| 17K430555 | 8625 ELMORE CT |
| 17K430511 | 8631 ELMORE CT |
| 17K430522 | 8637 ELMORE CT |
| 17K430566 | 8645 ELMORE CT |
| 17K430588 | 8649 ELMORE CT |
| 17K430885 | 8665 OLIVE BLVD |
| 17K430654 | 8648 RICHARD CT |
| 17K430665 | 8642 RICHARD CT |
| 17K430720 | 8600 RICHARD CT |
| 17K430711 | 8608 RICHARD CT |
| 17K430687 | 8614 RICHARD CT |
| 17K430702 | 8620 RICHARD CT |
| 17K430676 | 8626 RICHARD CT |

| LOCATOR | PROP_ADD |
|----------------|--------------------|
| 17K430698 | 8634 RICHARD CT |
| 17K430731 | 8652 RICHARD CT |
| 16K110014 | 8653 RICHARD CT |
| 16K110025 | 8601 RICHARD CT |
| 16K110036 | 8609 RICHARD CT |
| 16K110047 | 8617 RICHARD CT |
| 16K110069 | 8625 RICHARD CT |
| 16K110070 | 8631 RICHARD CT |
| 16K110058 | 8637 RICHARD CT |
| 16K110081 | 8645 RICHARD CT |
| 16K110092 | 8649 RICHARD CT |
| 16K110179 | 8632 ORCHARD CT |
| 16K110180 | 8626 ORCHARD CT |
| 16K110201 | 8602 ORCHARD CT |
| 16K110191 | 8608 ORCHARD CT |
| 16K110212 | 8614 ORCHARD CT |
| 16K110223 | 8620 ORCHARD CT |
| 16K110234 | 8638 ORCHARD CT |
| 16K110322 | 8633 ORCHARD CT |
| 16K110366 | 8603 ORCHARD CT |
| 16K110355 | 8609 ORCHARD CT |
| 16K110344 | 8615 ORCHARD CT |
| 16K110377 | 8621 ORCHARD CT |
| 16K110388 | 8627 ORCHARD CT |
| 16K110971 | 8659 OLIVE BLVD |
| 17K410689 | 1143 N MCKNIGHT RD |
| 17K410645 | 1132 MIDIRON AVE |
| 17K410678 | 1145 PUTTER LN |
| 17K410656 | 1141 PUTTER LN |
| 17K410667 | 1137 PUTTER LN |
| 17K410623 | 1133 PUTTER LN |
| 17K410612 | 8683 SPOON DR |
| 17L620382 | 8687 SPOON DR |
| 17K410690 | 8634 MAYFLOWER CT |
| 17K410700 | 8638 MAYFLOWER CT |
| 17K410711 | 8608 MAYFLOWER CT |
| 17K410744 | 8612 MAYFLOWER CT |
| 17K410766 | 8618 MAYFLOWER CT |
| 17K410755 | 8624 MAYFLOWER CT |
| 17K410722 | 8628 MAYFLOWER CT |
| 17K410799 | 8609 MAYFLOWER CT |
| 17K410854 | 8619 MAYFLOWER CT |
| 17K410832 | 8629 MAYFLOWER CT |
| 17L620580 | 8676 OLIVE BLVD |
| 17K410865 | 8637 MAYFLOWER CT |

| LOCATOR | PROP_ADD |
|----------------|-----------------|
| 17K410942 | 8668 OLIVE BLVD |
| 17K430904 | 1170 BRISCOE PL |
| 17K430913 | 1177 BRISCOE PL |
| 17K430896 | 1176 BRISCOE PL |
| 17K430049 | 1180 BRISCOE PL |
| 17K431921 | 8664 OLIVE BLVD |
| 17K430061 | 1187 BRISCOE PL |
| 17K430115 | 1191 BRISCOE PL |
| 17K431930 | 1190 BRISCOE PL |
| 17K430050 | 8630 OLIVE BLVD |
| 17K431941 | 1194 BRISCOE PL |
| 17K430072 | 8612 OLIVE BLVD |
| 17K431897 | 8660 OLIVE BLVD |
| 17L640599 | 8684 OLIVE BLVD |





GRIMES CONSULTING, INC.
 Civil Engineering & Surveying Services
 1000 N. GARDNER ROAD
 SUITE 100
 WEBSTER GROVES, MO 63119
 PHONE: 636.863.1100
 FAX: 636.863.1101
 www.grimesconsulting.com

| DATE | REVISION |
|------|----------|
| | |
| | |
| | |
| | |

PLD PLANS FOR
MARKET AT OLIVE
 UNIVERSITY CITY, MO 63132

SHEET TITLE
GRADING PLAN

JOB NUMBER: 3082
 DRAWN BY: JB
 DATE: 10/19/20
 CHECKED BY: B.W.
 DATE: 10/19/20

M.S.D. BASE MAP 17L/17K
 LOC. NO. 17K430885
 20MSD-TBD
 ZIP CODE 63132

C5.0

PREPARED FOR:
 NOVUS COMPANIES
 CONTACT: JONATHAN BROWN
 #20 ALLEN AVENUE, SUITE 400
 WEBSTER GROVES, MO 63119
 EMAIL: JBROWN@NOVUSDEV.COM

N. MCKNIGHT ROAD
PUBLIC RIGHT-OF-WAY

WOODSON ROAD
PUBLIC RIGHT-OF-WAY

I-170

I-170

SOUTH LOT
 20.42 ACRES
 808,703 SQ. FT.
 N
 PP=678.00

A
 PP=683.00
 SUBDIVISION=682.00
COSTCO LOT
 18.06 ACRES
 770,248 SQ. FT.
 COSTCO

B
 PP=684.00
NORTH LOT
 11.33 AC
 493,558 SQ. FT.

M
 PP=670.25

H
 PP=670.25

G
 PP=673.00

C
 PP=683.00

D
 PP=683.00

L
 PP=673.00

K
 PP=673.00

J
 PP=673.00

I
 PP=673.00

F
 PP=673.75

O
 PP=679.00

Q
 PP=687.50
 70 STALLS

FUTURE
 PP=673.00

DETENTION
 WO

DETENTION



GRIMES CONSULTING, INC.
 1710 S. W. 10TH AVE.
 SUITE 200, WOODEN, MO 63132
 TEL: 636.863.8800
 FAX: 636.863.8801
 www.grimesconsulting.com

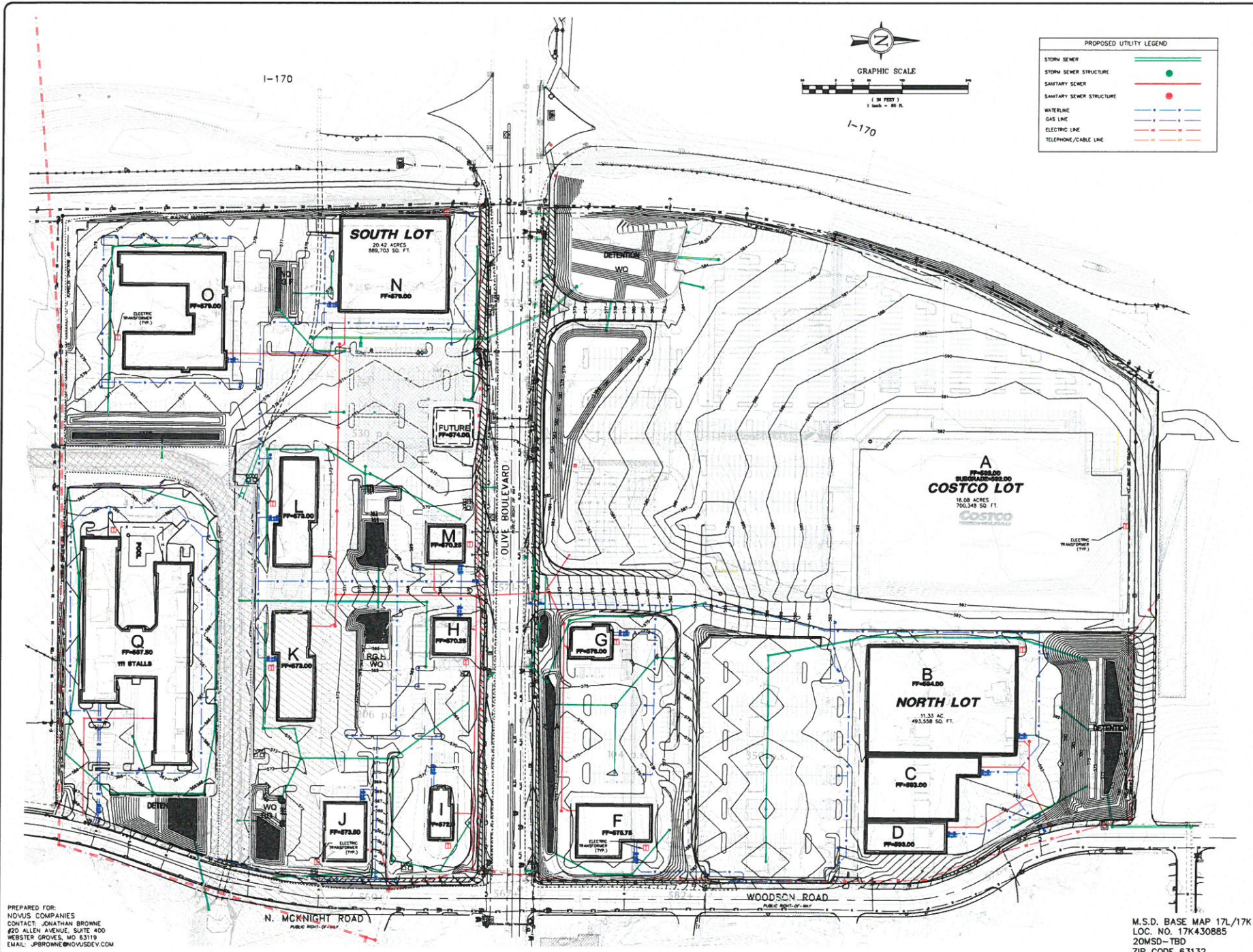
| | |
|----------|--|
| DATE | |
| REVISION | |
| NO. | |
| BY | |

PUD PLANS FOR
MARKET AT OLIVE
 UNIVERSITY CITY, MO 63132

UTILITY PLAN

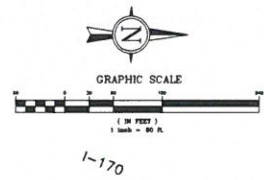
| | |
|-------------|----------|
| JOB NUMBER: | 3082 |
| DRAWN BY: | JB |
| DATE: | 10/19/20 |
| CHECKED BY: | JLW |
| DATE: | 10/19/20 |

SHEET
C6.0



PROPOSED UTILITY LEGEND

| | |
|--------------------------|--|
| STORM SEWER | |
| STORM SEWER STRUCTURE | |
| SANITARY SEWER | |
| SANITARY SEWER STRUCTURE | |
| WATERLINE | |
| GAS LINE | |
| ELECTRIC LINE | |
| TELEPHONE/CABLE LINE | |



I-170

I-170

PREPARED FOR:
 NOVUS COMPANIES
 CONTACT: JONATHAN BROWN
 #20 ALLEN AVENUE, SUITE 400
 WEBSTER GROVES, MO 63119
 EMAIL: JPBROWN@NOVUSDEV.COM

M.S.D. BASE MAP 17L/17K
 LOC. NO. 17K430885
 20MSD-TBD
 ZIP CODE 63132

GENERAL NOTES:

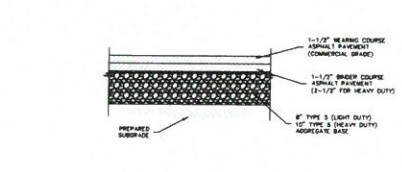
- THE UTILITIES SHOWN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF UTILITIES. UTILITIES NOT SHOWN AND NOT LOCATED BY THE CONTRACTOR SHALL BE LOCATED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF UTILITIES. UTILITIES NOT SHOWN AND NOT LOCATED BY THE CONTRACTOR SHALL BE LOCATED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF UTILITIES.
- ALL ELEVATIONS ARE BASED ON U.S.S. DATUM.
- ALL MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF ST. LOUIS COUNTY.
- ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDING AND MULCHING AS REQUIRED BY ST. LOUIS COUNTY.
- GRADING CONTRACTOR SHALL INSTALL 3% FIRM CONTROL PRIOR TO STARTING THE GRADING. ADDITIONAL EROSION CONTROL DEVICES SHALL BE INSTALLED PER ST. LOUIS COUNTY.
- ALL FILL AND BACKFILL SHALL BE MADE OF SELECTED EARTH MATERIALS. FILL FROM BROWNS SANDWATER, ROCK, FROSTED EARTH, SUBSIDING ORGANIC MATERIALS, AND OTHERS SHALL NOT BE USED.
- GRADING CONTRACTOR SHALL KEEP EXISTING ROADSIDE CLEAN OF MUD AND DEBRIS AT ALL TIMES.
- PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS ON PAVED AREAS.
- ALL STORMWATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. DRAINAGES ARE NOT ADEQUATE DISCHARGE POINTS.
- NO SLOPES SHALL EXCEED A 10% SLOPE (UNLESS ADVISED BY A GEOLOGICAL REPORT WHICH HAS BEEN ACCEPTED/ENDORSED BY ST. LOUIS COUNTY).
- DEVELOPMENT SHALL COMPLY WITH ALL APPROPRIATE ST. LOUIS COUNTY ZONING AND SUBDIVISION ORDINANCES.
- ALL DEVELOPMENT WITHIN ST. LOUIS COUNTY MUST BE IN ACCORDANCE WITH THE CURRENT ST. LOUIS COUNTY STANDARDS.
- ALL GRADING AND DRAINAGE TO BE IN ACCORDANCE WITH ST. LOUIS COUNTY AND THE METROPOLITAN ST. LOUIS SEWER DISTRICT.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS.
- ANY LAND DISTURBANCE ACTIVITY INVOLVING ONE (1) ACRE OR MORE OF LAND IN A MAJOR LAND DISTURBANCE (MUD) AND A LAND DISTURBANCE PERMIT SHALL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS. ANY LAND DISTURBANCE ACTIVITY INVOLVING LESS THAN ONE (1) ACRE OF LAND IN AN ORDINARY LAND DISTURBANCE AND THE APPLICABLE PERMIT MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.
- PERMIT PROCESS REQUIRES IMPROVEMENT PLAN SUBMITTAL TO THE DEPARTMENT OF PUBLIC WORKS AND THE DEPARTMENT OF REVENUE.
- A LAND DISTURBANCE PERMIT WILL BE REQUIRED FOR A LANDRAIL APPROXIMATELY 10' TO 12' WIDE AND 10' HIGH.
- ANY DEVELOPMENT WITHIN ST. LOUIS COUNTY INVOLVING A MAJOR LAND DISTURBANCE (MUD) AND A LAND DISTURBANCE PERMIT SHALL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS. ANY LAND DISTURBANCE ACTIVITY INVOLVING LESS THAN ONE (1) ACRE OF LAND IN AN ORDINARY LAND DISTURBANCE AND THE APPLICABLE PERMIT MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.
- ALL HYDRANTS, POWER POLES OR OTHER POTENTIAL OBSTRUCTIONS WITHIN THE ST. LOUIS COUNTY RIGHT-OF-WAY SHALL BE PROTECTED BY A 12" CONCRETE CURB AND 12" FOOT SETBACK FROM THE FACE OF CURB, AS DIRECTED BY THE ST. LOUIS COUNTY DEPARTMENT OF PUBLIC WORKS AND TRAFFIC.
- NO STEP AT ACCESSIBLE ENTRANCE DOORS.
- SEWERAGE SHALL NOT BE IN A GRADE EXCEEDING A 1% SLOPE. GREATER THAN 1% SLOPE MUST BE DESIGNED AS A RAMP.
- ALL PROPOSED ACCESS TO ST. LOUIS COUNTY ROADS FOR NEW DEVELOPMENT SHALL MEET MINIMUM ST. LOUIS COUNTY SOFT DISTANCE REQUIREMENTS.
- REQUIRED ROADWAY IMPROVEMENTS SHALL BE COMPLETED PRIOR TO OCCUPANCY FOR SINGLE LOT DEVELOPMENTS.
- ALL PROPOSED ACCESS TO ST. LOUIS COUNTY ROADS FOR NEW DEVELOPMENT SHALL MEET MINIMUM ST. LOUIS COUNTY SOFT DISTANCE REQUIREMENTS.

CURB RAMP NOTES

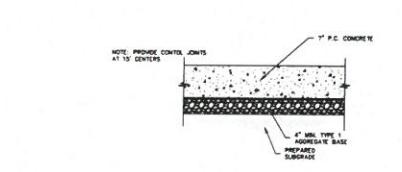
- DO NOT SCALE DRAWING. FOLLOW DIMENSIONS.
- SEWERAGE AND SIDEWALK CURB RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE DETAILS AND THE CURRENTLY APPROVED "MINIMUMS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG).
- PROVIDE A LANDING AT THE TOP OF EACH STRAIGHT RAMP WHEN THE RAMP ALONG CURB (S) IS GREATER THAN 4'20" AND LESS THAN 1'0" FOR CURB WALLS OF 6". INCLUDING ALL NEGATIVE (-) VALUES, NO LANDING IS REQUIRED.
- MINIMUM SIDEWALK WIDTH ALONG 6" VERTICAL CURB SHALL BE 3 FEET. MINIMUM SIDEWALK WIDTH ALONG 4" ROLLED CURB SHALL BE 4 FEET. MINIMUM SIDEWALK CROSS SLOPE 0.01%.
- ALL SIDEWALK SECTIONS SHALL BE 4" THICK EXCEPT WHERE INDICATED OTHERWISE BY THESE DETAILS AND THE CURRENTLY APPROVED "MINIMUMS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES". ALL SIDEWALK SECTIONS AND CURB RAMP, REGARDLESS OF THICKNESS, SHALL BE PAID FOR BY THE OWNER'S CONTRACT.
- WHERE CURB RAMP MEETS PAVEMENT, BULLNOSES WILL NOT BE PERMITTED.
- CONSTRUCT A RAMP WHEN THE MAXIMUM CORNER RADIUS ALLOWED FOR A STRAIGHT RAMP IS EXCEEDED.
- IF INTERNAL CORNER OF CURB IS CONSTRUCTED USING A SQUARE JOINT ACROSS BOTTOM OF RAMP AT CURB LINE, 1/2" CONCRETE CURB CORRELATION BEYOND BOTTOM OF RAMP TO RAMP FACE SHALL BE MAINTAINED FROM OUTER POINT OF CURB TO OUTER POINT OF CURB.
- FOR SIDEWALK LOCATIONS ON OIL-OR-SALE REFER TO "PAVEMENT CONSTRUCTION DETAILS".
- FOR PAVEMENT (CONCRETE) AND TRANSVERSE JOINTS AND BOWLS, AND THE BAW REQUIREMENTS AND DIMENSIONS REFER TO THE PAVEMENT CONSTRUCTION DETAILS FOR "LANES AND CURBS" STANDARD DRAWING C0003.
- FOR SIDEWALK CROSS SLOPE, PAVEMENT TYPES, AND THICKNESSES, REFER TO STANDARD TYPICAL SECTION.
- A DETECTABLE WARNING SHALL BE PROVIDED AT RAMPED AREAS SHALL BE PLACED AT EACH CURB RAMP IF CURB AND ARE USED TO ALLOW A CROSSWISE TO PASS THROUGH A DETECTABLE WARNING SHALL BE PLACED AT EACH EXIT POINT FROM THE ISLAND.
- THE DETECTABLE WARNING SHALL BE A PRE-CASTED TILE CAST DIRECTLY INTO THE PLASTIC CONCRETE.
- THE WARNING SURFACE SHALL CONTRAST VISUALLY WITH ADJACENT SURFACE OTHER LIGHT OR DARK OR SAME ON CURB.
- THE DETECTABLE WARNING SHALL BE PLACED WITHIN 6" TO 8" INCHES OF THE CURB LINE.
- THE DETECTABLE WARNING SHALL EXTEND 24 INCHES IN THE DIRECTION OF TRAFFIC AND 12 INCHES WITHIN THE RAMP LANDING OR BLENDED TRANSITION.
- TRANSITIONS FROM RAMP TO WALK, OUTSIDE OF 3 FEET SHALL BE FLUSH AND FREE OF AIRLIFT CHANGES.



1 BARRIER CURB DETAIL
C7.0 SCALE: NTS



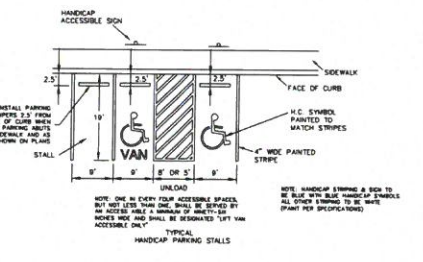
2 PARKING BUMPER DETAIL
C7.0 SCALE: NTS



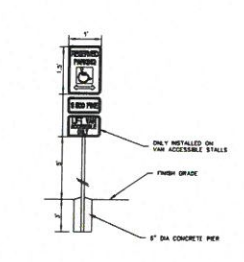
3 ASPHALT PAVEMENT DETAIL
C7.0 SCALE: NTS



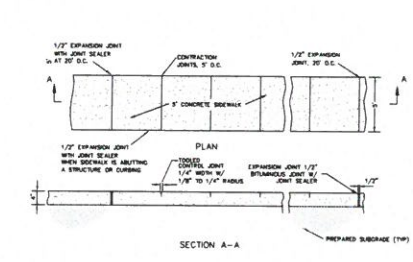
4 CONCRETE PAVEMENT DETAIL
C7.0 SCALE: NTS



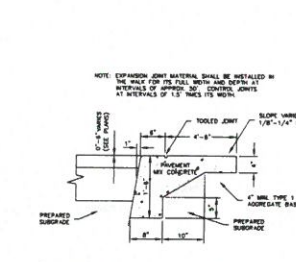
5 ADA PARKING DETAIL
C7.0 SCALE: NTS



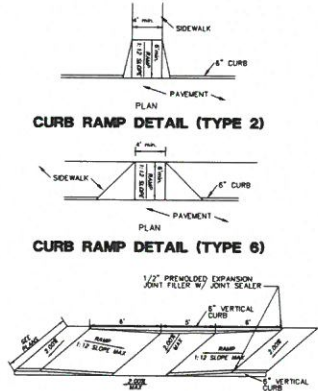
6 SIGN DETAIL
C7.0 SCALE: NTS



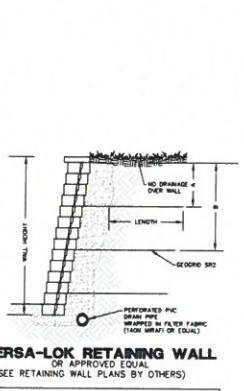
7 SIDEWALK DETAIL
C7.0 SCALE: NTS



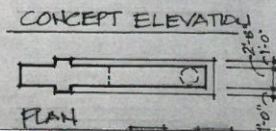
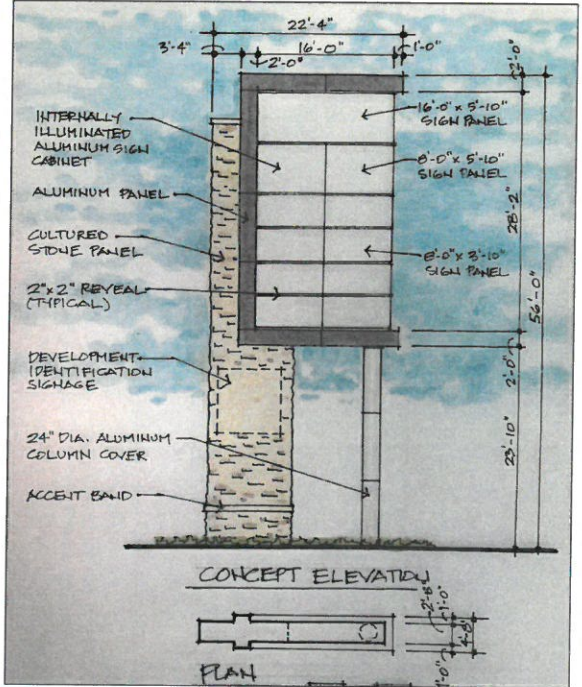
8 INTEGRAL CURB AND SIDEWALK
C7.0 SCALE: NTS



9 CURB RAMP DETAIL
C7.0 SCALE: NTS



10 VERSA-LOK RETAINING WALL
C7.0 SCALE: NTS



CRIMES CONSULTING, INC.
Civil Engineering & Surveying Services
13100 N. MISSOURI AVE., SUITE 100
ST. LOUIS, MISSOURI 63131
PH: 314.963.8800
FAX: 314.963.8801
WWW.CRIMESCONSULTING.COM

| | |
|----------|--|
| DATE | |
| ISSUE | |
| REVISION | |
| NO. | |
| BY | |
| DATE | |

PUD PLANS FOR
MARKET AT OLIVE
UNIVERSITY CITY, MO 63132

SHEET NO. 11
SITE DETAILS

JOB NUMBER: 3062
DRAWN BY: JB
DATE: 10/19/20
CHECKED BY: JAW
DATE: 10/19/20

C7.0

PREPARED FOR:
NOVUS COMPANIES
CONTACT: JONATHAN BROWN
#20 ALLEN AVENUE, SUITE 400
WEBSTER GROVES, MO 63119
EMAIL: JPBROWN@NOVUSDEV.COM

M.S.D. BASE MAP 17L/17K
LOC. NO. 17K430885
20MSD-TBD
ZIP CODE 63132

LANDSCAPE GUIDELINE SPECS:

GENERAL:

- 1) All natural vegetation shall be maintained where it does not interfere with construction or the permanent use of operations. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work adjacent to job. The landscape contractor shall be responsible for any damage to existing structures and adjoining work after release from being performed by other contractors. Refer to additional drawings for further coordination notes. Work to be done.
- 2) All underground facilities, structures and utilities must be considered and located prior to the start of any excavation. The contractor shall be responsible for the location of all underground utilities to be shown. (Call utility location services in Mississippi).
- 3) Plant material to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to a depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trees or shrubs planted near the area.
- 4) It shall be the landscape contractor's responsibility to:
 - a) Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - b) Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - c) Show the location of all proposed plant material and obtain the approval of the owner's representative or landscape architect per (C) doge prior to installation.
- 5) Items shown on the drawings have precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of the plan. No substitutions of trees or size of plant materials will be accepted without written approval from the landscape architect.
- 6) Provide engineering trees unless otherwise noted in plant schedule.
- 7) All plant material shall comply with the recommendations and requirements of ANSI Z601 "American Standards for Nursery Stock".
- 8) All plant material to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to a depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trees or shrubs planted near the area.
- 9) All substitutions of plant material shall be submitted to landscape architect for approval.

PRUNING:

- 1) Lightly prune trees at time of planting. Prune only the crossover limbs and branch limbs and not the main trunk. Prune only the crossover limbs and branch limbs and not the main trunk. Prune only the crossover limbs and branch limbs and not the main trunk.

INSURANCE:

- 1) The landscape contractor shall submit certificates of insurance for general liability, workers compensation and general liability.

MULCH:

- 1) All mulch to be applied shall be 3" depth (lateral application) unless otherwise noted. Mulch shall be clean and free of all foreign material (especially nails) and shall be applied to a depth of 3" in all areas.
- 2) No plastic sheathing or filter fabric shall be placed beneath mulch. Mulch shall be applied to a depth of 3" in all areas.

WARRANTY:

- 1) All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after complete installation of all landscape material at 100% of the material price.
- 2) Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for that plant.
- 3) Only one replacement per tree or shrub shall be required at the end of the warranty period. Some loss is due to failure to comply with the warranty.
- 4) Lawn establishment period will be in effect once the lawn has been mowed three times (minimum) period shall commence on the date of acceptance and 100% completion.
- 5) A written guarantee shall be provided to the owner per conditions outlined in 4. above.

SIGHT TRIANGLES:

- 1) No landscape material or other obstructions shall be placed or be maintained within the sight triangle area so as not to obscure the vision between a change of traffic notes (DOT) and ten feet (10') above the adjacent street or parking surface.
- 2) Sight triangles as the intersection of a public street and a private access way (except for single family residences) shall also be formed by measuring from the point of intersection of the street triangle curb and the entrance curb line a distance of 35' and connecting the points so established to form the sight triangle area.

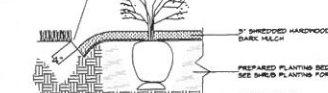
SHRUB PLANTING:



PERENNIAL / ANNUAL PLANTING:



SPADE-CUT EDGE DETAIL:



TOPSOIL:

- 1) Topsoil mix for all proposed landscape plantings shall be fine (3) parts well-graded screened organic topsoil to one (1) part Conditioned topsoil. The topsoil mix shall be a minimum of 6" minimum and grade smooth.
- 2) Provide a soil analysis, as requested, made by an independent soil testing laboratory, including the % of organic matter, nitrogen, phosphorus, potassium, calcium, magnesium, pH and electrical conductivity.
- 3) Any foreign material such as tree or rock stumps, weeds, brick, stones (larger than 1/2" in size) or any other extraneous or toxic material in landscape contractor shall be fully responsible for correcting or removing all weeds prior to plant installation. Killing and removal of all weeds shall be the responsibility of the landscape contractor on part of the job.
- 4) Landscape contractor to apply pre-emergent herbicide to all planting beds soon completion of planting operations and before application of any grading materials.
- 5) Retain erosion controls prior to commencement of any grading operations. Impact and motion all erosion fences on a nearby basis until vegetation is established.

MISC. MATERIAL:

- 1) Provide stakes and decoum of sound, new hardwood, free of knots and defects.
- 2) Tree wrap tape shall be 4" minimum designed to prevent borers damage and winter freezing. Adhesively only 8-ply long material shall be used.

TURF:

- 1) Established sod grass to be seeded with a mixture of 1/2" Tiger Turf (500# per acre) and Bluegrass (10# per acre). Sod grass shall be installed in a minimum of 1/2" depth of 40 degree from date of final acceptance. Sod grass shall be installed in a minimum of 1/2" depth of 40 degree from date of final acceptance. Sod grass shall be installed in a minimum of 1/2" depth of 40 degree from date of final acceptance.
- 2) Seed and fertilization operations shall occur between July 1 and June 31st or between September 1 and October 31st unless directed by others in writing. AND irrigation system is operating.
- 3) Aerial or pelletized fertilizer consisting of 50% water-soluble slow release nitrogen, phosphorus and potassium in a 12-12-12 composition.
- 4) The turf contractor shall be responsible for protection of finished grade, surface and report any erosion, rutting, damage and obtain owner's approval prior to seeding or soil installation.
- 5) Landscape contractor shall offer an alternate price for sod in lay of seed. Sod shall be cut at a uniform distance of 3/4".
- 6) No broken pieces, fragments or debris on lawn areas will be accepted.
- 7) Any points requiring concentrated water, roads and all slopes of 10% or greater shall be sodded.
- 8) All sod shall be placed a maximum of 24 hours after harvesting.
- 9) Recognition existing lawn areas damaged by contractor's operations requiring equipment storage and movement of vehicles.
- 10) Sod Contractor to ensure sod is placed below sidewalk and all paved areas and to allow for proper drainage.

EROSION CONTROL BLANKET (Where applicable):

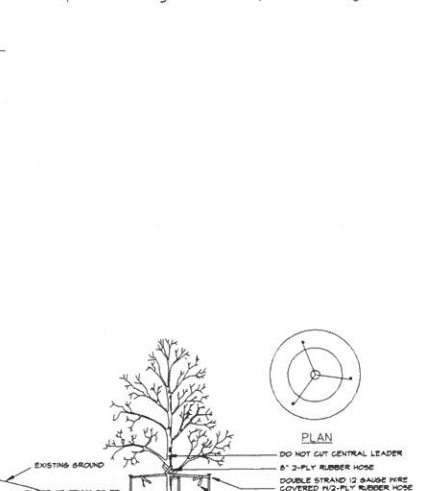
- 1) All exposed areas on slopes greater than 4:1 shall receive an erosion control blanket which shall consist of loose straw mat and anchor pins as manufactured by Northern American Drain, D9, 15 or approved equal. Install per manufacturer's recommendation.

PLUG PLANTING NOTES:

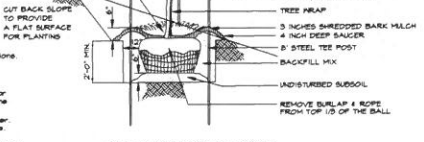
- 1) All plugs to be 4"-12" deep x 2" diameter minimum.
- 2) Plugs are to be planted in a hole dug with a branch spade or planting bar such that the hole is of a minimum diameter and depth to accommodate the plug and its roots, without damage.
- 3) Plugs shall be spaced in a triangulated layout approximately 24" on center. Plugs shall be planted through erosion control blanket where appropriate.
- 4) Crown plugs from a reputable nursery.
- 5) Water plugs soon completion of planting so that soil is moist but not saturated.
- 6) If planting is delayed more than two (2) weeks, store plugs in the shade, protect from weather and mechanical damage and keep them moist and cool. All plugs shall be planted within 24 hours after delivery.

WARRANTY:

- 1) All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after complete installation of all landscape material at 100% of the material price.
- 2) Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for that plant.
- 3) Only one replacement per tree or shrub shall be required at the end of the warranty period. Some loss is due to failure to comply with the warranty.
- 4) Lawn establishment period will be in effect once the lawn has been mowed three times (minimum) period shall commence on the date of acceptance and 100% completion.
- 5) A written guarantee shall be provided to the owner per conditions outlined in 4. above.



TREE PLANTING ON SLOPE



EVERGREEN TREE PLANTING



DECIDUOUS TREE PLANTING

PLANT SCHEDULE

| TREES | QTY | COMMON / BOTANICAL NAME | SIZE |
|-----------------|-----|------------------------------------------------------------------------------|-----------------|
| ALB | 25 | White Birch / Betula papyrifera Emer 7' | 2 1/2 Gal |
| MACG | 4 | Common Hackberry / Celtis occidentalis | 2 1/2 Gal |
| BL | 25 | Greeneye Littleleaf Linden / Tilia cordata Greeneye | 2 1/2 Gal |
| HL | 4 | Hedge Maple / Acer campestre | 2 1/2 Gal |
| HEB | 2 | Hedge Maple / Acer campestre | 10-12 2 1/2 Gal |
| DO | 6 | Overcup Oak / Quercus lyrata | 2 1/2 Gal |
| WRNH | 3 | Red Maple / Acer rubrum Red Maple | 2 1/2 Gal |
| SAE | 2 | Red Maple / Acer rubrum Red Maple | 2 1/2 Gal |
| SVNH | 1 | Red Maple / Acer rubrum Red Maple | 2 1/2 Gal |
| SPNH | 4 | Striped Maple / Acer rubrum | 2 1/2 Gal |
| AM | 24 | White Oak / Quercus prinus | 2 1/2 Gal |
| AFNH | 2 | White Oak / Quercus prinus | 2 1/2 Gal |
| PLN | 6 | Flame Amber Maple / Acer glabrum Flame | 2 1/2 Gal |
| ODNH | 10 | October Glory Maple / Acer rubrum October Glory | 2 1/2 Gal |
| REH | 8 | Red Maple / Acer rubrum Red Maple | 2 1/2 Gal |
| SL | 32 | Bayleaf Laurel / Sideroxylon laevis Bayleaf | 2 1/2 Gal |
| EVERGREEN TREES | QTY | COMMON / BOTANICAL NAME | SIZE |
| CEB | 20 | Colorado Blue Spruce / Picea pungens 'Sloco | 6-7" |
| EMARB | 45 | Emerald Arborvitae / Thuja occidentalis 'Emerald | 6-7" |
| FA5 | 25 | Fast Arborvitae / Thuja occidentalis 'Fast Albert | 6-7" |
| SEA | 45 | Green Giant Arborvitae / Thuja plicata Green Giant | 6-7" |
| HEB | 11 | Hedge Blue Spruce / Picea pungens Hedge | 6-7" |
| NES | 44 | Normandy Spruce / Picea abies | 6-7" |
| JSHS | 4 | Japanese Magnolia / Magnolia virginiana Jim Henson | 6-7" |
| MO | 4 | White Spruce / Picea glauca | 6-7" |
| FLOWERING TREES | QTY | COMMON / BOTANICAL NAME | SIZE |
| CCB | 25 | Carolina Cherry / Prunus virginiana Carolina | 2 Gal |
| FFC | 8 | Floral Flowering Crabapple / Malus sp. compacta 'Floral | 2 Gal |
| JPL | 22 | Japanese Tree Lilac / Syringa reticulata Ivory Silk | 2 Gal |
| KE | 2 | Kousa Spirea / Spirea x 'Kousa Spirea | 2 Gal |
| PF | 2 | Princess Flowering Dogwood / Cornus florida 'Princess | 2 Gal |
| PRFC | 28 | Princess Flowering Dogwood / Cornus florida 'Princess | 2 Gal |
| PRO | 21 | Professor Spirea / Spirea x 'Professor Spirea | 2 Gal |
| RK | 4 | Robinson Crabapple / Malus sp. Robinson | 2 Gal |
| PRN | 7 | White Flowering / Chionodoxa virginica | 2 Gal |
| BERY | 3 | Autumn Brilliance Serviceberry / Amelanchier x grandiflora Autumn Brilliance | 2 Gal |
| SHRUBS | QTY | COMMON / BOTANICAL NAME | SIZE |
| ALC | 15 | Allegheny Leatherleaf Viburnum / Viburnum lentiginosum Allegheny | 24"-30" |
| APD | 12 | Arctic Fire Dogwood / Cornus alternifolia Arctic Fire | 9 Gal |
| BDPL | 5 | Boomerang Dwarf Purple Lilac / Syringa x 'Boomerang | 9 Gal |
| BLB | 8 | Blushing Bride / Taxus canadensis | 9 Gal |
| CI | 1 | Copa Bayberry Holly / Ilex macrocarpa Copa Bayberry TM | 9 Gal |
| DEB | 54 | Compact Burning Bush / Euonymus alata Compact | 10-12" |
| DL | 40 | Deep Blue Japanese Lilac / Syringa x 'Deep Blue | 10-12" |
| HE | 24 | Hedge Maple / Acer campestre | 10-12" |
| HL | 65 | Hedge Maple / Acer campestre | 10-12" |
| LSM | 18 | Low Spirea Mound Chokeberry / Aronia melanocarpa Low Spirea Mound | 9 Gal |
| MAV | 65 | North American Magnolia / Magnolia virginiana | 24"-30" |
| PHY | 4 | Phlox paniculata / Phlox paniculata | 10-12" |
| PLJ | 31 | Proctor Juniper / Juniperus procumbens Nano | 9 Gal |
| RSJ | 25 | Red Spirea Juniper / Juniperus chinensis 'Red Spirea | 10-12" |
| SM | 25 | Summer Wine Hibiscus / Hibiscus syriacus Summer Wine | 9 Gal |
| TARD | 50 | Tardif Hydrangea / Hydrangea paniculata Tardif | 9 Gal |
| GRASSES | QTY | COMMON / BOTANICAL NAME | SIZE |
| DPS | 25 | Dwarf Fountain Grass / Pennisetum alopecuroides 'Dwarf | 9 Gal |
| MS | 4 | Moss Grass / Melicope strans 'Moss | 9 Gal |
| ROSES | QTY | COMMON / BOTANICAL NAME | SIZE |
| DRD | 3 | DRD Easy Double Rose / Rosa x DRD Easy Double Rose | 15 Gal |
| NATIVE SHRUBS | QTY | COMMON / BOTANICAL NAME | SIZE |
| LSH | 4 | Low Spirea Mound / Chokeberry | Plug at 18" OC |
| AT2 | 4 | Great Green Bunchgrass / Scripus atrolineatus | Plug at 18" OC |
| ST2 | 4 | Straw Star Sedge / Carex gracil | Plug at 18" OC |
| PM24 | 4 | Palm Sedge / Carex muskingamea | Plug at 18" OC |

REVISIONS

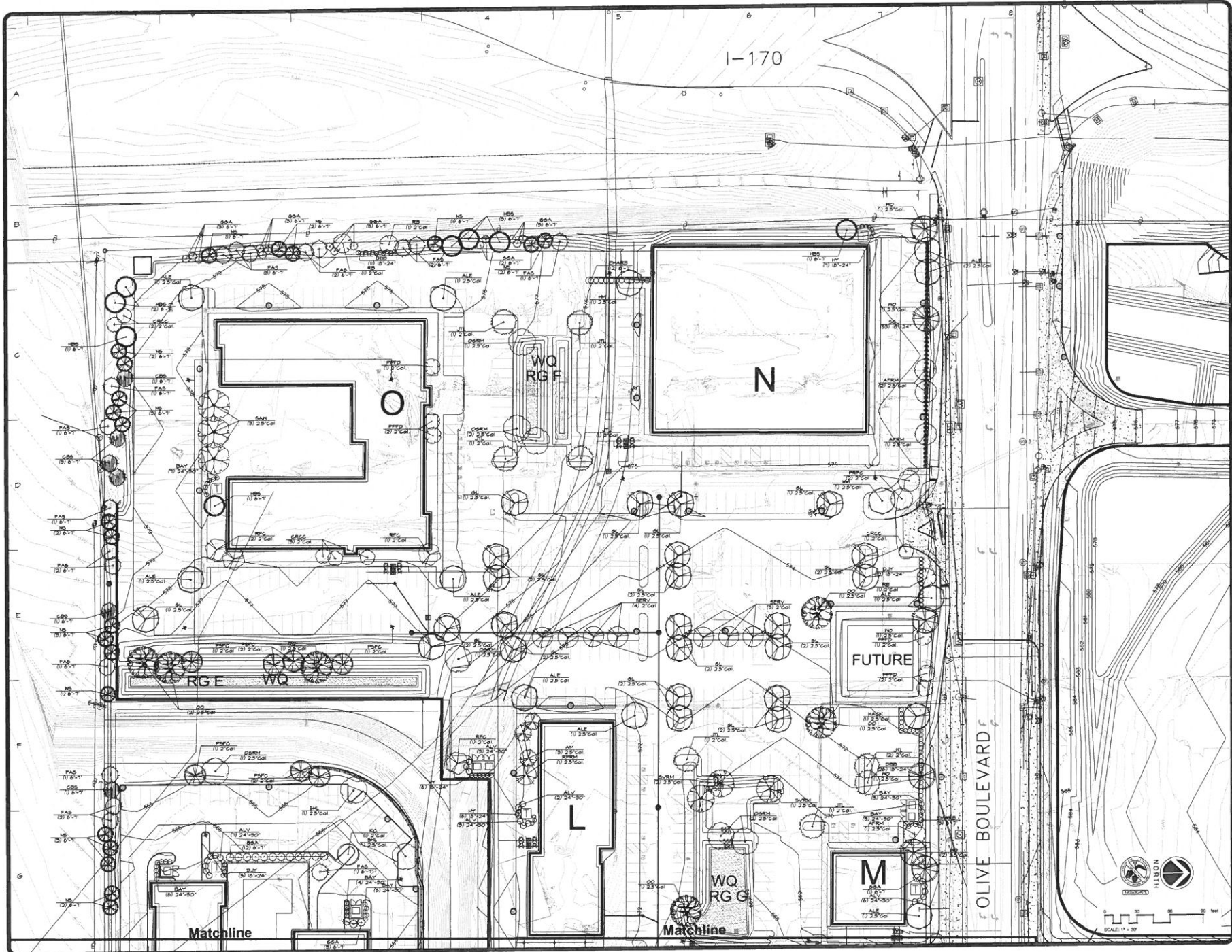
| | | |
|-----|------|----|
| NO. | DATE | BY |
| | | |
| | | |

landscape TECHNOLOGIES

1000 N. W. 10th St., Suite 100, Ft. Lauderdale, FL 33304
 Phone: (954) 561-1111
 Fax: (954) 561-1112
 Email: info@landscape-tech.com

PLANTING PLAN FOR THE PROPOSED Market at Olive UNIVERSITY CITY, MISSOURI

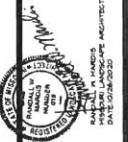
DATE: 10/08/2020
 SCALE: 1/8" = 1'-0"
 SHEET: L-2
 OF 5X SHEETS



| REVISIONS | BY |
|-----------|----|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

Landscape
TECHNOLOGIES

1111 N. HANCOCK
ST. LOUIS, MISSOURI 63104
TEL: 314.433.1111
WWW.LANDSCAPETECHNOLOGIES.COM

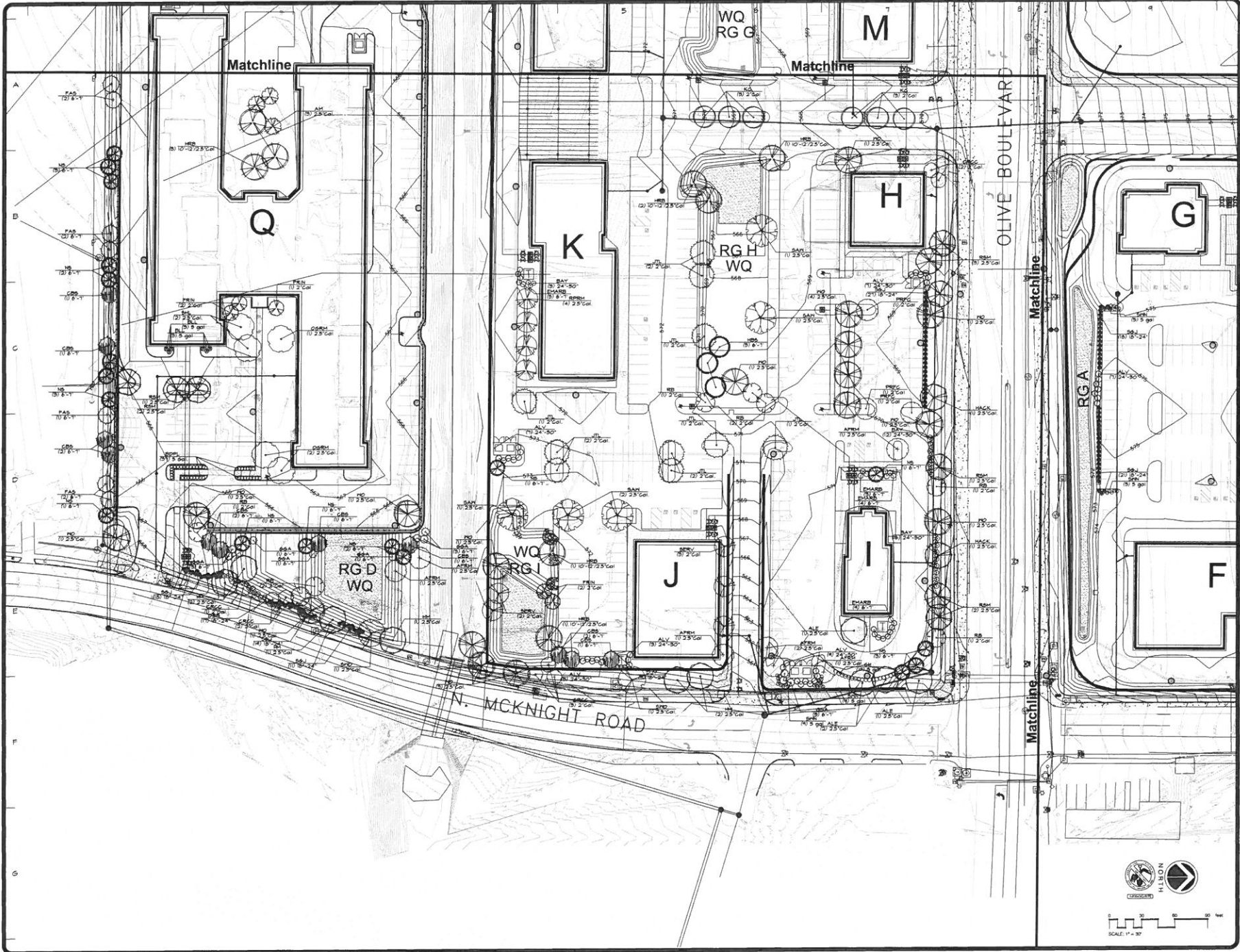


PLANTING PLAN FOR THE PROPOSED
Market at Olive
UNIVERSITY CITY, MISSOURI

DRAWN BY: [unintelligible]
CHECKED BY: [unintelligible]
DATE: 10/26/2020
SCALE: 1"=30'-0"
JOB NO.: 2000-01
SHEET:
L-4
OF SIX SHEETS



SCALE: 1" = 30'



| REVISIONS | BY |
|-----------|----|
| | |
| | |
| | |
| | |

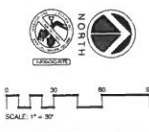
landscape
TECHNOLOGIES

1000 N. W. 10th Ave., Suite 1000
Fort Lauderdale, FL 33304
Tel: 954.561.1111
Fax: 954.561.1112



PLANTING PLAN FOR THE PROPOSED
Market at Olive
UNIVERSITY CITY, MISSOURI

DRAWN BY: VASBRO
CHECKED BY: NEWELL
DATE: 10/24/2020
SCALE: 1"=30'-0"
JOB NO.: 2020-111
SHEET
L-5
OF SIX SHEETS





COSTCO
WHOLESALE

COSTCO

SIGNAGE

SIGNAGE SIGNAGE

SIGNAGE

SIGNAGE

SIGNAGE

SIGNAGE

SIGNAGE

Market at Olive



SIGNAGE

SIGNAGE SIGNAGE

SIGNAGE SIGNAGE

SIGNAGE

SIGNAGE

SIGNAGE

SIGNAGE

Market at Olive







SIGNAGE

SIGNAGE

SIGNAGE

SIGNAGE

SIGNAGE

SIGNAGE

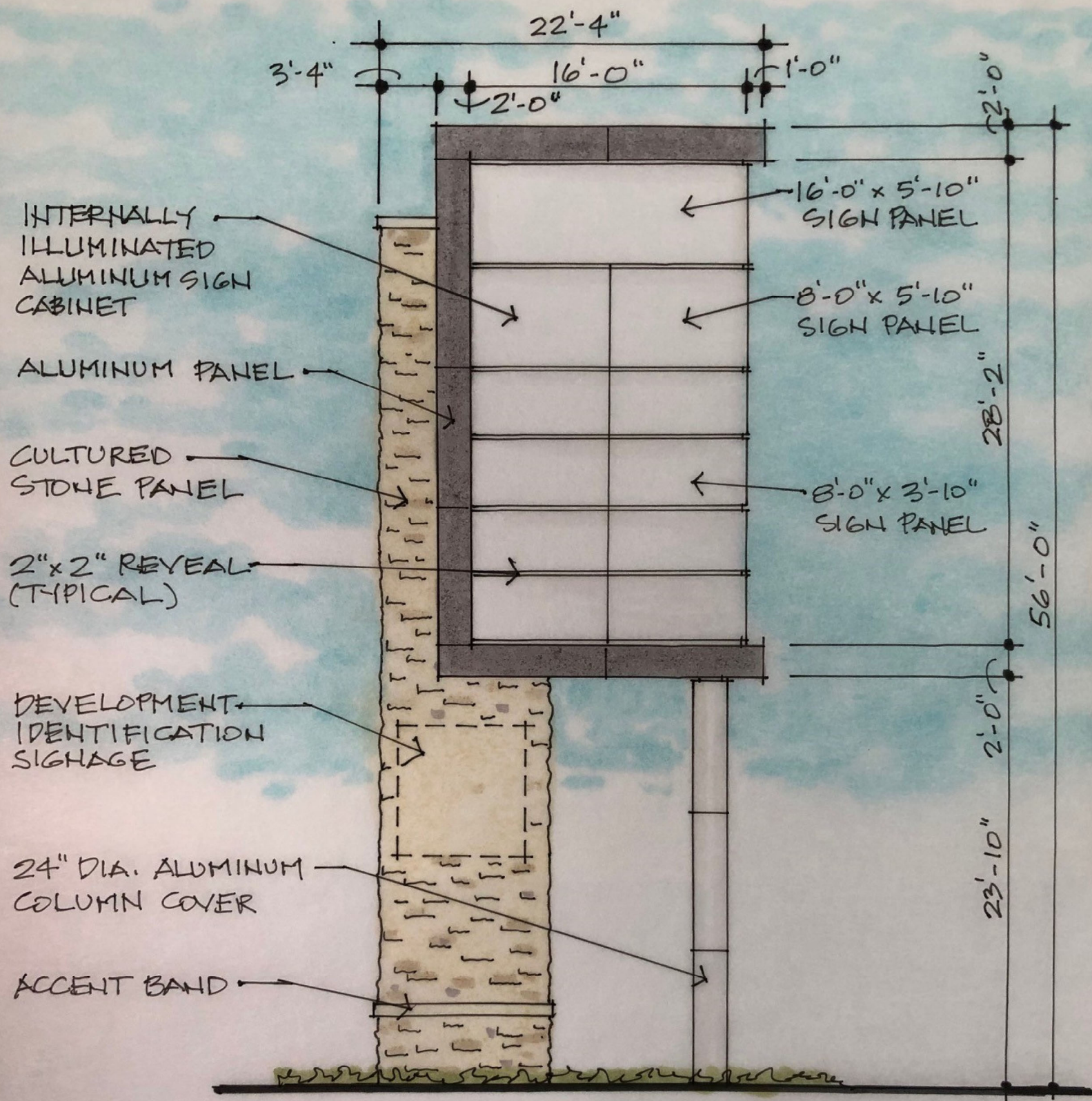
SIGNAGE



SIGNAGE

SIGNAGE

SIGNAGE



CONCEPT ELEVATION

