



MEETING OF THE CITY COUNCIL
CITY HALL, Fifth Floor
6801 Delmar Blvd.
University City, Missouri 63130
Monday, November 8, 2021
6:30 p.m.

On March 20, 2020, City Manager Gregory Rose declared a State of Emergency for the City of University City due to the COVID-19 Pandemic. Due to the ongoing efforts to limit the spread of the COVID-19 virus, in compliance with St. Louis County's public health order mask are required.

To provide for social distancing during Council meetings **in-person public attendance will be limited to the first 25 people.**

Citizen may also observe the Meeting via Live Stream on YouTube:

<https://www.youtube.com/channel/UCyN1EJ-Q22918E9EZimWoQ>

A. MEETING CALLED TO ORDER

B. ROLL CALL

C. APPROVAL OF AGENDA

D. PROCLAMATION

None

E. APPROVAL OF MINUTES

1. October 25, 2021 – Joint Study Session Minutes – Storm Water Commission - US Army Corps of Engineers RE: River Des Peres

F. APPOINTMENTS to BOARDS AND COMMISSIONS

None

G. SWEARING IN TO BOARDS AND COMMISSIONS

None

H. CITIZEN PARTICIPATION (Total of 15 minutes allowed)

Request to Address the Council Forms are located on the ledge just inside the entrance. Please complete and place the form in the basket at the front of the room.

*Citizen may provide written comments ahead of the meeting; they must be received **no later than 12:00 p.m. the day of the meeting.** Comments may be sent via email to: councilcomments@ucitymo.org, or mailed to the City Hall – 6801 Delmar Blvd. – Attention City Clerk. Such comments will be provided to City Council prior to the meeting. Comments will be made a part of the official record and made accessible to the public online following the meeting. **A name and address must be provided.** Please also note if your comment is on an agenda or non-agenda item. If a name and address are not provided, the provided comment will not be recorded in the official record.*

I. PUBLIC HEARINGS

1. none

J. CONSENT AGENDA

1. Public Safety (Police) Vehicle Purchase
2. Golf Course Tree Removal Agreement

K. CITY MANAGER'S REPORT

1. Conditional Use Permit Extension Request – PC 05665 – Church of Scientology (6901 Delmar Blvd)
2. Leaf Collection Contract Award

L. UNFINISHED BUSINESS

1. **Bill 9446** – AN ORDINANCE APPROVING A FIRST SUPPLEMENTAL TRUST INDENTURE IN CONNECTION WITH THE TAX INCREMENT REVENUE NOTES (OLIVE BOULEVARD COMMERCIAL CORRIDOR AND RESIDENTIAL CONSERVATION REDEVELOPMENT PROJECT AREA 1), SERIES A AND B, OF THE CITY OF UNIVERSITY CITY, MISSOURI, AND APRVOING CERTAIN ACTIONS RELATING THERETO.

M. NEW BUSINESS

Bills

1. **Bill 9448** – AN ORDINANCE APPROVING THE SECOND AMENDED FINAL DEVELOPMENT PLAN FOR THE PROPOSED DEVELOPMENT TO CROWN CENTER FOR SENIOR LIVING LOCATED AT 8348 – 8350 DELCREST DRIVE IN THE PD-M PLANNED DEVELOPMENT MIXED-USE ZONING DISTRICT.

N. COUNCIL REPORTS/BUSINESS

1. Boards and Commission appointments needed
2. Council liaison reports on Boards and Commissions
3. Boards, Commissions and Task Force minutes
4. Other Discussions/Business

O. CITIZEN PARTICIPATON (continue if needed)

P. COUNCIL COMMENTS

Q. EXECUTIVE SESSION

Motion to go into a Closed Session according to Missouri Revised Statutes 610.021 (1) Legal actions, causes of action or litigation involving a public governmental body and any confidential or privileged communications between a public governmental body or its representatives or attorneys.

R. ADJOURNMENT

Posted 5th day of November 2021.

LaRette Reese
City Clerk

On March 20, 2020, City Manager Gregory Rose declared a State of Emergency for the City of University City due to the COVID-19 Pandemic. Due to the ongoing efforts to limit the spread of the COVID-19 virus, the October 25, 2021, meeting will be conducted via videoconference.

**JOINT STUDY SESSION WITH THE
STORM WATER COMMISSION & ARMY CORPS OF ENGINEERS
RIVER DES PERES – TSP PATH FORWARD
VIA VIDEOCONFERENCE - ZOOM
October 25, 2021
5:30 p.m.**

AGENDA

Requested by the City Manager

1. MEETING CALLED TO ORDER

At the Joint Study Session of the City Council of University City held via videoconference, on Monday, October 25, 2021, Mayor Terry Crow called the meeting to order at 5:30 p.m.

In addition to the Mayor, the following members of Council were present:

Councilmember Stacy Clay
Councilmember Aleta Klein
Councilmember Steven McMahon
Councilmember Jeffrey Hales
Councilmember Tim Cusick
Councilmember Bwayne Smotherson

Also in attendance were City Manager, Gregory Rose; Attorney, John F. Mulligan, Jr.; Director of Public Works, Sinan Alpaslan; Todd Thompson, Mark Holly, Eric Stein, Robert Criss, Eric Karch of the Stormwater Commission, and Janet Buchanan, Matthew Jones, and Shawn Sullivan of the Army Corps of Engineers.

2. CHANGES TO REGULAR AGENDA

(No changes requested)

3. RIVER DES PERES – TSP PATH FORWARD (U.S. Army Corps of Engineers)

Mr. Rose stated this is an update from the Army Corps of Engineers on the Tentatively Selected Plan for the River Des Peres.

Mr. Alpaslan stated this presentation highlights the General Reevaluation Report the Corps has been working on and the summary of events leading up to the November 30, 2021, Agency Decision Milestone (ADM). Along with tonight's discussion, Council and the Commission will have additional opportunities to talk about these options and provide feedback at their regularly scheduled meetings. The Corps of Engineers' Study Team will be led by Mr. Matthew Jones and Janet Buchanan.

Mr. Jones and Ms. Buchanan both thanked Council and the Commission for the opportunity to speak with them on such short notice. Mr. Shawn Sullivan, who provided some of the funding options to this group a few weeks ago, is also on the line.

Current Study Schedule

Overview	Refined TSP/ New NED Plan	LPP Information	Cost Share & Funding Sources	Schedule	Discussion
Study Schedule (current)					
Start date (funding received)	29 April 2020				
Alternatives Milestone Meeting (AMM)	25 August 2020				
Public Scoping Meeting	30 September 2020				
Tentatively Selected Plan (TSP) Meeting	26 May 2021				
Draft Report Released to the Public	July 2021				
Public Meeting	July 2021				
Agency Decision Milestone (ADM)	30 November 2021				
Final Report Submitted for Approval	September 2022				
Report Approval (Chief's Report)	April 2023				

Push to Feb 2022 if LPP requested

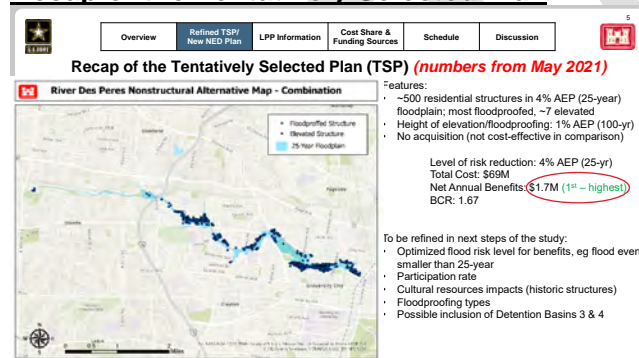
Ms. Buchanan stated the Agency Decision Milestone is an important achievement in this study where the TSP is recorded into a more finalized recommended plan that ultimately leads to the submission of a Final Report. However, if an LPP is requested the November 30th deadline can be moved up to February 2022, which is the absolute final deadline.

Public Review of Draft Document

The Draft Report went out for public review on July 26, and two Public Meetings were held (July 26 and August 17).

No public comments were received via email during the public review period; comments and questions received in the Public Meetings were considered and will be included in the Final Report appendix.

Recap of the Tentatively Selected Plan



Previous Plan with the Net Annual Benefits:


- Approximately 500 residential structures in the 25-year floodplain, most receiving floodproofing and (7) receiving elevation treatments

Detentions Basins

Overview | **Refined TSP/
New NED Plan** | LPP Information | Cost Share & Funding Sources | Schedule | Discussion

For further eval.: Detention basins (numbers from TSP Milestone, May 2021)

River Des Peres Detention Basin Alternative



Features:

- 2 locations: DB3 and DB4
- Dry detention for maximum storage during storms
- Recreation & naturalized features TBD

Level of risk reduction: 50% (2-yr) to 10% AEP (10-yr)

3.a. DB3 and DB4
Total Cost: \$43M
Net Annual Benefits: \$724,000 (3rd highest)
BCR: 1.33

3.b. DB4 only
Total Cost: \$9M
Net Annual Benefits: \$1.2M (2nd highest)
BCR: 2.98

Study risks/uncertainty:

- DB4 location in City of Overland; coordination needed
- DB3 location – Asian businesses, amenity
- Compatible recreation features
- Life safety risk – needs further study

The team also saw that Detention Basin #4 had very high annual net benefits and thought it might be a good idea to continue their analysis.

Refinement of Tentatively Selected Plan (TSP)

- Updated costs of alternatives following internal Agency Technical Review and Division-level Legal & Policy Review
- Further refinement of the nonstructural TSP included:
 - Refining treatments applied to eligible structures with certain depths of flooding; i.e., 10-year; 20-year & 50 year
 - Changes to the way structures were aggregated, based on input from the USACE Flood Risk Management Planning Center of Expertise
 - Review of the land agreement for Detention Basin #4 (DB4) site; (*City of Overland agreement with DOI for Woodson Road Park*)

Updated Cost of Alternatives

Overview | **Refined TSP/
New NED Plan** | LPP Information | Cost Share & Funding Sources | Schedule | Discussion

Updated costs of alternatives

• Alternatives costs were updated following internal Agency Technical Review and Division-level Legal & Policy Review

Ranked by Net Annual Benefits:

	#4	#2	#5	#3	#1
	Detention Basins 3 and 4	Detention Basin 4	U12 w/ Detention Basins 3 and 4	Nonstructural Only	Nonstructural and Detention Basin 4
Total Project Costs					
First Cost	\$ 50,707,000	\$ 9,457,000	\$ 65,924,000	\$ 21,488,640	\$ 17,074,000
Interest During Construction	\$ 1,730,000	\$ 213,000	\$ 2,249,000	\$ 485,000	\$ 384,864
Total Investment Cost	\$ 52,437,000	\$ 9,670,000	\$ 68,173,000	\$ 21,973,640	\$ 17,458,864
Estimated Annual Costs					
Annualized Project Costs					
Costs	\$ 1,758,000	\$ 324,000	\$ 2,285,000	\$ 737,000	\$ 585,000
Annual O&M&R	\$ 20,000	\$ 10,000	\$ 30,000	\$ -	\$ 10,000
Total Annual Costs	\$ 1,778,000	\$ 334,000	\$ 2,315,000	\$ 737,000	\$ 595,000
Average Annual Benefits					
Total Annual Benefits	\$ 2,436,000	\$ 1,222,000	\$ 2,734,000	\$ 1,465,000	\$ 1,934,000
Net Annual Benefits	\$ 658,000	\$ 888,000	\$ 419,000	\$ 728,000	\$ 1,339,000
Benefits to Cost Ratio	1.37	3.66	1.18	1.99	3.25
Residual Risk	\$ 2,716,000	\$ 3,930,000	\$ 2,418,000	\$ 3,687,000	\$ 3,218,000

Numbers are not final: One additional cost update needed (revised non-residential floodproofing cost); should not change totals much.

The final array of alternatives

Alternatives by Net Annual Benefits:

1. Nonstructural & Detention Basin #4
2. Detention Basin #4
3. Nonstructural
4. Detention Basins #3 and #4
5. Channel and Bridge Modifications (U-12)

❖ *These numbers are not final as there is one additional cost update needed; however, this update is not expected to drastically change the sequence of these alternatives.*

Nonstructural - Refining Treatments Applied to Eligible Structures

1. Residential with flooding 2+ feet relative to the first floor > Elevation applied up to the 100 flood elevation

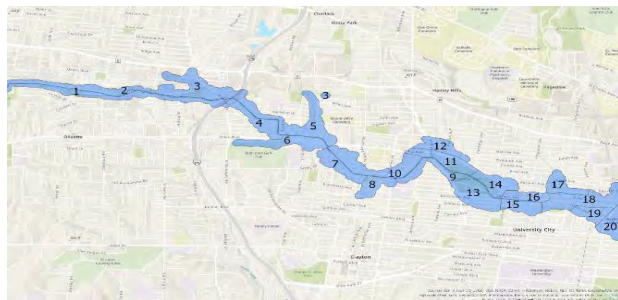
2. Residential with -1 to 0 ft flooding relative to the first floor > Fill basement
3. Nonresidential flooding up to 3 feet above first floor > Dry floodproofing
4. Any structure for which cost of treatment exceeds buyout cost > Acquisition

Technical meetings with the Stormwater Commission and Mr. Alpaslan were conducted twice a month through the course of the study.

- Commission's Concern: Residential structures with 0-2 ft flooding relative to the first floor
- Response by Economist: Analysis for earlier Alternative 7; (Elevation Only) showed elevating those structures was too expensive relative to the benefit. The 2 feet cutoff was geared toward inclusivity, trying to reduce risk to more people while balancing with cost-efficiency.

Nonstructural - Aggregation of Structures

- Criteria used to define reaches: City boundaries (U City, Overland, St. Louis); left bank/right bank; residential vs. non-residential; Historic District boundaries
- 20 reaches identified
- The 10, 25, and 50-year flood events were applied to each reach; different events were found to maximize the benefits in each reach



Twenty identified reaches on either side of the River

Nonstructural - Aggregation Optimized for Each Reach

Reach	Annual Exceedance Probability Aggregation	Elevation	Floodproof	Fill Basement	Acquisition	Total
1	No Action	0	0	0	0	0
2	10-Year	0	1	0	0	1
3	50-Year	0	1	0	0	1
4	No Action	0	0	0	0	0
5	10-Year	0	1	10	0	11
6	No Action	0	0	0	0	0
7	No Action	0	0	0	0	0
8	No Action	0	0	0	0	0
9	10-Year	0	0	1	0	1
10	10-Year	0	0	6	2	8
11	10-Year	0	4	0	0	4
12	50-Year	0	0	3	1	4
13	No Action	0	0	0	0	0
14	25-Year	0	7	0	0	7
15	No Action	0	0	0	0	0
16	25-Year	0	0	2	4	6
17	No Action	0	0	0	0	0
18	No Action	0	0	0	0	0
19	No Action	0	0	0	0	0
20	50-Year	0	5	0	0	5
Total	Mixed Plan	0	19	22	7	48

Table to left shows aggregation optimized for each reach in the DB4 + Nonstructural alternative (the new NED Plan).
10 reaches optimized for "No Action"; don't have positive net annual benefits with nonstructural treatments applied

Table to the left shows' aggregation optimized for each reach in the DB4 + Nonstructural alternative (the new NED Plan). 10 reaches optimized for "No Action"; (don't have positive net annual benefits with nonstructural treatments applied)

Number of Structures in New NED Plan

DB4 + Nonstructural ("mixed plan")				Compare with Nonstructural Only ("mixed plan")			
# Structures				# Structures			
Elevation (residential)	Dry Floodproof (non-residential)	Fill Basement (residential)	Acquisition	Elevation (residential)	Dry Floodproof (non-residential)	Fill Basement (residential)	Acquisition
0	19	22	7	0	43	37	39
Total			48	Total			119

Elevation was not cost effective for any structures; the cost went up and properties previously IDed for elevation would be cheaper to acquire

Includes fewer structures than Nonstructural Only because DB4 reduces the flood elevation

Elevation was not cost effective for any structures; the cost went up and properties previously IDed for elevation would be cheaper to acquire

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Left Side: Elevation was not cost-effective for any structures; the cost went up and properties previously IDed for elevation would be cheaper to acquire

Includes fewer structures than Nonstructural Only because DB4 reduces the flood elevation

Right Side: Elevation was not cost-effective for any structures; the cost went up and properties previously IDed for elevation would be cheaper to acquire

Includes fewer structures than Nonstructural Only because DB4 reduces the flood elevation

New NED Plan Summary

- DB4 + Nonstructural ("mixed plan")
 - DB4 constructed in City of Overland at Woodson Road Park
 - 19 nonresidential structures with 0-3 ft flooding relative to the first floor > dry flood-proofed
 - 22 residential structures with 0 to -1 ft flooding relative to the first floor > fill basement
 - 7 structures with nonstructural cost exceeding acquisition cost > acquisition
 - Total First Project Cost: \$22M; *(revised cost)*
 - Net Annual Benefits: \$1.3M; *(to be updated)*
 - Benefit-to-Cost Ratio: 3.25; *(to be updated)*

Ms. Buchanan informed Mr. Alpaslan that she would provide him with updated slides reflecting the new project cost, benefits, and ratio.

- ❖ *A Map will be created shortly illustrating the detention basin and structures*

Coordination with the City of Overland Re: DB4

- Site visit & Meeting held July 8; follow-up email communication
- Woodson Road Park Agreement with Department of the Interior (DOI) provided to USACE
- USACE Real Estate determined path forward of repurposing site
- Packet of information being developed to share with U City, City Council, and then Overland City Council
- Request made for verbal confirmation or letter of support, or motion passed within 1 month (by Nov. 15)
- Study team members to attend the Nov. 8th Overland City Council meeting

Ms. Buchanan stated she recently became aware that the Overland City Council had met and discussed this site and determined with its drainage issues they would have to pay additional funding to maintain the site, as well as replace some lighting. So, one advantage to DB4 is that they would have a relocated park site and not have to pay for those maintenance and upgrades.

Survey

How we got here:

- Commission & City interested in gauging citizen interest in floodproofing & elevation (TSP) to estimate voluntary participation

- Commission developed 4-question survey; hoping for response data by mid-October
- Initial USACE understanding was that this would be fine
- USACE policy restricting involvement in surveys got in the way; suggested support from State Emergency Management Agency (SEMA)

Current status:

- University City survey to be conducted as part of Stormwater Plan process; survey not “in support of” study; USACE not involved

Locally Preferred Plan (LPP) Information

- University City as the Non-Federal Sponsor may select an LPP different from the NED Plan
- The LPP must meet several criteria to be approved
- If the LPP is clearly SMALLER than the NED Plan (less scope and cost):
 - In all cases, the LPP must have greater net benefits than smaller-scale plans. I.e., there is a smaller scale (less expensive) plan with less net benefits.
 - The feasibility report must document the rationale for lack of sponsor support for the NED plan; available facts regarding how and why the LPP is less costly and still provides high-priority outputs; information to show that alternative non-Federal funding sources are not available;

the analysis performed; documentation to demonstrate that sufficient alternatives were formulated and evaluated to ensure that net benefits do not maximize at a scale lower than the LPP and to meet the requirements of National Environment Protection Act (NEPA); and the consequences of lost opportunities associated with implementing an LPP including residual risks and potential solutions to other water resource needs and opportunities that may be foregone.

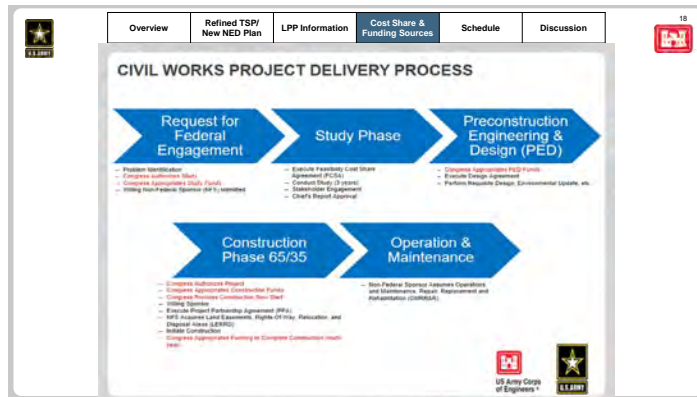
- If the LPP meets the Administration’s policies for high-priority outputs, an exception for deviation is usually granted by ASA (CW).
- If the LPP is LARGER than the NED Plan, several other criteria apply, and the Sponsor must pay the difference between the cost of the LPP and the NED Plan
- The more different the LPP is from the NED Plan, the more time and effort required to get it approved, and the higher the potential that the study will run out of funding
- ❖ *The USACE does not anticipate the City making any decisions on this plan today. This information will be reviewed in more detail at the November 2nd Stormwater Commission meeting.*
- ❖ *This study is being conducted on a much lower budget than normal, so it has already been a struggle to get high-quality outputs. Therefore, the team is concerned about being able to put more effort into a very different LPP.*

What Might the City Want in an LLP?

Ideas already generated by the study team & Commission:

- Scaled-down version of the nonstructural mixed plan, with fewer structures (e.g., fewer/zero acquisitions, or only including structures impacted at the 10-year event)
- Add residential structures with 0-2 ft flooding relative to the first floor
- Eliminate structures in reaches outside U City (i.e., structures in Overland and St. Louis)*
- A different alternative, e.g., U12 channel & bridge modifications with DB3 & DB4
- Move Detention Basin 3 to another location within University City
- Other ideas?

Civil Works Project Delivery Process



Currently in the Study Phase Process

Funding Options to Support the Non-Federal Cost Share

Mr. Sullivan, Strategic Planning Coordinator (USACE), presented at a Technical Meeting on 8/23/2021. Those slides were sent to City and Commission representatives on 8/23/2021.

Funding source examples identified included:

- Brentwood Bound – Certificates of Participation, Economic Development Sales Tax, & additional funding from grants and partnerships
- Metro East Levees – State of Illinois approved ¼ cent sales tax
- Eureka, MO – Proposition E passed 2018 adds a ½ cent sales tax over 20 years
- Yarnell Creek, Fenton, MO – Parks/Storm Water half-percent sales tax
- BRIC Notice of Funding Opportunity - \$1 billion available
- Missouri Department of Economic Development – Community Development Block Grants, \$41.5M available

Costs - Federal and Non-Federal Share

- Federal cost: 65% of Total First Project Cost
- Non-Federal cost: 35% of Total First Project Cost

Example: New NED Plan Total First Project Cost: \$ 22M
 Federal share: \$14.03M
 Non-Federal share: \$ 7.7M

❖ *While the non-federal sponsor is required to assume responsibility for land easements, relocations, right-of-ways, real estate, and disposal, they do get LERRD crediting, which means they may only have to come up with 5% of the project in cash versus 35%. The other 30% could be in real estate acquisitions or the costs associated with relocations, et cetera.*

Relocation/Buyout/Floodproofing cost to the homeowner or renter: \$0

- Temporary relocation costs will be covered for renters, as well as owners
 - Compensation will be provided for the loss of basement or living space
- ❖ *There is an opportunity for the sponsor to pass some of these costs onto the owners or renters if there is a desire to lower costs.*

Optimistic Schedule Leading Up to the Agency Decision Milestone

Dates are deadlines, not start dates. 1.5 months total.

1. Real Estate costs & floodproofing costs to Jordan/Economist – October 15
2. 'Final' nonstructural & DB4 + nonstructural alternatives (NED plan) – October 19
3. Historic structures letter to SHPO – October 20
4. Commission meeting to discuss 'final' alternatives – October (TBD)
5. City Council meeting – Present NED plan & funding options – October 25

6. Participation sensitivity analysis – Nov 1
7. Commission meeting – Nov 2
8. City Council meeting – Present to City on options for TSP/LPP – Nov 8, decision from Council
9. Letter/Motion from City of Overland re DB4 – Nov 15
10. Historic structures impacts & mitigation – Nov 16; (30 days after letter to SHPO)
11. ADM Read-aheads sent to MVD; (incl. LPP waiver request if needed) – Nov 16
12. City Council meeting – Final Deadline for Decision on TSP/LPP – Nov 22 (verbal confirmation ok)
13. ADM – Nov 30; (City representatives to attend & provide Sponsor viewpoint)

Schedule Changes if a Locally Preferred Plan is Selected

- Instead of the ADM meeting with the USACE vertical team, an In-Progress Review (IPR) meeting will be held on 30 Nov.
- An LPP Waiver will be submitted to the vertical team ASAP.
- The ADM will be moved to February 2022 to allow time for HQ-USACE to review and approve the waiver.
- Total HQ-USACE review/decision period is expected to be 6 months.

Contact Information

Mr. Matthew Jones, Project Manager
Matthew.a.jones@usace.army.mil
1222 Spruce Street
St. Louis, MO 63103

Public comments may be directed to:
ucityfloodrisk@usace.army.mil

Project website: <https://www.mvs.usace.army.mil/Missions/Programs-Project-Management/River-Des-Peres-University-City-General-Reevaluation-Report/>

Discussion & Questions

- What questions do you have for us?
- What are your concerns about the path forward?
- What information can we provide by/at the next meeting to better inform your decision?

Mr. Rose stated he thinks a lot of progress has been made, especially towards getting an alignment between what the City believed was a reasonable plan, and what is acceptable to the Corps.

Mr. Rose posed the following questions:

Q. Is it correct that if an LPP was greater than 22 million dollars that the City would be expected to incur those costs?

A. Yes, that is correct. If the LPP selected by the City was 25 million dollars, then any de-plan portion would be cost-shared, but the additional 3 million dollars would be 100% non-federal sponsored.

Q. Assuming we advance at a reasonable pace towards getting the design and construction dollars, how much time do you anticipate it will take to obtain approval from Congress?

A. This is always a looming question, which is contingent upon opportunity. For example; with the administration in talks about passing an infrastructure bill, the study team has already contemplated presenting a financial request; if there is an opportunity to do so because big infrastructure bills can help to accelerate this process. But if we have to go through the conventional process of completing the study, moving to design, and seeking construction dollars, you would probably be looking at three

years out from the time the study is completed, approval is granted, and the appropriation is received. At this point, we are probably about a year out from completing this study, so we're looking at about four years out.

Councilmember Cusick posed the following questions:

Q. My understanding the last time we met was that you were not sure what size basins would be needed to have an impact on any potential flooding. Since they are now being included in your plans, do you have any information today on the size and depth of those basins?

A. That information has been developed, and while I can follow up and provide you with those details, I'm afraid I don't have them with me today. The detention basin size that was developed at the preliminary design; less than a 35% level of detail design, was then applied in the model and the resulting reduction in flood stages was shown throughout the watershed.

Q. Is it your intent to share the addresses of the households you've identified as being eligible for floodproofing with the Council and Commission?

A. On the planning side, it can be very beneficial not to get to that level of detail at this point in the study. And after talking with someone from the Center of Expertise earlier today, they confirmed that in some ways leaving it open and defining structure by structure can help when we get further down the line to the next phase because if someone voluntarily decides not to participate there might be more room for other structures to be included.

A. Jordon is not on this call to provide you with an explanation of the Corps' criteria about how this type of information is shared, so we will have to get back to you.

Q. Will anyone from the City or the Corps be at the next Stormwater Commission meeting on November 2nd?

A. (Mr. Rose): I'm happy to attend any meeting you think would be beneficial for me to attend.

A. (Ms. Buchanan): Yes, I have confirmed that I will be able to attend that day. So at least one of us will be there.

Q. Will the Stormwater Commission have a chance to speak with the Corps about the LPP versus the TLP?

A. (Mr. Jones): I know there have been times in the past where the Commission wanted to talk amongst themselves and not necessarily have the study team present. But we are more than willing to come and provide whatever information is needed.

Councilmember Cusick stated he would defer that question to Mr. Rose to discuss with the Chair of the Commission.

Councilmember Clay posed the following questions:

Q. What have been the mechanisms utilized for outreach to homeowners that could potentially receive some form of remediation?

A. The team will be developing documentation; the Nonstructural Implementation Plan, that can be shared with the City, which describes how the Corps will reach out to these folks and perform those nonstructural features. Most likely, what the rollout will look like is that after the study is complete we'll move into the preconstruction engineering design phase, and then hold a sign-up period for homeowners and nonresidential structure owners to apply either at a physical or remote location. At that point a survey would be conducted, eligibility of ownership would be verified, and a Floodproofing Agreement would be signed. From there it would move to the actual implementation.

Q. Have people reached out to this team prior to the mitigation phase?

A. No, they have not.

Q. So, at this point, some people may not even know that any of this is germane to them?

A. That is correct. It's sort of a balancing act between giving people as much advance notice as possible and developing the recommended plan because we don't want to provide any incorrect information in the event that plan should change.

Q. This material is very dense. I've been waist-deep in this for about four years and I'm just now starting to understand all of the implications. So, what resources will be provided to a layperson to help them decipher all of this information?

A. I agree that thus far, this has been technically dense; even for the experts. But when we get to that point, there will be lots of avenues like pamphlets, brochures, and the website, to let people know in plain speak about how the program works; what it means for their property; the relocation, and all of those different elements. This will be coordinated through our Public Affairs Department, as well as the City, to ensure that everyone agrees on the language that goes out to the public.

A. We are very open to your thoughts and opinions, as you obviously know your community. So if you feel that there is a more productive way to get this information out, we can make that work.

Councilmember Klein posed the following question:

Q. If the City decided to adopt a certain plan that the majority of its residents are not interested in; we could have a big problem. So, since a resident's participation is voluntary, does the City have to make a decision that its residents would then have to decide whether or not they want to participate in?

A. The floodproofing and filling of basements are completely voluntary. But at this point, it will only be the acquisition of those seven (7) structures that would be mandatory. However, if DB#4 is in the plan then any structural features would also be mandatory.

What would happen if nobody is interested in participating in the voluntary structures, is something the team has been seriously thinking about. So, what we decided is to conduct a Sensitivity Analysis, looking at different levels of participation and how much that would affect the overall project. That will be happening in the next week and the results will be available by November 2nd. However, we are also looking at the options further down the line if the total amount of funding is provided, at whether other people could be brought into the program to replace those who may not be interested.

A. I know mandatory buyouts are not very popular, especially with elected officials, but there is a longstanding Corps policy that when it comes to acquisitions they are mandatory and not voluntary. And basically, what that does is say the City has the capacity and is willing to use eminent domain to acquire those seven (7) properties.

Councilmember McMahon posed the following question:

Q. Based on the implications on page 12 between the DB#4 + nonstructural, and nonstructural alone, it seems as though we don't have the complete formula about the homes that fit into the 0 to 2 + feet category. It looks like the number of these homes is not identified, or that we're saving them because without that number you can only assume where they are going?

A. The two tables are comparable, and they both have the same criteria applied from the previous slide. But those 0 to 2 + feet homes were not included in either of those tables. This is one of those questions that are hard to answer in a nutshell, so I would love to get back to you with a more concise written response.

Commissioner Stein stated he thinks Ms. Buchanan answered the question of whether the City could spend the remaining budget in the event it does not get full participation. So, the remaining question is how these funds can be spent because there are a lot of other people who could benefit from these features of floodproofing.

Mayor Crow stated he would like to hear more about the level of interest Overland has in this plan and thinks it is important for the City to show a level of respect to its neighbors when making these kinds of requests.

This Commission has continued to do phenomenal work for the City. And thinks he is speaking for all of his colleagues when he says they are very fortunate to have residents that are willing to put in this much time and effort and would love to have the Commission's input on every facet of this plan that will have a lifelong impact on the entire community before taking a vote.

4. ADJOURNMENT

Mayor Crow thanked the Corps for their presentation and adjourned the Joint Study Session at 6:31 p.m.

Linda Schaeffer,
Acting City Clerk

DRAFT

CITY OF UNIVERSITY CITY COUNCIL MEETING

AGENDA ITEM



NUMBER: <i>For City Clerk Use</i>	CA20211108-01
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SUBJECT/TITLE: Police Department purchase of a 2021 Dodge Durango			
REQUESTED BY: Chief Larry Hampton		DEPARTMENT / WARD Police Department	
AGENDA SECTION:	City Managers Report	CAN ITEM BE RESCHEDULED?	No
CITY MANAGER'S RECOMMENDATION OR RECOMMENDED MOTION: City Managerfs Recommends Approval			
FISCAL IMPACT: Included in the FY2022 Annual Operating Budget is \$140,000 for vehicle replacements			
AMOUNT:	\$62,226.98	ACCOUNT No.:	#30-20-90-8200
FROM FUND:	CIP Vehicles & Equip #30-20-90-8200	TO FUND:	CIP Vehicles & Equip
EXPLANATION: The Police Department is requesting the purchase of one 2021 Dodge Durango. It will be in replacement of 2012 Dodge Charger.			

STAFF COMMENTS AND BACKGROUND INFORMATION: Behlmann Chrysler Dodge Jeep Ram quoted the department \$35,910 to purchase a 2021 Durango Pursuit vehicle. Defender Production Solutions quoted the department \$9,616.57 for equipment and installation. Motorola Solutions quoted the department \$7,216.23 for an in-car cameras, \$3,125.18 mobile printing, and decal installation totals \$500 dollars.
--

CIP No.	
RELATED ITEMS / ATTACHMENTS: 1. Priced Order Quote 2. Defender Quote 3. Mobile Printing Quote 4. Motorola Quote 5. Wireless Equipment Proposal	

LIST CITY COUNCIL GOALS (S):
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RESPECTFULLY SUBMITTED:	City Manager, Gregroy Rose	MEETING DATE:	November 8, 2021
-------------------------	----------------------------	---------------	------------------

** MATCHES STATE PATROL SPECS **

BEHLMANN CHRYSLER DODGE JEEP RAM
175 TURNBULL TRAIL
TROY, MO 633791909

Priced Order Confirmation (POC)

Date Printed:	2021-05-07 1:27 PM	VIN:	1C4RDJFG2MC696158	Quantity:	01
Estimated Ship Date:	2021-04-13 1:59 AM	VON:	48034688	Status:	KZ - Released by plant and invoiced
Date Ordered:	2021-01-27 3:34 PM	Ordered By:	S17330N	FAN 1:	00DDK Dealer / Police Inventory
				FAN 2:	
				Client Code:	
				Bid Number:	TB1001
				PO Number:	

Sold to:	Ship to:
BEHLMANN CHRYSLER DODGE JEEP RAM (60625)	BEHLMANN CHRYSLER DODGE JEEP RAM (60625)
175 TURNBULL TRAIL	175 TURNBULL TRAIL
TROY, MO 633791909	TROY, MO 633791909

Vehicle: 2021 DURANGO PURSUIT VEHICLE AWD (WDEE75)

	Sales Code	Description	MSRP(USD)
Model:	WDEE75	DURANGO PURSUIT VEHICLE AWD	36,000
Package:	2BZ	Customer Preferred Package 2BZ	0
	ERC	3.6L V6 24V VVT Engine Upg 1 w/ESS	0
	DFT	8-Spd Auto 850RE Trans (Make)	0
Paint/Seat/Trim:	PW7	White Knuckle Clear Coat	0
	APA	Monotone Paint	0
	*C5	Cloth Bucket Seats w/ Shift Insert	0
	-X9	Black	0
	Options:	YEP	Manuf Statement of Origin
	ADL	Skid Plate Group	295
	XEE	Fuel Tank Skid Plate Shield	
	XEF	Transfer Case Skid Plate Shield	
	XEU	Front Suspension Skid Plate	
	XF3	Underbody Skid Plate	
	3AH	Price Protection - Code H	0
	LNx	LED Spot Lamps	0
	AHX	Trailer Tow Group IV	845
	XF2	7 and 4 Pin Wiring Harness	
	XFH	Class IV Receiver Hitch	
	LNf	Black Left LED Spot Lamp	545
	NAS	50 State Emissions	0
	4FM	Fleet Option Editor	0
	4ES	Delivery Allowance Credit	0
	2SQ	FCA Fleet Powertrain Care	0
	YG1	7.5 Additional Gallons of Gas	0
	4FT		0
	5N6	Easy Order	0
	4FT	Fleet Sales Order	0
	4EA	Sold Vehicle	0
Non Equipment:	4KA	Special Bid Handling	0
	4FA	Special Bid-Ineligible For Incentive	0
	4DH	Prepaid Holdback	0
	MAF	Fleet Purchase Incentive	0
Bid Number:	TB1001	Government Incentives	0

Handwritten notes:
 #34, 910
 TWO AVAILABLE!
 NOCV-
 THANK YOU

Note: This is not an invoice. The prices and equipment shown on this priced order confirmation are tentative and subject to change or correction without prior notice. No claims against the content listed or prices quoted will be accepted. Refer to the vehicle invoice for final vehicle content and pricing. Orders are accepted only when the vehicle is shipped by the factory.

Special Equipment: 99595B 0
99595A 0
Destination Fees: 1,495
Total Price: 39,180

Order Type: Fleet PSP Month/Week:
Scheduling Priority: 1-Sold Order Build Priority: 01
Salesperson:
Customer Name:
Customer Address:

Instructions:

See price on p.1

Note: This is not an invoice. The prices and equipment shown on this priced order confirmation are tentative and subject to change or correction without prior notice. No claims against the content listed or prices quoted will be accepted. Refer to the vehicle invoice for final vehicle content and pricing. Orders are accepted only when the vehicle is shipped by the factory.

LOU FUSZ CHRYSLER JEEP DODGE RAM FIAT
 3480 HIGHWAY K
 O FALLON, MO 633688138

Priced Order Confirmation (POC)

Date Printed: 2021-10-19 3:48 PM **VIN:** 1C4SDJFT3MC643578 **Quantity:** 01
Estimated Ship Date: 2021-02-24 1:59 AM **VON:** 47477023 **Status:** KZ - Released by plant and invoiced
Date Ordered: 2020-11-18 4:40 PM **Ordered By:** S156650 **FAN 1:** 00DDK Dealer / Police Inventory
FAN 2:
Client Code:
Bid Number: TB1200
PO Number:

Sold to: LOU FUSZ CHRYSLER JEEP DODGE RAM FIAT (42283)
 3480 HIGHWAY K
 O FALLON, MO 633688138

Ship to: LOU FUSZ CHRYSLER JEEP DODGE RAM FIAT (42283)
 3480 HIGHWAY K
 O FALLON, MO 633688138

Vehicle: 2021 DURANGO PURSUIT VEHICLE AWD (WDEE75)

	Sales Code	Description	MSRP(USD)
Model:	WDEE75	DURANGO PURSUIT VEHICLE AWD	36,000
Package:	22Z	Customer Preferred Package 22Z	0
	EZH	5.7L V8 HEMI MDS VVT Engine	2,995
	DFD	8-Spd Auto 8HP70 Trans (Buy)	0
Paint/Seat/Trim:	PW7	White Knuckle Clear Coat	0
	APA	Monotone Paint	0
	*C5	Cloth Bucket Seats w/ Shift Insert	0
	-X9	Black	0
Options:	ADL	Skid Plate Group	295
	AHX	Trailer Tow Group IV	845
	LNF	Black Left LED Spot Lamp	545
	LNX	LED Spot Lamps	0
	NAS	50 State Emissions	0
	YEP	Manuf Statement of Origin	0
	3AH	Price Protection - Code H	0
	4FM	Fleet Option Editor	0
	4ES	Delivery Allowance Credit	0
	2SQ	FCA Fleet Powertrain Care	0
	YG1	7.5 Additional Gallons of Gas	0
	4FT		0
	5T2	Febuary Production	0
	5N6	Easy Order	0
	4FT	Fleet Sales Order	0
	4EA	Sold Vehicle	0
Non Equipment:	4KA	Special Bid Handling	0
	4FA	Special Bid-Ineligible For Incentive	0
	4DH	Prepaid Holdback	0
	MAF	Fleet Purchase Incentive	0
Bid Number:	TB1200	Government Incentives	0
Special Equipment:	99595B		0
	99595A		0
Destination Fees:			1,495

Total Price: 42,175

Note: This is not an invoice. The prices and equipment shown on this priced order confirmation are tentative and subject to change or correction without prior notice. No claims against the content listed or prices quoted will be accepted. Refer to the vehicle invoice for final vehicle content and pricing. Orders are accepted only when the vehicle is shipped by the factory.

Order Type: Fleet
Scheduling Priority: 1-Sold Order
Salesperson:
Customer Name:
Customer Address:

PSP Month/Week:
Build Priority: 01

Instructions:

Note: This is not an invoice. The prices and equipment shown on this priced order confirmation are tentative and subject to change or correction without prior notice. No claims against the content listed or prices quoted will be accepted. Refer to the vehicle invoice for final vehicle content and pricing. Orders are accepted only when the vehicle is shipped by the factory.



DEFENDER PRODUCT SOLUTIONS, LLC
 WWW.DEFENDERPS.COM 314-285-8780

WEB: WWW.DEFENDERPS.COM
 PHONE: 314-285-8780
 DEFENDER PRODUCT SOLUTIONS, LLC
 MAIL: PO Box 311
 VALLEY PARK, MO 63088

QUOTE
DPS-Q-21-083

Quote Date

10/19/2021

Expiration Date

12/15/2021

Reference

2021 Durango

Terms

Client

University City Police Department
 Chief Hampton
 University City Police Department
 University City, MO 63130
 United States

ITEM #	DESCRIPTION	QTY	RATE	AMOUNT
ENFLBS1248	SoundOff nForce Exterior Lightbar DPS Standard - R/W B/W B/A R/A DSC BOB	1	1,828.00	1,828.00
EMPS2STS3R	MPOWER 4" STUD MNT SAE 8 LED (RED)	2	85.00	170.00
EMPS2STS3B	MPOWER 4" STUD MNT SAE 8 LED (BLU)	2	85.00	170.00
SoundOff 400 SERIES 100W ROTARY REMOTE SIREN	SoundOff 400 SERIES 100W ROTARY REMOTE SIREN	1	475.00	475.00
ETSS100J	100J SERIES COMPOSITE SPEAKER	1	160.00	160.00
Troy Console 18" for 2021+ Dodge Durango	Troy Console 18" for 2021+ Dodge Durango	1	421.00	421.00
Troy DC Outlet Plug w/ Black Cap	Troy DC Outlet Plug w/ Black Cap	3	9.00	27.00
Troy Faceplate 2" w/3 DC Outlet Holes	Troy Faceplate 2" w/3 DC Outlet Holes	1	17.59	17.59
AC-TB-ARMMNT-58	Troy Bolt to Console Armrest	1	119.23	119.23
Troy 4" Cup Holder	Troy 4" Cup Holder	1	35.64	35.64
Havis ChargeGuard	Havis ChargeGuard	1	99.00	99.00

C-HDM-204	Havis C-HDM-204 Console Side Arm	1	172.71	172.71
MAGMIC	Magnetic holder for microphones	1	38.00	38.00
PB67D18HD	ProGard Push Bumper 2021 Durango	1	388.00	388.00
TP-E-SM6-US-SS	US SS SM w/SQ Hole Bkt-Front Partition with kickpanels	1	1,191.00	1,191.00
PS-21DUR-OS-R	2021+ Dodge Durango plastic set with OS belts, TROY rear cage w/ square-hole side walls	1	1,297.60	1,297.60
WEI-005	Universal 36inch length "6-channel backbone" weapon mount with one "clasp-style" barrel lock and one universal handcuff style handcuff lock	1	406.80	406.80
Shipping		1	420.00	420.00
Labor	Labor to install above items, watchguard camera system, gps.	1	2,100.00	2,100.00
Shop Supplies	Wire, connectors, fuse blocks, breaker, loom, heat shrink	1	80.00	80.00

Notes:	SUBTOTAL	
	SHIPPING	
	TAX	
	TOTAL	\$9,616.57
	QUOTE TOTAL	<u>\$9,616.57</u>



Federal tax ID: 22-3009648
 290 Davidson Ave.
 Somerset, NJ 08873
 Phone: 888-235-3871
 Fax: 732-805-9669

Please remit payment to:
 SHI International Corp
 P.O. Box 952121
 Dallas, TX 75395-2121
 Wire information: Wells Fargo Bank
 Wire Rt# 121000248
 ACH Rt# 021200025
 Account#2000037641964
 SWIFT Code: WFBIUS6S
 For W-9 Form, www.shi.com/W9

Invoice No. B12177003

Invoice date 8/21/2020
 Customer number 1116367
 Sales order S52273537

Finance charge of 1.5% per month will be charged on past due accounts - 18%/yr.
 All returns require an RMA# supplied by your SHI Sales team.

Bill To

University City Police Department
 6801 Delmar Blvd.
 Saint Louis, MO 63130
 USA

Ship To

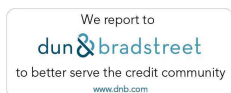
University City Police Department
 6801 Delmar Blvd.
 Saint Louis, MO 63130
 USA
 BrotherOrder082020/Larry Hampt

Ship Date	Salesperson	Purchase Order	Ship Via	FOB	Terms
8/21/2020	Michael Rutledge/Ent-SLED	BrotherOrder082020	FEDEX GROUND	FOB DEST	NET 30

Item No. Mfg Part No.	Description	Qty Ordered	Qty Shipped	Unit Price	Extended Price
35513533 RJ4230BL Hardware Brother Serial #: M9Z569579 Serial #: M9Z569569 Serial #: M9Z612222 Serial #: M9Z612226 Serial #: M9Z612223	Label Printer- Monochrome- direct thermal Hardware Hardware Contract number: Open Market	5	5	581.93	2,909.65
39449473 PA-CR-002A Hardware Brother	Active Docking/Mounting Station With Power & Usb Connectivit Hardware Hardware Contract number: Open Market	5	1	159.38	159.38
21847333 LB3602 Hardware Brother Mobile Solutions	Brother USB cable - 1.2 m Hardware Hardware Contract number: Open Market	5	5	11.23	56.15

Quote: 19209822

Sales Balance	3,125.18
Freight	0.00
Recycling Fee	0.00
Sales Tax	0.00
Total	3,125.18
Currency	USD





UNIVERSITY CITY, CITY OF

10/20/2021

10/20/2021

UNIVERSITY CITY, CITY OF
6801 DELMAR BLVD
UNIVERSITY CITY, MO 63130

Dear Fredrick Lemons,

Motorola Solutions is pleased to present UNIVERSITY CITY, CITY OF with this quote for quality communications equipment and services. The development of this quote provided us the opportunity to evaluate your requirements and propose a solution to best fulfill your communications needs.

This information is provided to assist you in your evaluation process. Our goal is to provide UNIVERSITY CITY, CITY OF with the best products and services available in the communications industry. Please direct any questions to Michael Pruitt at mike.pruitt@wirelessusa.com.

We thank you for the opportunity to provide you with premier communications and look forward to your review and feedback regarding this quote.

Sincerely,

Michael Pruitt

Motorola Solutions Manufacturer's Representative

Billing Address:
 UNIV CITY, CITY OF
 6801 DELMAR BLVD
 UNIVERSITY CITY, MO 63130
 US

Quote Date:10/20/2021
 Expiration Date:01/01/2022
 Quote Created By:
 Michael Pruitt
 mike.pruitt@wirelessusa.com

End Customer:
 UNIVERSITY CITY, CITY OF
 Fredrick Lemons
 flemons@ucitymo.org
 314-505-8661

Contract: 19860 - NASPO

Line #	Item Number	Description	Qty	List Price	Sale Price	Ext. Sale Price
	APX™ 8500					
1	M37TSS9PW1AN	APX8500 ALL BAND MP MOBILE	1	\$5,152.00	\$3,760.96	\$3,760.96
1a	QA01648AA	ADD: HW KEY SUPPLEMENTAL DATA	1	\$5.00	\$3.65	\$3.65
1b	G996AS	ENH: OVER THE AIR PROVISIONING	1	\$100.00	\$73.00	\$73.00
1c	G51AT	ENH:SMARTZONE	1	\$1,500.00	\$1,095.00	\$1,095.00
1d	G78AT	ENH: 3 YEAR ESSENTIAL SVC	1	\$176.00	\$176.00	\$176.00
1e	GA05509AA	DEL: DELETE UHF BAND	1	-\$800.00	-\$584.00	-\$584.00
1f	GA01606AA	ADD: NO GPS/WI-FI ANTENNA NEEDED	1	\$0.00	\$0.00	\$0.00
1g	B18CR	ADD: AUXILIARY SPKR 7.5 WATT APX	1	\$60.00	\$43.80	\$43.80
1h	G843AH	ADD: AES ENCRYPTION AND ADP	1	\$475.00	\$346.75	\$346.75
1i	G89AC	ADD: NO RF ANTENNA NEEDED	1	\$0.00	\$0.00	\$0.00
1j	G444AH	ADD: APX CONTROL HEAD SOFTWARE	1	\$0.00	\$0.00	\$0.00



Any sales transaction following Motorola's quote is based on and subject to the terms and conditions of the valid and executed written contract between Customer and Motorola (the "Underlying Agreement") that authorizes Customer to purchase equipment and/or services or license software (collectively "Products"). If no Underlying Agreement exists between Motorola and Customer, then Motorola's Standard Terms of Use and Motorola's Standard Terms and Conditions of Sales and Supply shall govern the purchase of the Products.

Motorola Solutions, Inc.: 500 West Monroe, United States - 60661 ~ #: 36-1115800

Line #	Item Number	Description	Qty	List Price	Sale Price	Ext. Sale Price
1k	G67EH	ADD: REMOTE MOUNT E5 MP	1	\$297.00	\$216.81	\$216.81
1l	GA01517AA	DEL: NO J600 ADAPTER CABLE NEEDED	1	\$0.00	\$0.00	\$0.00
1m	G806BL	ENH: ASTRO DIGITAL CAI OP APX	1	\$515.00	\$375.95	\$375.95
1n	GA01670AA	ADD: APX E5 CONTROL HEAD	1	\$652.00	\$475.96	\$475.96
1o	W22BA	ADD: STD PALM MICROPHONE APX	1	\$72.00	\$52.56	\$52.56
1p	W969BG	ADD: MULTIKEY OPERATION	1	\$330.00	\$240.90	\$240.90
1q	G361AH	ENH: P25 TRUNKING SOFTWARE APX	1	\$300.00	\$219.00	\$219.00
2	EQ000103A02	MULTIPLEXER,_ALL BAND, APX8500, VEHICLE	1	\$199.00	\$145.27	\$145.27
3	CB000091A03	CABLE, COAXIAL,QMA PLUG TO MINI-UHF JACK CONNETOR	2	\$52.32	\$41.86	\$83.72
4	CB000091A02	CABLE, COAXIAL,CABLE, COAXIAL,QMA PLUG TO QMA PLUG CONNECTOR	1	\$32.00	\$25.60	\$25.60
5	CB000091A04	CABLE, COAXIAL,QMA PLUG TO SMA JACK CONNETOR	1	\$59.04	\$47.23	\$47.23
6	HAF4013A	7/8/900 MHZ WIDEBAND LOW PROFILE, 3DB GAIN THROUGH HOLE NMO MOUNT	1	\$43.00	\$31.39	\$31.39
7	HAD4017A	ANT ROOF MT WB VHF 146/174	1	\$50.25	\$36.68	\$36.68

Grand Total
\$6,866.23(USD)
Notes:

- Unless otherwise noted, this quote excludes sales tax or other applicable taxes (such as Goods and Services Tax, sales tax, Value Added Tax and other taxes of a similar nature). Any tax the customer is subject to will be added to invoices.



Any sales transaction following Motorola's quote is based on and subject to the terms and conditions of the valid and executed written contract between Customer and Motorola (the "Underlying Agreement") that authorizes Customer to purchase equipment and/or services or license software (collectively "Products"). If no Underlying Agreement exists between Motorola and Customer, then Motorola's Standard Terms of Use and Motorola's Standard Terms and Conditions of Sales and Supply shall govern the purchase of the Products.
Motorola Solutions, Inc.: 500 West Monroe, United States - 60661 ~ #: 36-1115800

Purchase Order Checklist	
Marked as PO/ Contract/ Notice to Proceed on Company Letterhead (PO will not be processed without this)	
PO Number/ Contract Number	
PO Date	
Vendor = Motorola Solutions, Inc.	
Payment (Billing) Terms/ State Contract Number	
Bill-To Name on PO must be equal to the <i>Legal</i> Bill-To Name	
Bill-To Address	
Ship-To Address (If we are shipping to a MR location, it must be documented on PO)	
Ultimate Address (If the Ship-To address is the MR location then the Ultimate Destination address must be documented on PO)	
PO Amount must be equal to or greater than Order Total	
Non-Editable Format (Word/ Excel templates cannot be accepted)	
Bill To Contact Name & Phone # and EMAIL for customer accounts payable dept	
Ship To Contact Name & Phone #	
Tax Exemption Status	
Signatures (As required)	

wirelessUSA

EQUIPMENT PROPOSAL

FOR: City of University City
1015 Pennsylvania Ave
University City, MO

CONTACT : Tom Brushwood

PHONE : 314-505-8559

EMAIL : tbrushwood@ucitymo.org

ITEM	QTY	MODEL NUMBER	DESCRIPTION	UNIT PRICE	TOTAL
1	1		APX8500 Radio Template Creation	\$ 300.00	\$ 300.00
2	1		APX8500 Programming	\$ 50.00	\$ 50.00

REMARKS : Proposal valid for 30 days

SUBTOTAL	\$	350.00
TAX		exempt
DELIVERY	\$	-
TOTAL INVOICE	\$	350.00

WARRANTY :

DELIVERY :

PREPARED BY : Michael Pruitt

PHONE : 314-615-3118

ACCEPTED BY :

DATE : 10/20/2021

FAX : 314-615-3031

DATE :

**CITY OF UNIVERSITY CITY COUNCIL MEETING
AGENDA ITEM**



NUMBER: <i>For City Clerk Use</i>	CA20211108-02
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SUBJECT/TITLE: Hazardous Tree Removal Contract		
REQUESTED BY: Darren Dunkle	DEPARTMENT / WARD: Parks, Recreation & Forestry	
AGENDA SECTION: Consent	CAN ITEM BE RESCHEDULED? Yes	
CITY MANAGER'S RECOMMENDATION OR RECOMMENDED MOTION: Move to approve the agreement with Gamma Tree Experts and authorizes the City Manager to execute to contract contained in Council's packet.		
FISCAL IMPACT: \$16,250.00		
AMOUNT: \$16,250.00	ACCOUNT NUMBER: 28-50-47-6050	
FROM FUND: 28 - Fund Reserves	TO FUND: 28 - Reserve Funds	
EXPLANATION: Removal of dead and hazardous trees at the Golf Course. Since this was not a planned or budgeted expenditure funds for this service would come from the Golf Course Reserve Fund.		
STAFF COMMENTS AND BACKGROUND INFORMATION: The City advertised for bids for the removal of the trees on the City's website as well as emailed the information to several companies. Four (4) companies responded to the bid request and agreed to provide services per the specifications: Gamma Tree Experts was the lowest most responsible bidder at \$16,250.00		
CIP No.		
RELATED ITEMS / ATTACHMENTS: 1. Contract 2. Bid Tabulation		
LIST CITY COUNCIL GOAL(S):		
PREPARED BY: Darren Dunkle	RESPECTFULLY SUBMITTED: Gregory Rose	MEETING DATE: November 8, 2021

CONTRACT

THIS AGREEMENT, made as of the _____ day of _____, 20____, by and between The City of University City, MISSOURI (here in after called the CITY) and Gamma Tree Experts, Inc. a company with offices at 1564 North & South, University City, Missouri 63130 (herein after called the CONTRACTOR), WITNESSETH, that whereas the CITY intends to proceed with Project No. GLF 22-04 – Tree Removal Project, hereinafter called the PROJECT, in accordance with the Specifications and Contract Documents prepared by the City of University City.

NOW, THEREFORE, The CITY and CONTRACTOR for the considerations hereinafter set forth, agree as follows:

THE CONTRACTOR AGREES to furnish all the necessary labor, materials, equipment, tools and services necessary to perform and complete in a workmanlike manner all work required for the PROJECT, in strict compliance with the Contract Documents herein mentioned, which are hereby made a part of the Contract.

- a. Contract Time: Work under this Agreement shall be commenced upon written Notice to Proceed and shall be completed within thirty (30) calendar days of the authorization date in the Notice to Proceed.
- b. Liquidated Damages: The Contractor hereby expressly agrees to pay the City the sum of two hundred dollars (\$200.00) per day for each and every day, Sundays and legal holidays only excepted, after calendar days have expired during or upon which said work, or any part thereof remains incomplete and unfinished.
- c. Subcontractors: The Contractor agrees to bind every subcontractor by the terms of the Contract Documents. The Contract Documents shall not be construed as creating any contractual relation between any subcontractor and the City. No subcontractor shall further subcontract any of their work.

THE CITY AGREES to pay, and the Contractor agrees to accept, in full payment for the performance of this Contract, the amount as stipulated in the Proposal, which is:

Sixteen Thousand Two Hundred Fifty Dollars (\$16,250.00)

Final dollar amount will be computed from actual quantities/services provided as verified by the Director of Parks, Recreation and Forestry and in accordance with the unit prices set out in the Proposal.

CONTRACT DOCUMENTS:

The Contract comprises the Contract Documents as bound herein. In the event that any provision of one Contract Document conflicts with the provision of another Contract Document, the provision in that Contract Document first listed below shall govern, except as otherwise specifically stated:

- A. Contract (This Instrument)
- B. Addenda to Contract Documents
- C. Conditions of the Contract
- D. Remaining Legal and Procedural Documents
 - 1. Proposal
 - 2. Instruction to Bidders
 - 3. Invitation for Bids
- E. Job Special Provisions
- F. Bonds/Attachments
 - 1. Bid Bond

AUTHORITY AND RESPONSIBILITY OF THE PARKS, RECREATION AND FORESTRY DIRECTOR:

All work shall be done under the general inspection of the Director of Parks, Recreation and Forestry or his designee. The Director of Parks, Recreation and Forestry or his designee shall decide any and all questions which may arise as to the quality and acceptability of materials furnished, work performed, and rate of progress of work, interpretations of specifications and all questions as to the acceptable fulfillment of the Contract on the part of the Contractor.

SUCCESSORS AND ASSIGNS:

This Agreement and all of the covenants hereof shall insure to the benefit of and be binding upon the City and Contractor respectively and their partners, successors, assigns and legal representatives. Neither the Owner nor the Contractor shall have the right to assign, transfer, or sublet their interests or obligation hereunder without consent of the other party.

The Contract contains a binding arbitration provision that may be enforced by the parties.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement:

(SEAL)

Attest:

Title: _____

By (signature): _____

Contractor (print): _____

Date: _____

(SEAL)

Attest:

By: _____
City Clerk

Date: _____

CITY OF UNIVERSITY CITY

CITY OF UNIVERSITY CITY

By: _____
City Attorney

By: _____
City Manager

Date: _____

Date: _____

TREE REMOVAL PROJECT GLF22-04

BID TABULATION 10/28/21

Company	Total Bid	Bid Bond
Gamma Tree Experts	\$16,250.00	X
B & B Landscaping	\$19,500.00	
Shawnee Mission Tree Service	\$31,536.00	X
Davey Tree Experts	\$49,990.00	X

THE CITY INTENDS TO AWARD THE BID TO THE MOST RESPONSIVE, RESPONSIBLE BIDDER SUBMITTING THE LOWEST BEST BID. THE CITY RESERVES THE RIGHT TO REJECT ANY AND ALL BIDS, AND TO WAIVE ANY IRREGULARITIES IN THE BEST INTEREST OF THE CITY.



**CITY OF UNIVERSITY CITY COUNCIL MEETING
AGENDA ITEM**

NUMBER: <i>For City Clerk Use</i>	CM20211108-01
---	----------------------

SUBJECT/TITLE: Church of Scientology - CUP Extension Request			
REQUESTED BY: Brooke A. Smith		DEPARTMENT / WARD Planning & Development	
AGENDA SECTION:	City Manager's Report	CAN ITEM BE RESCHEDULED?	Yes
CITY MANAGER'S RECOMMENDATION OR RECOMMENDED MOTION: City Manager recommends approval			
FISCAL IMPACT: None			
AMOUNT:	N/A	ACCOUNT No.:	N/A
FROM FUND:	N/A	TO FUND:	N/A
EXPLANATION: N/A			

STAFF COMMENTS AND BACKGROUND INFORMATION: The initial CUP was approved in 2018 for the "church office" in a PA - Public Activity District and additional height was approved for the building. Council granted a 2 year extension in August of 2019. Due to COVID and other delays, the applicant was unable to commence work. Another extension request was submitted on September 23, 2021. Applicant was required to complete prior conditions before the request was submitted to Council. Staff recommends approval.
--

CIP No.	N/A
RELATED ITEMS / ATTACHMENTS: 1. Extension Request Letter 2. Previous Extension Documents 3. 2018 Application Materials	

LIST CITY COUNCIL GOALS (S): N/A
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RESPECTFULLY SUBMITTED:	City Manager, Gregroy Rose	MEETING DATE:	11/8/2021
--------------------------------	----------------------------	----------------------	-----------



September 23, 2021

Brooke Smith
Assistant City Manager
Department of Community Development
6801 Delmar Boulevard
University City, Missouri 63130

Subject: Church of Scientology, 6901 Delmar Boulevard
Request for Extension—Conditional Use Permit
05665

Dear Ms. Smith,

This is regarding the upcoming Church of Scientology project on 6901 Delmar Blvd. On August 12, 2019, the project was granted an extension to the Conditional Use Permit that was granted after a detailed review and planning process. This CUP states it will expire on September 27, 2021, unless all necessary permits are obtained and work is commenced. Currently, we do not anticipate being ready to start construction by September 2021 for the reasons outlined below. On behalf of our client, we are requesting an extension of the CUP by an additional one-and-a-half years.

A detailed project schedule was created and included as part of the extension on the CUP in September 2019. As soon as the extension was approved, a coordinated team of architects, project managers, potential contractors, and mechanical, electrical, plumbing, civil, and structural engineers was assembled and began work on the project.

In alignment with the project schedule, the due diligence was completed and the site conditions were documented. Three contractors were brought onboard and estimated the project. This was followed by a period of costing exercises which were successfully completed to ensure the design methods of construction being employed were viable. Plan revisions and narratives were created and the initial Board approvals were acquired on the exterior and conceptual designs.

All work was proceeding on schedule until the pandemic hit in February 2020, at which point the disruption prevented the project from continuing. Based on the original schedule, we are now about to recommence on the planning, permitting and bidding. We will require substantial time to complete the design development, construction documents, secure permits, and select contractors prior to commencement of construction.

Specifics are given below.

Development of Drawings

Our project involves the restoration of the historic masonic temple and an adjacent ground-up building. We need to ensure historical preservation is meticulously detailed and formulate engineering solutions that will allow us to use the building for modern use while keeping its historic integrity. This adds significant time in developing the drawings for this project to ensure that we are doing it correctly and conscientiously.

Permit Approvals

We anticipate that substantial time will be required in securing building permits for this project as drawings will require approval from building department and historic committee. Also, all utilities including water, power, and stormwater are required to be upgraded mandating coordination and approvals from utility companies.

Project Timeline

The disruptions caused by COVID are unfortunately still with us and we foresee that the planning, permitting, and bidding are likely to take longer than before the pandemic. We anticipate the following timeline on the project.

Task Name	Duration	Start	Finish
Development of Drawings	260 days	Started	Wed 5/25/22
Building Permits	150 days	Thu 5/26/22	Sat 10/22/22
Bidding	100 days	Sun 10/23/22	Mon 1/30/23
Contract Negotiation	40 days	Tues 1/31/23	Sat 3/11/23
Commencement of Construction	2 day	Mon 3/13/23	-

Conditions Granted in CUP

We are not requesting any changes in the conditions granted in the CUP such as use, parking calculations, building height, square footage, exterior design, site plan, etc.

We are requesting that all conditions granted in the CUP remain exactly the same, but an extension is granted on the length of time only. While we don't expect it will take us the full year-and-a-half to commence construction, it may be longer than a year and we want to be cautious in presenting a timeline. We have been taking a very methodical and meticulous approach in developing this project and want to ensure we have adequate time to continue this process.

Sincerely,

Audrey Handelman, AIA, LEED AP BD+C
Senior Associate
Gensler

cc: Matt Hanses/CSI



Department of Community Development

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 862-6767, Fax: (314) 862-3168

August 12, 2019

Church of Scientology
Executive Director Matt Hanses
6901 Delmar Blvd.
University City, MO 63130

Re: Conditional Use Permit 05665
6901 Delmar

Dear Mr. Hanses

Please accept this letter as official correspondence that on August 12, 2019, during their regularly scheduled meeting, City Council granted a two year extension of your previously approved Conditional Use Permit 05665. The granting of this extension, per section 400.2760 of the Zoning Code, will extend the current C.U.P. until September 27, 2021.

Please note, granting of this extension does not change the prior conditions associated with the original C.U.P. and the previously approved "church office" use within the PA- Public Activity District.

If you have any questions or concerns, please feel free to contact me

Sincerely,

Clifford Cross, AICP
Director of Planning & Development



Department of Community Development

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 862-6767, Fax: (314) 862-3168

September 27, 2018

Church of Scientology
Executive Director Matt Hanses
6901 Delmar Blvd.
University City, MO 63130

Re: Conditional Use Permit 05665
6901 Delmar

Dear Mr.

Enclosed please find Conditional Use Permit #05665 evidencing the City Council's approval of your application for a Conditional Use Permit for the Church of Scientology's proposed development and use at 6901 Delmar Boulevard. Please retain this permit with your important papers for future use.

Please note, granting this permit just means the use is approved for the "church office" in a PA-Public Activity District and additional height is approved for the proposed building. Granting this permit does not automatically cause the issuance of any other required permit (such as building permit). Therefore, you must check with the Community Department about the requirements for and status of all permits.

If you have any questions or concerns, please feel free to contact me

Sincerely,

A handwritten signature in cursive script that reads "Colleen Durfee".

Colleen Durfee
Planning and Zoning Administrator

Enclosure

cc: file # 05665



USE PERMIT

Department of Community Development

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 862-6767, Fax: (314) 862-3168

CONDITIONAL USE PERMIT #05665

Pursuant to the motion of the City Council adopted on September 24, 2018 zoning permission is hereby granted to the Church of Scientology to 1) use the premises located at 6901 Delmar for "church office" and 2) increase the permitted building height to forty-five (45) feet.

Zoning: "PA" – Public Activity District

Conditions of use:

- 1. The maximum allowed height for the new building shall be forty-five (45) feet.
2. The minimum off-street parking requirement for the proposed development shall be 92 spaces.
3. The proposed development shall have a minimum of 15 bicycle parking spaces.
4. The principal use of the new proposed building shall be "church office," which is an institutional office.
5. The principal use of the existing building shall be "place of worship."

This permit expires September 25, 2019, unless all necessary permits are obtained and work is commenced.

Issued September 24, 2018

Colleen Durfee (handwritten signature)

Colleen Durfee
Planning and Zoning Administrator

State of Missouri)
County of St. Louis : ss
City of University City)

I, LaRette Reese, City clerk of said City of University City, Missouri, do hereby certify that the terms of the foregoing conditional use permit conform with the motion approving said permit passed by the City Council of University City on the 24th day of September, 2018

IN WITNESS WHEREOF I have hereunto set my hand and affixed the official seal of said City; done at my office in the City Hall this 27th day of September, 2018

LaRette Reese (handwritten signature)

City Clerk



RENDERING OF NEW BUILDING

SCALE: N.T.S.

SHEET INDEX

SCALE: N.T.S.



**CHURCH OF
SCIENTOLOGY**
6901 DELMAR STREET
ST LOUIS, MO

Gensler

500 S. Figueroa Street
Los Angeles, CA 90017

Date	Description
09.12.18	PLANNING COMMISSION HEARING 2

Seal/Signature

Project Name
St. Louis

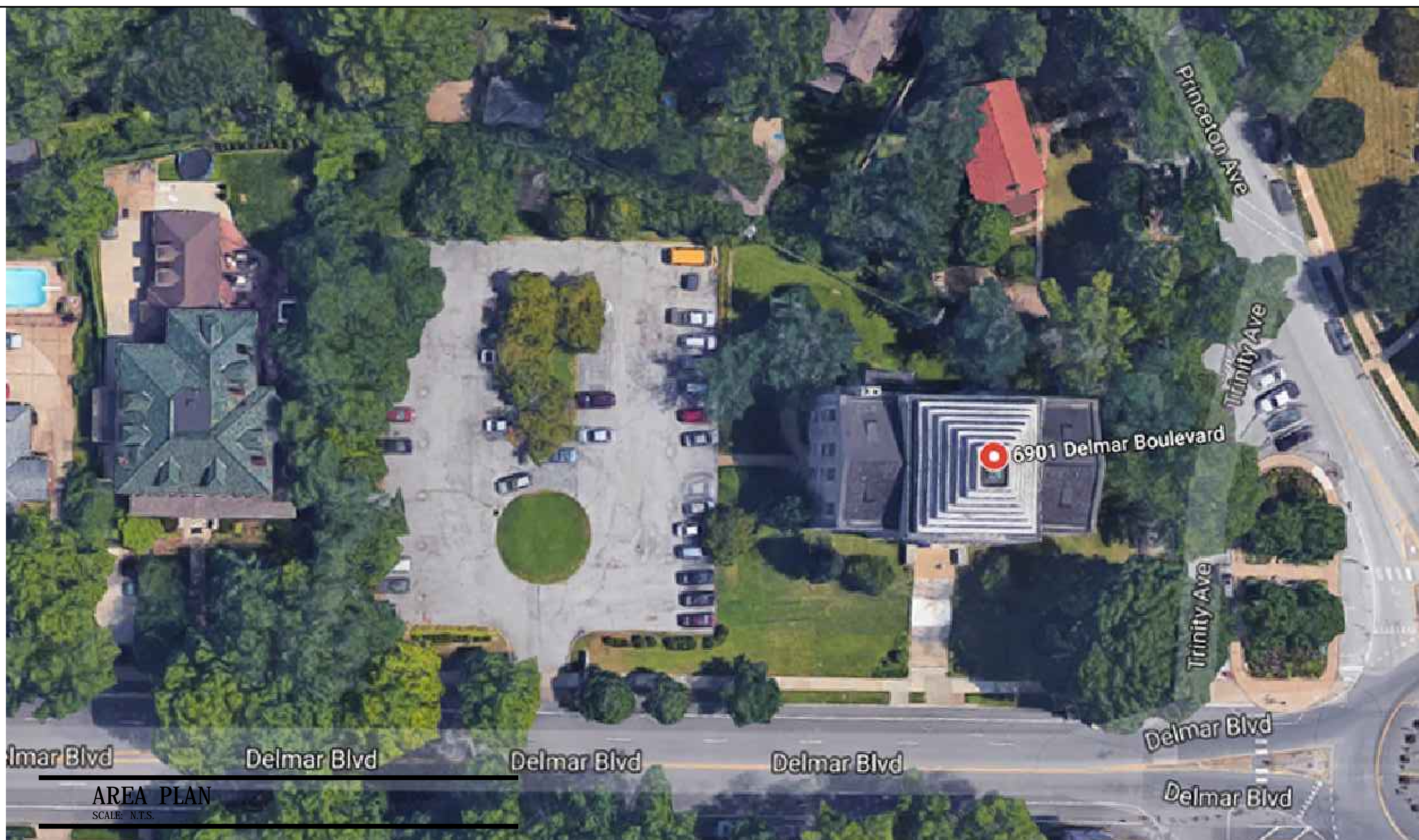
Project Number
05.1629.000

Description
COVER SHEET

Scale
1/8" = 1'-0"

A0.000

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AREA PLAN

SCALE: N.T.S.

SHEET #	SHEET NAME
A0.000	SHEET INDEX & COVERSHEET
A0.000B	RENDERINGS
A0.000C	RENDERINGS
A0.001	CONTEXT
A0.001B	CONTEXT
A0.002	CODE DATA
C1.01	SURVEY
A1.000	SITEPLAN
A1.000B	SITE LIGHTING PLAN
A1.100	BASEMENT
A1.101	FIRST FLOOR PLAN
A1.102	SECOND FLOOR PLAN
A1.103	THIRD FLOOR PLAN
A4.100	NORTH AND SOUTH ELEVATIONS
A4.101	EAST AND WEST ELEVATIONS
A4.102	MATERIALS
L1.0	LANDSCAPE PLAN



CHURCH OF
SCIENTOLOGY
6901 DELMAR STREET
ST LOUIS, MO

Gensler

500 S. Figueroa Street
Los Angeles, CA 90017

Date	Description
09.12.18	PLANNING COMMISSION HEARING 2

Seal/Signature

Project Name
St. Louis

Project Number
05.1629.000

Description
EXTERIOR RENDERINGS

Scale
1/8" = 1'-0"

A0.000B



CHURCH OF
SCIENTOLOGY
6901 DELMAR STREET
ST LOUIS, MO

Gensler

500 S. Figueroa Street
Los Angeles, CA 90017

Date	Description
09.12.18	PLANNING COMMISSION HEARING 2

Seal/Signature

Project Name
St. Louis

Project Number
05.1629.000

Description
EXTERIOR RENDERINGS

Scale
1/8" = 1'-0"

A0.000C

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CHURCH OF
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6901 DELMAR STREET
ST. LOUIS, MO

Gensler
500 S. Figueroa Street
Los Angeles, CA 90017

Date	Description
09.12.18	PLANNING COMMISSION HEARING 2

Seal/Signature

Project Name
St. Louis

Project Number
05.1629.000

Description
CONTEXT

Scale
1/8" = 1'-0"

A0.001



CHURCH OF
SCIENTOLOGY
6901 DELMAR STREET
ST. LOUIS, MO

Gensler
500 S. Figueroa Street
Los Angeles, CA 90017

Date	Description
09.12.18	PLANNING COMMISSION HEARING 2

Seal/Signature

Project Name
St. Louis

Project Number
05.1629.000

Description
CONTEXT

Scale
1/8" = 1'-0"

A0.001B

BUILDING SETBACKS AND HEIGHT

N.T.S.

UNIVERSITY CITY - CHAPTER 400 ZONING CODE:
SECTION 400.030 - DEFINITIONS - BUILDING HEIGHT IS THE VERTICAL DISTANCE MEASURED FROM THE CURB OR ITS EQUIVALENT ESTABLISHED GRADE AT A POINT MIDWAY BETWEEN TWO (2) SIDE LOT LINES TO THE HIGHEST POINT OF A PARAPET WALL, A FLAT ROOF, OR MANSARD ROOF.

MIDPOINT BETWEEN TWO (2) SIDE LOT LINES IS 559.28' (SEE SHEET C1.01-SURVEY)

UNIVERSITY CITY - CHAPTER 400 ZONING CODE:
SECTION 400.700 - DENSITY AND DIMENSIONAL REGULATIONS

B. Building Setback Requirements:

- 1. Minimum right-of-way setback.** No building shall be located within fifteen (15) feet of a street right-of-way.
- 2. Minimum property line setback.** No building setback is required from a property line (as distinguished from a right-of-way line), except where a lot abuts an existing residential use in the "PA" district, a residential district or abuts an alley right-of-way which separates the use from a residential district. Under these conditions, the minimum building setback requirement shall be twenty-five (25) feet from the applicable property line(s). Also see Article V "Supplementary Regulations", Division 6 for screening requirements. Where a property line setback is not required, but a building is set back off the property line, then it shall be set back at least five (5) feet.
- 3. Modification of property line setback.** The minimum property line setback requirements may be modified via the conditional use permit procedure under Article XI, "Conditional Uses". Such modifications may be more or less stringent, depending on the potential impact of the proposed development in the "PA" district which is adjacent to a residential district. In the case of a request for less stringent setbacks, the conditional use permit applicant must demonstrate screening between the proposed development and the adjacent residential lot or district, above and beyond the minimum screening requirements contained in Article V "Supplemental Regulations", Division 6.

C. Building Height Limitations:

- 1.** Except as provided for in Article V "Supplementary Regulations", Section 400.1030, and paragraph (2) below, no building shall exceed thirty-five (35) feet in height
- 2.** Upon conditional use permit approval (see Article XI, "Conditional Uses"), buildings may exceed the height limit specified above, subject to the following increases in minimum building setbacks:
 - a. Right-of-way setback.** The minimum building setback shall be increased by one (1) foot for each two (2) feet, or portion thereof, of increased building height, provided however, that the setback from the right-of-way does not have to exceed one hundred (100) feet.
 - b. Property line setback.** The minimum building setback shall be fifteen (15) feet plus one (1) foot for each two (2) feet, or portion thereof, of increased building height, provided however, that the setback from the property line does not have to exceed fifty (50) feet, except when adjacent to an "SR" or "LR" district. When adjacent to an "SR" or "LR" district, the minimum building setback shall be twenty-five (25) feet plus one (1) foot for each two (2) feet, or portion thereof, of increased building height, provided however, that the setback from the property line does not have to exceed eighty (80) feet.

RADIUS MAP

N.T.S.



PARKING CALCULATIONS

N.T.S.

UNIVERSITY CITY - CHAPTER 400 ZONING CODE:
SECTION 400.2050 - DETERMINATION OF REQUIRED NUMBER OF SPACES

- B. Floor Area:** Except as otherwise described in the Schedule of Parking and Loading Requirements (Division 4), the term "floor area", as employed in this Article, shall include the sum of the area of horizontal surfaces of all floors of a building, measured from the exterior faces of exterior walls, less the floor area devoted to elevators, stairwells, mechanical rooms, restrooms, and areas devoted to off-street parking or loading.

UNIVERSITY CITY - CHAPTER 400 ZONING CODE:
SECTION 400.2140 - SCHEDULE OF OFF-STREET PARKING SPACE REQUIREMENTS

Use	Minimum Parking Requirement
Manufacturing, warehousing and wholesale uses	1 space for each 1,000 square feet of floor area or 2 spaces for every 3 employees, whichever is greater, plus 1 space for each vehicle customarily used in the operation of the use or stored on the premises; plus spaces as required herein for affiliated uses such as office or retail sales area
Mini-warehousing	(see Warehousing, self-storage)
Mortuaries	(see Funeral Homes or mortuaries)
Movie theaters	(see Places of public assembly)
Nursing homes	(see Convalescent and nursing homes)
Offices, other than dental and medical offices, or offices associated with banking or other financial institutions	1 space for each 400 square feet of floor area
Offices, dental and medical (including outpatient medical clinics, surgery centers, MRI centers, chiropractor offices, and similar uses)	1 space for each 250 square feet of floor area
Places of public assembly (including auditoriums, banquet halls, gymnasiums with spectator seating, meeting rooms, reception halls, sports facilities with spectator seating, theaters, and similar uses)	1 space for every 35 seats in the main assembly room (1 seat equals 2 feet of bench length); or where no fixed seating is provided, 1 space for each 50 square feet of floor area, exclusive of kitchen, restrooms and storage areas; plus spaces as required herein for affiliated uses
Places of worship	1 space for every 35 seats in the main assembly room (1 seat equals 2 feet of bench length)

PUBLIC WORKS NOTES

N.T.S.

1. PROJECT SHALL COMPLY WITH UNIVERSITY CITY RIGHT OF WAY RULES AND REGULATIONS AND CONTROL PLAN SUBMITTED FOR DEPARTMENT REVIEW.
2. PROJECT SHALL COMPLY WITH ST. LOUIS COUNTY LAND DISTURBANCE RULES AND REGULATIONS.
3. EXACT AREA OF DISTURBANCE SHALL BE PROVIDED FOR DEPARTMENT REVIEW. IF GREATER THAN (1) ACRE, PROJECT SHALL COMPLY WITH ADDITIONAL REQUIREMENTS AND A SWPPP WILL BE PROVIDED PER ORDINANCE 7065 AND 7066. PERMITS TO BE OBTAINED IF NEEDED FROM ST. LOUIS COUNTY.
4. LIGHTING SHALL COMPLY WITH UNIVERSITY CITY ZONING CODE CHAPTER 400, ARTICLE VII, DIVISION 3, SECTION 400.2110. LIGHTING, SUBSECTION A/2/a,b,c AND B.

MINIMUM INITIAL LEVEL AT ANY POINT ON THE PARKING AREA OR DRIVE TO BE 0.30 fc.

AVERAGE INITIAL LEVEL TO BE 0.50 fc.

MAXIMUM INITIAL LEVEL, FIVE (5) FEET FROM THE BASE OF A LIGHT STANDARD TO BE 5.00 fc.

5. ALL PEDESTRIAN FACILITIES SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT.
6. IF WORK OCCURS IN THE RIGHT OF WAY, A TRAFFIC CONTROL PLAN SHALL BE PROVIDED FOR DEPARTMENT REVIEW.
7. IF SIDEWALK CLOSURE WILL BE NECESSARY, A RE-ROUTING PLAN SHALL BE PROVIDED FOR DEPARTMENT REVIEW.
8. ALL SUBTERRANEAN GARAGE DESIGN DEVELOPMENT AND CONSTRUCTION PLANS, WHEN ENGINEERED SHALL BE SUBMITTED FOR REVIEW BY THE CITY. SOILS CONDITIONS REPORT AND GRADING PLANS AROUND THE FACILITY SHALL ACCOMPANY THIS SUBMISSION.
9. HAUL ROUTES FOR EXCAVATED MATERIALS SHALL BE SUBMITTED FOR CITY REVIEW AND APPROVAL FOR DISPOSAL OF EXCAVATED SOIL.
10. A PART OF THE UNDERGROUND FACILITY MAY BE USED AS A STORM WATER RUN-OFF RETENTION AND TREATMENT LOCATION IF NECESSARY OR REQUIRED.
11. A LANDSCAPE PLAN AND A TREE SURVEY WILL BE PROVIDED FOR DEPARTMENT OF PUBLIC WORKS REVIEW.
12. AN ADDITIONAL AMEREN STREET LIGHT MAY BE CONSIDERED ALONG THE ROADWAY NEAR THE CURRENT ENTRANCE TO 6901 DELMAR BLVD.

PROJECT INFORMATION

N.T.S.

ZONE:	(PA) - PUBLIC ACTIVITY
LOT AREA:	62,008 SF (1.42 ACRES)
EXISTING BUILDING AREA:	18,088 SF
PROPOSED BUILDING AREA:	28,523 SF (BUILDING) 21,336 SF (GARAGE) 49,859 SF (TOTAL)
TOTAL BUILDING AREA:	67,947 SF

BUILDING SETBACKS REQUIRED BY UNIVERSITY CITY:
REQUIRED FRONT YARD (RIGHT OF WAY) - 15'
SIDE YARD (ADJACENT TO RESIDENTIAL ZONES) - 25'
REAR YARD (ADJACENT TO RESIDENTIAL ZONES) - 25'

BUFFERS REQUIRED BY UNIVERSITY CITY:
YARDS ADJACENT TO RESIDENTIAL ZONES - 10'

UNIVERSITY HEIGHTS BUFFERS REQUIRED BY INDENTURES:
WEST YARD BUFFER - 21'
NORTH YARD BUFFER - 15'

NEW BUILDING SETBACK : SEE SHEET A1.000 - SITE PLAN

BUILDING HEIGHT REQUIREMENT: 35'

HEIGHT INCREASE ALLOWABLE: 2' HEIGHT INCREASE FOR EACH 1' OF SETBACK INCREASE

BUILDING HEIGHT WITH INCREASE:
NEAREST SETBACK IS 30'-0" - 25' = 5'
5' X 2' = 10'
35' + 10' = 45'- 0"
ACTUAL BUILDING HEIGHT 42' - 4" (< 45'-0")

PARKING CALCULATIONS

NEW CHURCH OFFICE BUILDING
21,084 SF (NET) / 400 = 53 SPACES

EXISTING BUILDING MAIN ASSEMBLY HALL SEATING
185 SEATS / 3.5 = 53 SPACES

GROSS REQUIREMENT - 106 SPACES

Exception I: 106 X 10% -11 SPACES
Exception J: 15 Bicycle spaces -3 SPACES
TOTAL ADJUSTED PARKING REQUIREMENT
106 SPACES - 14 SPACES = 92 SPACES

TOTAL PARKING REQUIRED: 92 SPACES

TOTAL PARKING PROVIDED: 33 SPACES (ON-GRADE)
59 SPACES (BELOW GRADE)
92 TOTAL SPACES PROVIDED

SIGNAGE:
SIGN #1 (PRIMARY SIGN) 80'-0" X 1'-6" = 120 SF
SIGN #2 (SECONDARY SIGN) 8'-8" X 1'-2" = 10.11 SF

BUILDING FRONTAGE - 222'-6" LF > 120LF
SECONDARY SIGNAGE ALLOWED: 120 SF / 60% = 72 SF
SECONDARY SIGNAGE: 10.11 SF < 72 SF



CHURCH OF SCIENTOLOGY

6901 DELMAR BLVD.
ST LOUIS, MO

Gensler

500 S. Figueroa Street
Los Angeles, CA 90017

Date	Description
09.12.18	PLANNING COMMISSION HEARING 2

Seal/Signature

Project Name

St. Louis

Project Number

05.1629.000

Description

CODE SHEET

Scale

1/8" = 1'-0"

A0.002

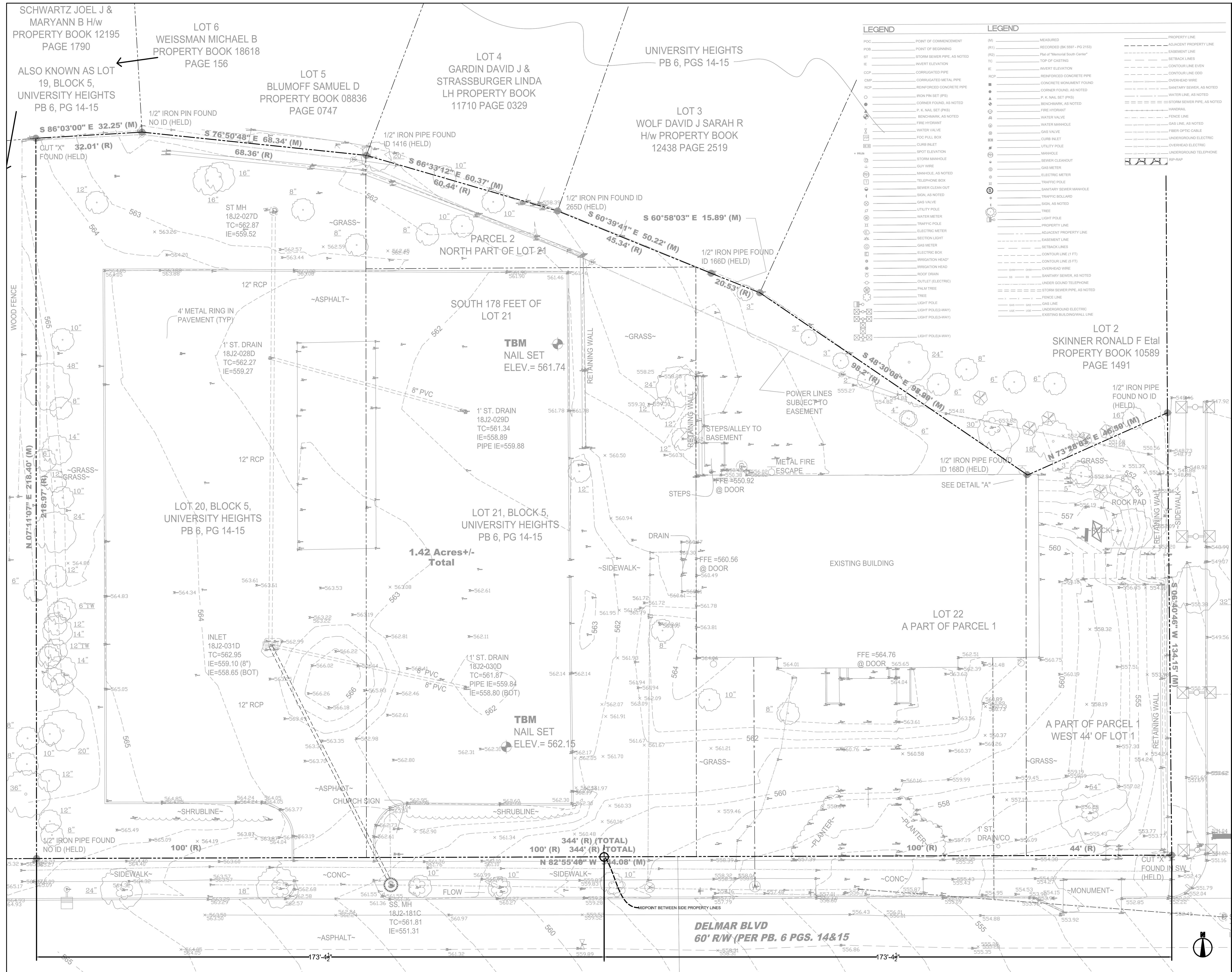
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ST LOUIS, MO

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500 S. Figueroa Street
Los Angeles, CA 90017



Date	Description
09.12.18	PLANNING COMMISSION HEARING 2

Seal/Signature

Project Name
St. Louis

Project Number
05.1629.000

Description
SURVEY

Scale
3/32" = 1'-0"

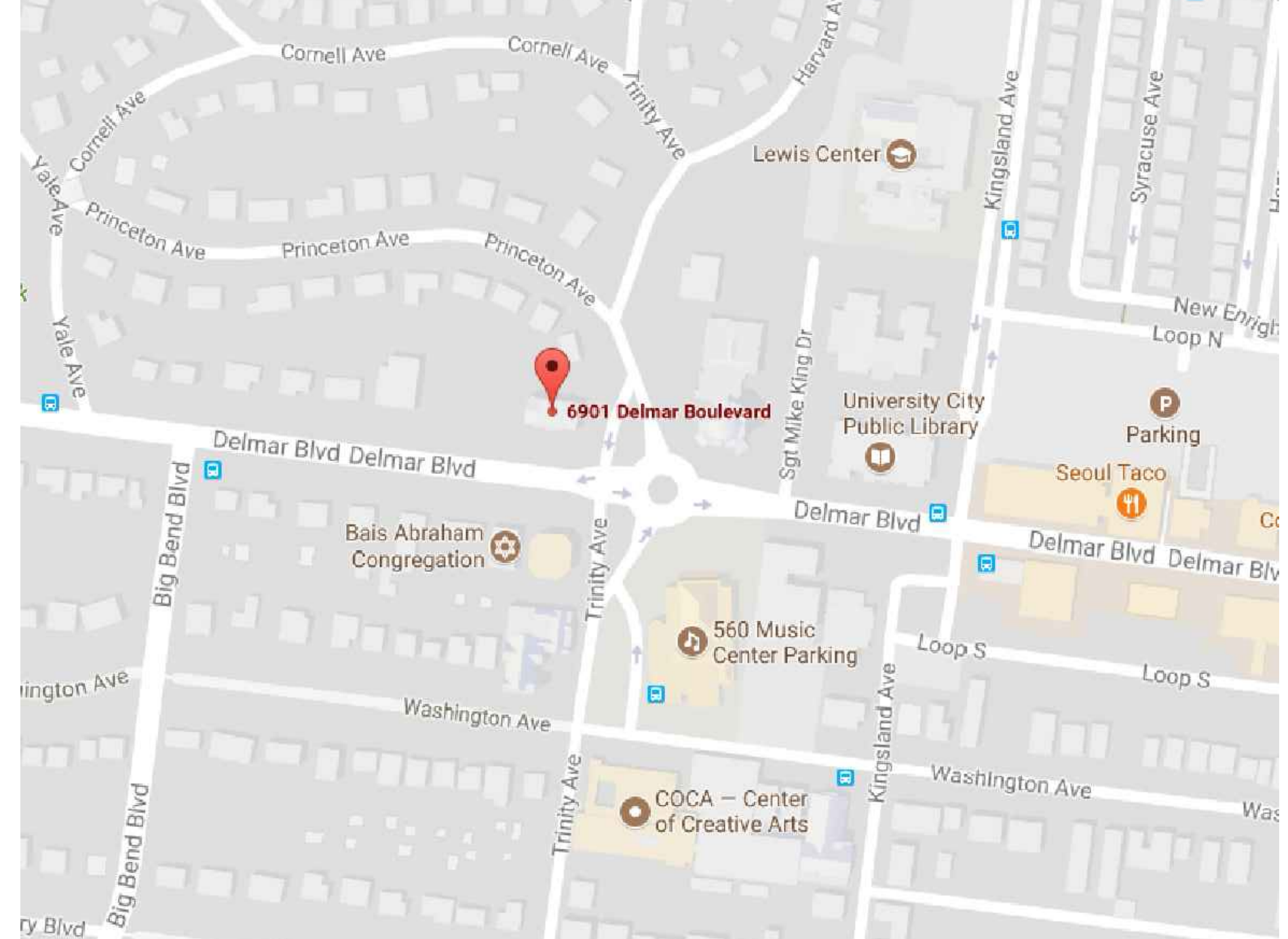
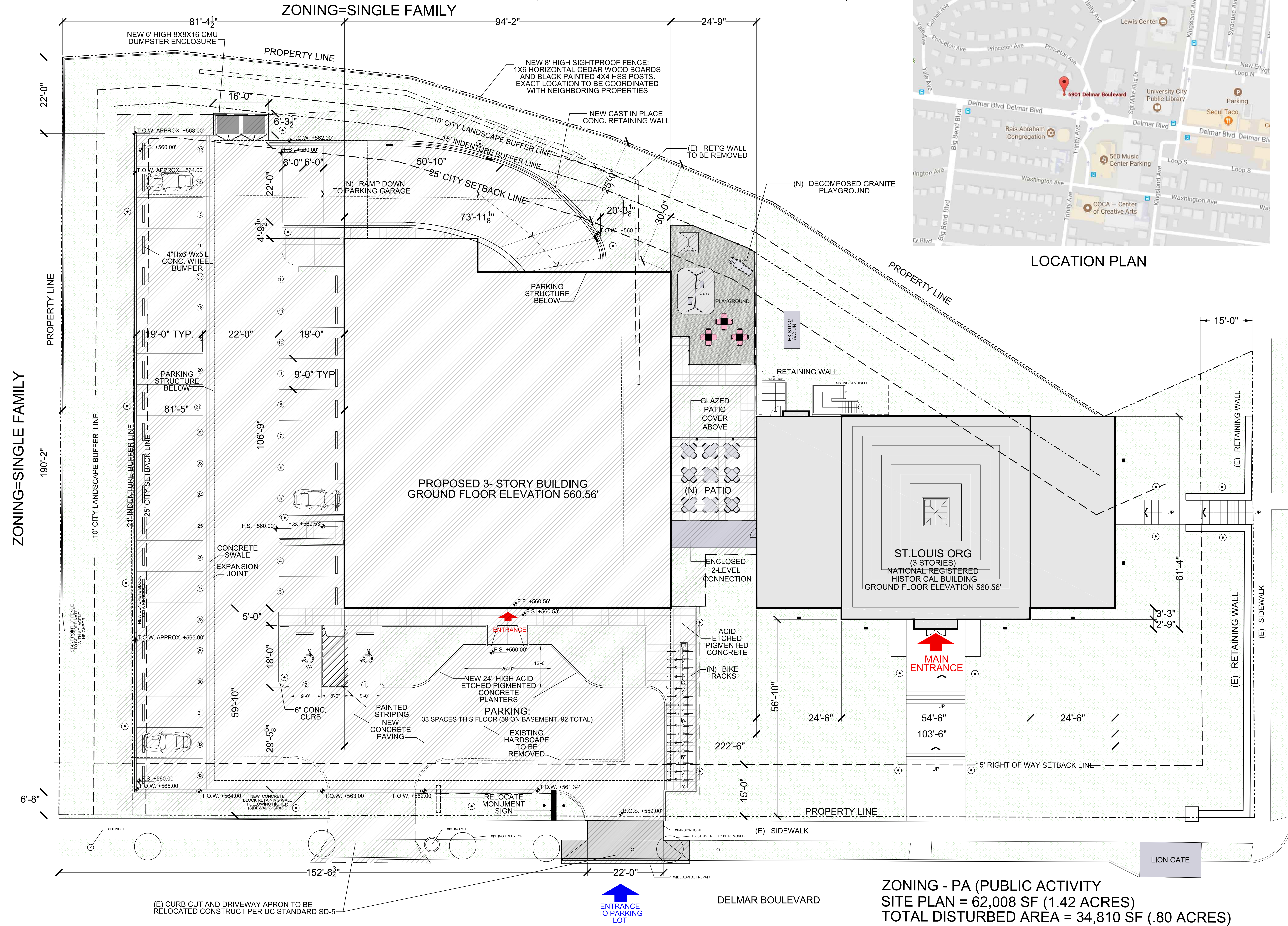
C1.01



CHURCH OF SCIENTOLOGY
6901 DELMAR BLVD.
ST LOUIS, MO

Gensler
500 S. Figueroa Street
Los Angeles, CA 90017

SEE L1.0 FOR ADDITIONAL NOTES AND LAYOUT



LOCATION PLAN

ZONING= SINGLE FAMILY

ZONING= SINGLE FAMILY

ZONING - PA (PUBLIC ACTIVITY)
SITE PLAN = 62,008 SF (1.42 ACRES)
TOTAL DISTURBED AREA = 34,810 SF (.80 ACRES)

Date	Description
09.12.18	PLANNING COMMISSION HEARING 2

Scale/Signature

Project Name
St. Louis

Project Number
05.1629.000

Description
SITE PLAN

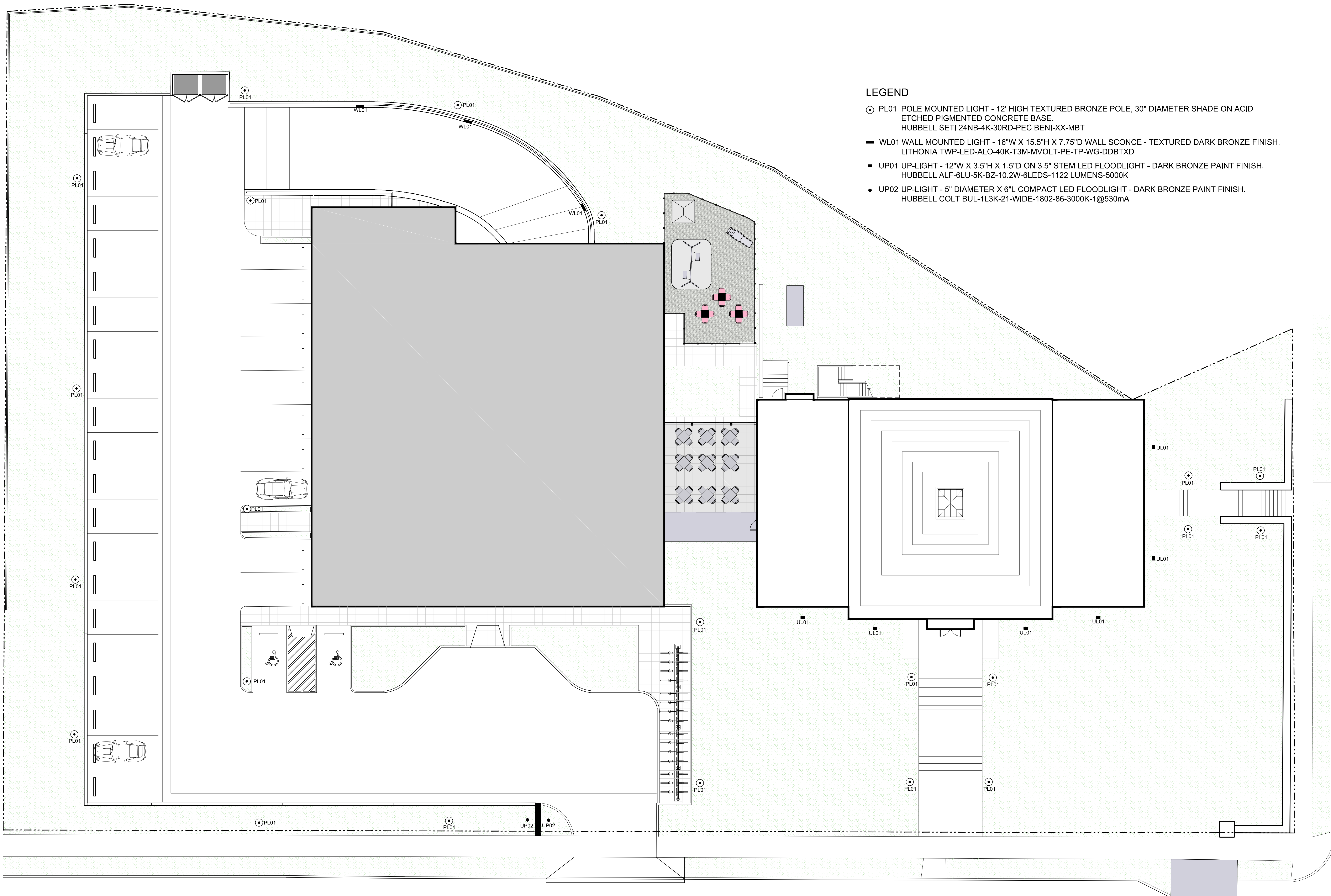
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A1.000



**CHURCH OF
SCIENTOLOGY**
6901 DELMAR BLVD.
ST LOUIS, MO

Gensler
500 S. Figueroa Street
Los Angeles, CA 90017



LEGEND

- PL01 POLE MOUNTED LIGHT - 12' HIGH TEXTURED BRONZE POLE, 30" DIAMETER SHADE ON ACID ETCHED PIGMENTED CONCRETE BASE.
HUBBELL SET1 24NB-4K-30RD-PEC BENI-XX-MBT
- WL01 WALL MOUNTED LIGHT - 16"W X 15.5"H X 7.75"D WALL SCONCE - TEXTURED DARK BRONZE FINISH.
LITHONIA TWP-LED-ALO-40K-T3M-MVOLT-PE-TP-WG-DBBTXD
- UP01 UP-LIGHT - 12"W X 3.5"H X 1.5"D ON 3.5" STEM LED FLOODLIGHT - DARK BRONZE PAINT FINISH.
HUBBELL ALF-6LU-5K-BZ-10.2W-6LEDS-1122 LUMENS-5000K
- UP02 UP-LIGHT - 5" DIAMETER X 6"L COMPACT LED FLOODLIGHT - DARK BRONZE PAINT FINISH.
HUBBELL COLT BUL-1L3K-21-WIDE-1802-86-3000K-1@530mA

Date	Description
09.12.18	PLANNING COMMISSION HEARING 2

Seal/Signature

Project Name
St. Louis

Project Number
05.1629.000

Description
SITE LIGHTING PLAN

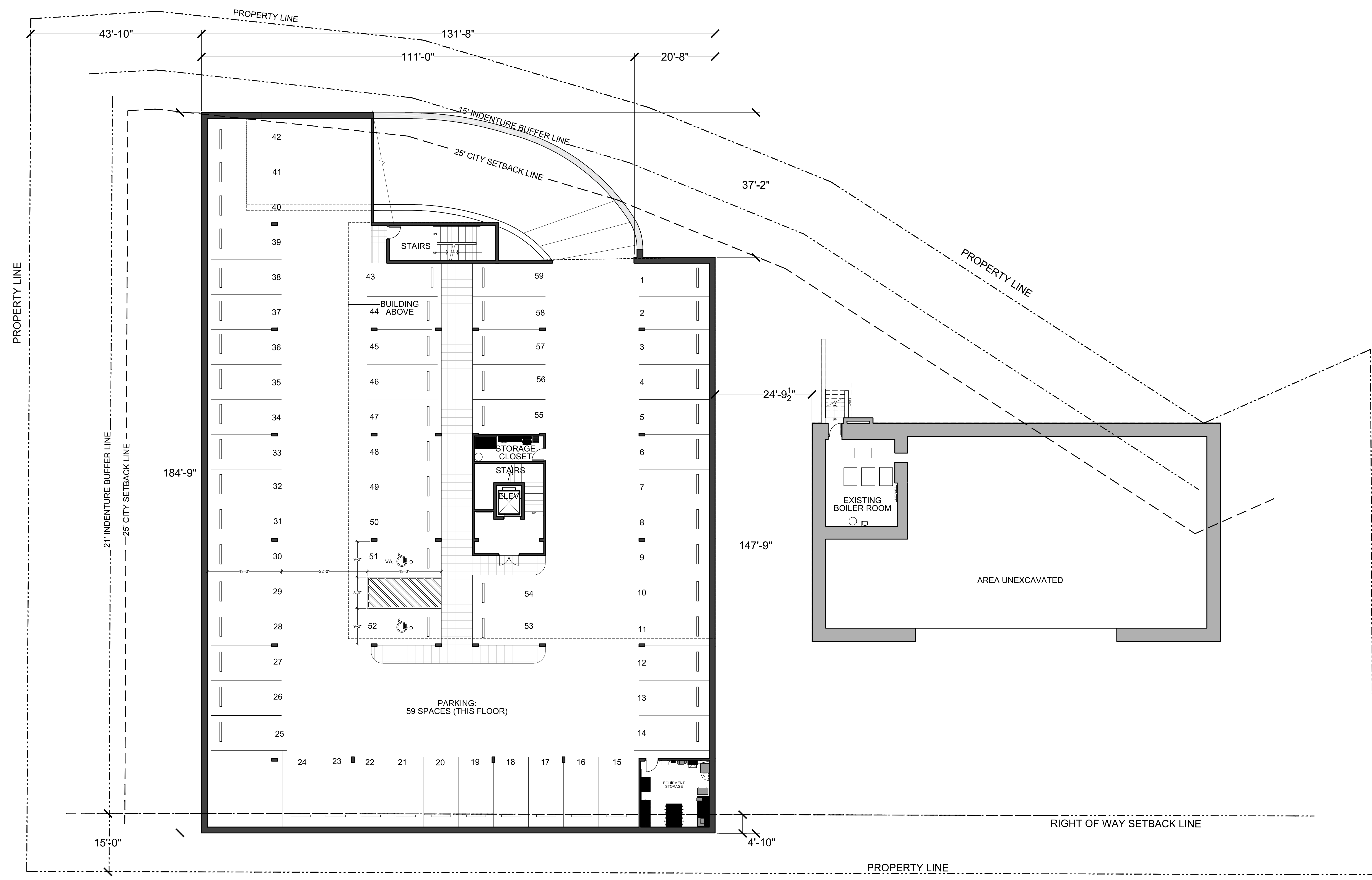
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A1.000B



**CHURCH OF
SCIENTOLOGY**
6901 DELMAR BLVD.
ST LOUIS, MO

Gensler
500 S. Figueroa Street
Los Angeles, CA 90017



NEW BUILDING SQUARE FOOTAGE - 21,336 SF

EXISTING BUILDING SQUARE FOOTAGE - 726 SF

Date	Description
09.12.18	PLANNING COMMISSION HEARING 2

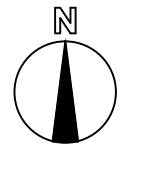
Seal/Signature

Project Name
St. Louis

Project Number
05.1629.000

Description
BASEMENT/GARAGE PLAN

Scale
3/32" = 1'-0"




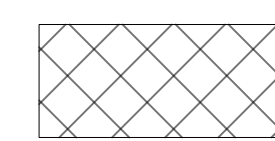
A1.100





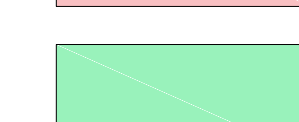
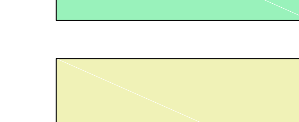
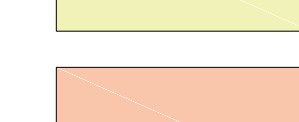


CHURCH OF SCIENTOLOGY
6901 DELMAR BLVD.
ST LOUIS, MO

Gensler
500 S. Figueroa Street
Los Angeles, CA 90017

PARKING CALCULATION DESIGNATIONS

-  OFFICE PARKING CALCULATION
-  MAIN ASSEMBLY HALL PARKING CALCULATION

CONCEPTUAL FUNCTION DESIGNATIONS (APPROXIMATE)

-  MAIN CHAPEL
-  RELIGIOUS CLASSROOMS
-  PASTORAL COUNSELING AND PROGRAMMATIC SPACES
-  COMMON AREAS (SOCIAL, CHILDCARE, CAFE, ETC.)
-  PUBLIC INFORMATION SPACES (SCIENTOLOGY BOOKSTORE, VISITOR CENTER, ETC.)
-  LIBRARY AND STUDY WORKSPACES
-  ADMINISTRATIVE OFFICE SPACE ASSOCIATED WITH PLACE OF WORSHIP USE



Date	Description
09-12-18	PLANNING COMMISSION HEARING 2

Scale/Signature

Project Name
St. Louis

Project Number
05.1629.000

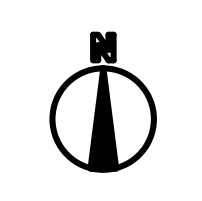
Description
FIRST FLOOR PLAN

Scale
3/32" = 1'-0"

A1.101

NEW BUILDING GROSS SQUARE FOOTAGE - 9,446 SF
NEW BUILDING NET USABLE SQUARE FOOTAGE - 6,910 SF

EXISTING BUILDING SQUARE FOOTAGE - 5,959 SF
EXISTING BUILDING NET USABLE SQUARE FOOTAGE - 3,593 SF


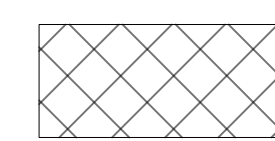






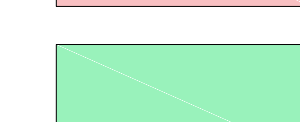
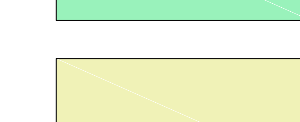
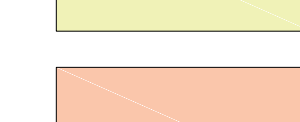


CHURCH OF SCIENTOLOGY
6901 DELMAR BLVD.
ST LOUIS, MO

Gensler
500 S. Figueroa Street
Los Angeles, CA 90017

PARKING CALCULATION DESIGNATIONS

-  OFFICE PARKING CALCULATION
-  MAIN ASSEMBLY HALL PARKING CALCULATION

CONCEPTUAL FUNCTION DESIGNATIONS (APPROXIMATE)

-  MAIN CHAPEL
-  RELIGIOUS CLASSROOMS
-  PASTORAL COUNSELING AND PROGRAMMATIC SPACES
-  COMMON AREAS (SOCIAL, CHILDCARE, CAFE, ETC.)
-  PUBLIC INFORMATION SPACES (SCIENTOLOGY BOOKSTORE, VISITOR CENTER, ETC.)
-  LIBRARY AND STUDY WORKSPACES
-  ADMINISTRATIVE OFFICE SPACE ASSOCIATED WITH PLACE OF WORSHIP USE



Date	Description
09.12.18	PLANNING COMMISSION HEARING 2

Seal/Signature

Project Name
St. Louis

Project Number
05.1629.000

Description
2nd FLOOR PLAN

Scale
3/32" = 1'-0"

A1.102

NEW BUILDING GROSS SQUARE FOOTAGE - 9,519 SF
NEW BUILDING NET USABLE SQUARE FOOTAGE - 6,783 SF


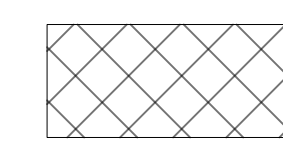
EXISTING BUILDING SQUARE FOOTAGE - 5,819 SF
EXISTING BUILDING NET USABLE SQUARE FOOTAGE - 3,312 SF





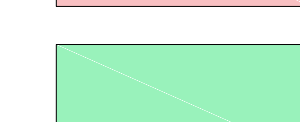
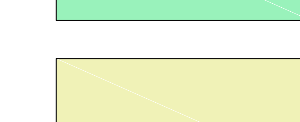
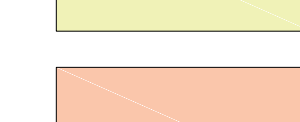


CHURCH OF SCIENTOLOGY
6901 DELMAR BLVD.
ST LOUIS, MO

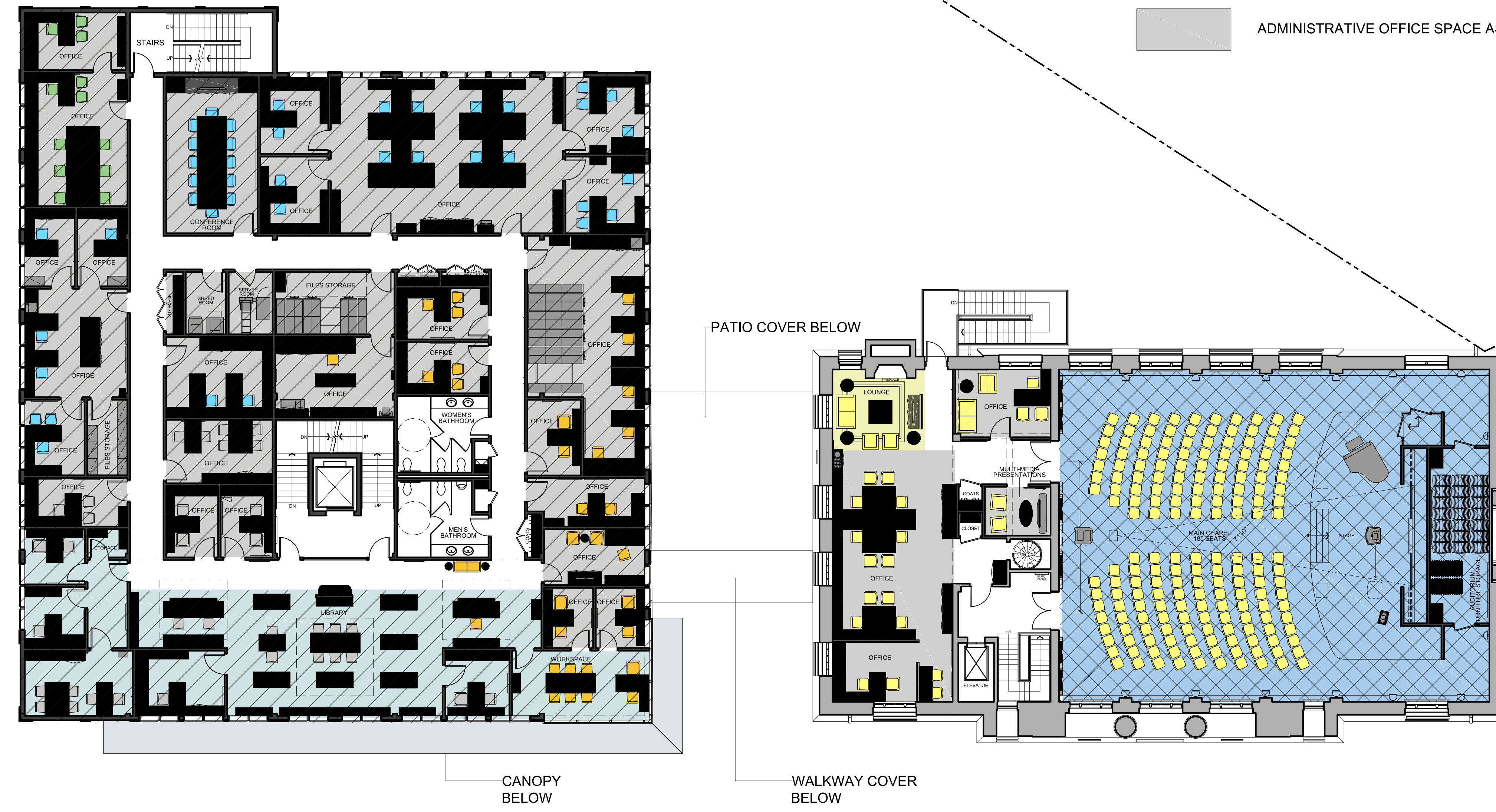
Gensler
500 S. Figueroa Street
Los Angeles, CA 90017

PARKING CALCULATION DESIGNATIONS

-  OFFICE PARKING CALCULATION
-  MAIN ASSEMBLY HALL PARKING CALCULATION

CONCEPTUAL FUNCTION DESIGNATIONS (APPROXIMATE)

-  MAIN CHAPEL
-  RELIGIOUS CLASSROOMS
-  PASTORAL COUNSELING AND PROGRAMMATIC SPACES
-  COMMON AREAS (SOCIAL, CHILDCARE, CAFE, ETC.)
-  PUBLIC INFORMATION SPACES (SCIENTOLOGY BOOKSTORE, VISITOR CENTER, ETC.)
-  LIBRARY AND STUDY WORKSPACES
-  ADMINISTRATIVE OFFICE SPACE ASSOCIATED WITH PLACE OF WORSHIP USE



NEW BUILDING GROSS SQUARE FOOTAGE - 9,558 SF
NEW BUILDING NET USABLE SQUARE FOOTAGE - 7,391 SF

EXISTING BUILDING SQUARE FOOTAGE - 5,584 SF
EXISTING BUILDING NET USABLE SQUARE FOOTAGE - 4,730 SF

Date	Description
09.12.18	PLANNING COMMISSION HEARING 2

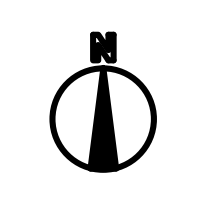
Seal/Signature

Project Name
St. Louis

Project Number
05.1629.000

Description
3rd FLOOR PLAN

Scale
3/32" = 1'-0"



A1.103

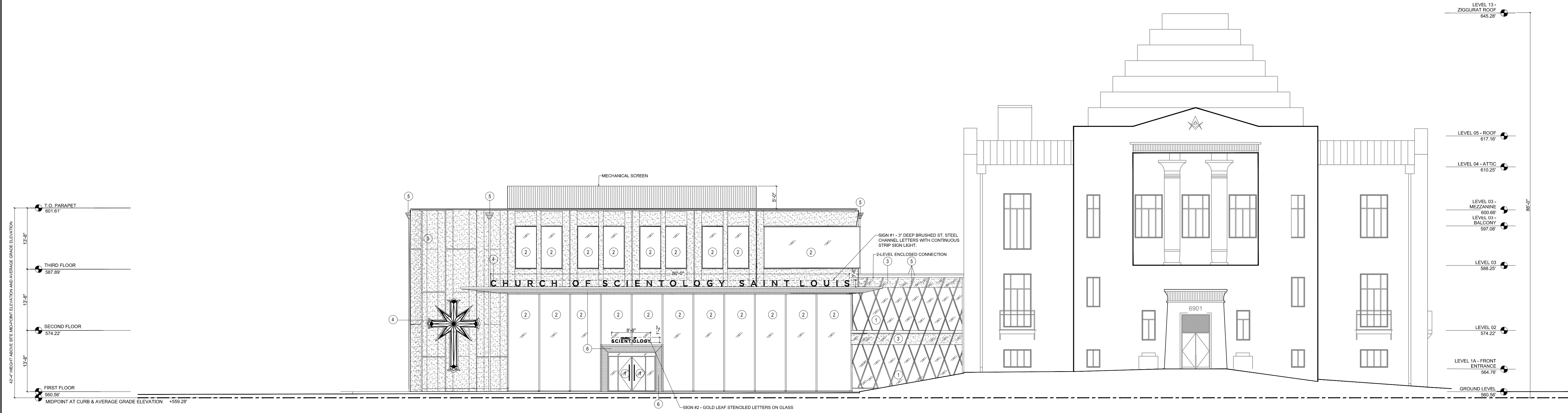


**CHURCH OF
SCIENTOLOGY**
6901 DELMAR BLVD.
ST LOUIS, MO

Gensler

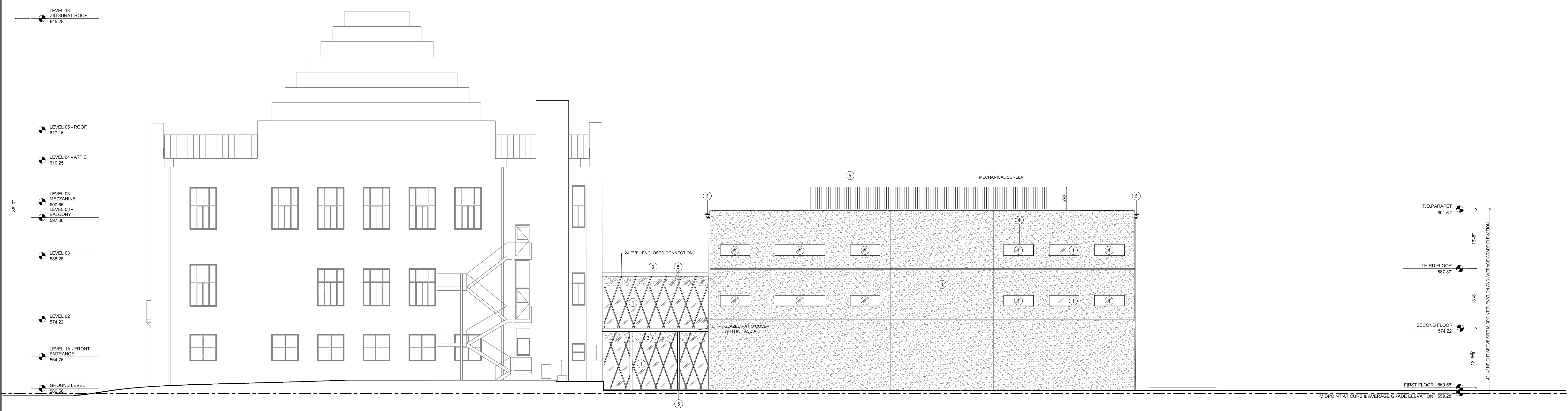
500 S. Figueroa Street
Los Angeles, CA 90017

- ① CLEAR LOW IRON GLASS
- ② BRONZE TINTED GLASS
- ③ PRECAST CONCRETE
- ④ BRUSHED ALUMINUM
- ⑤ BRONZE BRUSHED METAL
- ⑥ WOOD



4 SOUTH ELEVATION - PROPOSED NEW ACCESSORY BUILDING

3 SOUTH ELEVATION EXISTING PRIMARY BUILDING



2 NORTH ELEVATION EXISTING PRIMARY BUILDING

1 NORTH ELEVATION - PROPOSED NEW ACCESSORY BUILDING

Date	Description
09-12-18	PLANNING COMMISSION HEARING 2

Seal/Signature

Project Name
St. Louis

Project Number
05.1629.000

Description
NORTH / SOUTH ELEVATIONS

Scale
3/32" = 1'-0"

A4.100



**CHURCH OF
SCIENTOLOGY**
6901 DELMAR BLVD.
ST LOUIS, MO

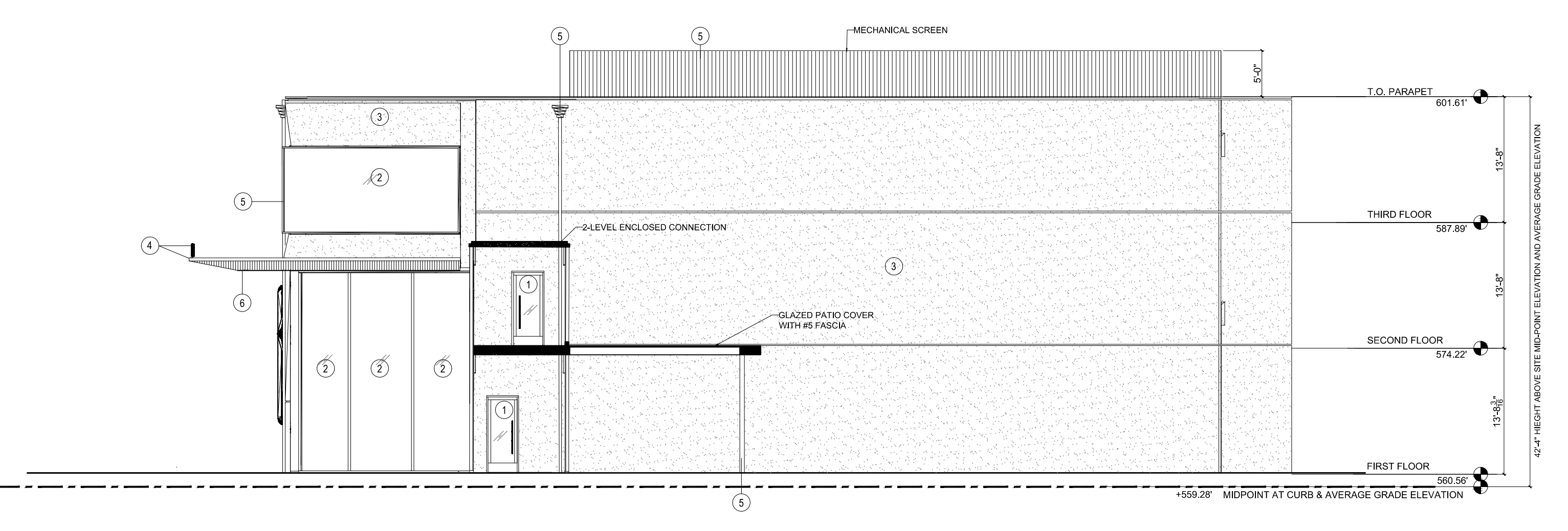
Gensler

500 S. Figueroa Street
Los Angeles, CA 90017

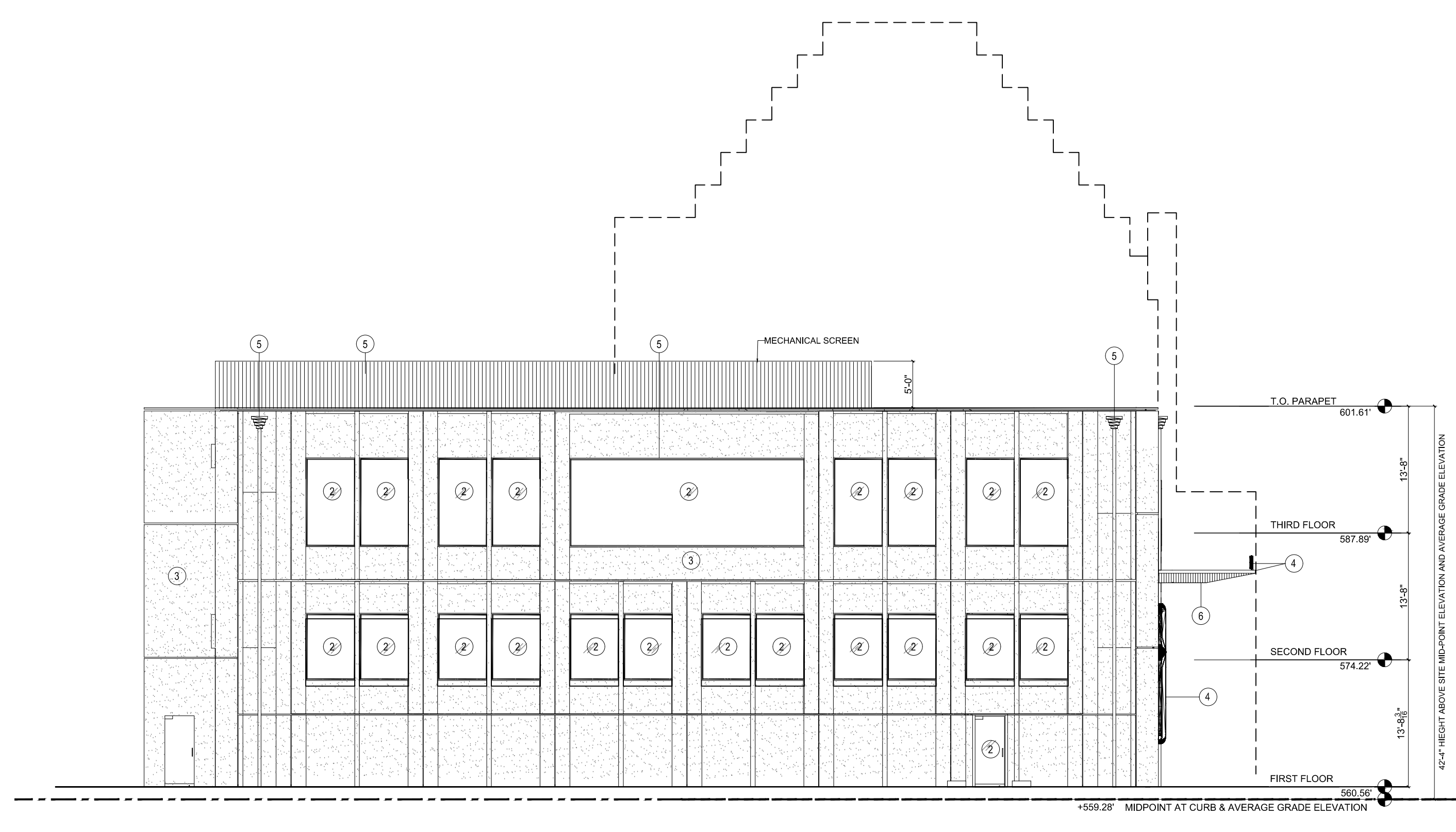
- ① CLEAR LOW IRON GLASS
- ② BRONZE TINTED GLASS
- ③ PRECAST CONCRETE
- ④ BRUSHED ALUMINUM
- ⑤ BRONZE BRUSHED METAL
- ⑥ WOOD



4 EAST ELEVATION - EXISTING PRIMARY BUILDING
SCALE: 3/32" = 1'-0"



3 EAST ELEVATION - PROPOSED NEW ACCESSORY BUILDING
SCALE: 3/32" = 1'-0"



2 WEST ELEVATION - PROPOSED NEW ACCESSORY BUILDING
SCALE: 3/32" = 1'-0"



1 WEST ELEVATION - EXISTING PRIMARY BUILDING
SCALE: 3/32" = 1'-0"

Date	Description
09-12-18	PLANNING COMMISSION HEARING 2

Seal/Signature

Project Name
St. Louis

Project Number
05.1629.000

Description
EAST / WEST ELEVATIONS

Scale
3/32" = 1'-0"

A4.101

CHURCH OF
SCIENTOLOGY
6901 DELMAR STREET
ST LOUIS, MO

Gensler

500 S. Figueroa Street
Los Angeles, CA 90017

Date	Description
09.12.18	PLANNING COMMISSION HEARING 2

Seal/Signature

Project Name
St. Louis

Project Number
05.1629.000

Description
MATERIALS

Scale
1/8" = 1'-0"

A4.102

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① CLEAR LOW IRON
GLASS



② BRONZE TINTED
GLASS



③ PRECAST CONCRETE -
SANDBLASTED FINISH



④ BRUSHED ALUMINUM



⑤ BRONZE BRUSHED
METAL



⑥ WOOD



⑦ BLOCK RETAINING
WALL



⑧ WOODEN SLAT-
FENCE



⑨ ADJUSTABLE LED LIGHT-
BRONZE BRUSHED MTL.



⑩ CONCRETE PAVING



PLANT SCHEDULE

- 
EVERGREEN SCREENING SHRUB
 JUNIPERUS VIRGINIANA 'TAYLOR' | TAYLOR EASTERN REDCEDAR
 THUJA STANDSHII X PLICATA 'GREEN GIANT' | GREEN GIANT ARBORVITAE
- 
DECIDUOUS SHRUB | PERENNIALS
 HEPTA MINCONIONDES | SEVEN SONS FLOWER
 VIBURNUM RHYTIDOPHYLLUM 'ALLEGHANY' | LEATHERLEAF VIBURNUM
 BERBERIS THUNBERGII 'NANA' | CRIMSON PYGMY BARBERRY
 HEDERA HELIX | ENGLISH IVY
 HOSTA X 'AUERO MARGINATA' | PLANTAIN LILY
 HOSTA X 'BIG DADDY' | PLANTAIN LILY
 HOSTA X 'GOLDEN TIARA' | PLANTAIN LILY
 HYDRANGEA QUERCIFOLIA | OAKLEAF HYDRANGEA
 ILEX CORNUTA | CHINESE HOLLY
 MISCANTHUS SINENSIS | JAPANESE SILVER GRASS
 SPIRAEA JAPONICA 'LITTLE PRINCESS' | LITTLE PRINCESS JAPANESE SPIREA
 SYRINGA MEYERI 'PALBIN' | DAWRF KOREAN LILAC
 TAXUS X MEDIA | DENSE YEW
 VIBURNUM CARLESII | KOREAN SPICE VIBURNUM
 VIBURNUM X PRAGENSE | PRAGUE VIBURNUM
- 
ORNAMENTAL TREE
 AMELANCHIER ALNIFOLIA | SERVICEBERRY
 BETULA NIGRA 'HERITAGE' | HERITAGE RIVER BIRCH
 CERCIS CANADENSIS | EASTERN REDBUD
 MAGNOLIA VIRGINIANA | SWEET BAY
 SYRINGA RETICULATA 'IVORY SILK' | IVORY SILK JAPANESE TREE LILAC
- 
EVERGREEN TREE
 CEPHALOTAXUS HARRINGTONIA 'FASTIGIATA' | PLUM YEW
 PINUS BUNGEANA | LACEBARK PINE
 PINUS STROBUS 'DOMINGO' | DOMINGO WHITE PINE
- 
CANOPY TREE
 CARPINUS BETULUS | EUROPEAN HORNBEAM
 QUERCUS RUBRA | RED OAK
 DELKOVA SERRATA 'AUTUMN GLOW' | AUTUMN GLOW JAPANESE ZELKOVA
- 
EXISTING TREES



**CITY OF UNIVERSITY CITY COUNCIL MEETING
AGENDA ITEM**

NUMBER: <i>For City Clerk Use</i>	CM20211108-02
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SUBJECT/TITLE:
Leaf Collection Contract Award

REQUESTED BY: Sinan Alpaslan, Director of Public Works	DEPARTMENT / WARD Public Works/All Wards
---	---

AGENDA SECTION: City Manager's Report	CAN ITEM BE RESCHEDULED? Yes
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CITY MANAGER'S RECOMMENDATION OR RECOMMENDED MOTION:
Approval to award contract to Hendel Lawncare, Inc. for their low 1st Year bid of \$209.00/hr.

FISCAL IMPACT:
Maintenance contract expenditure helps with supplemental work effort to the tasks completed with in-house and temporary staff and city's own equipment.

AMOUNT: \$50,000	ACCOUNT No.: 08-40-68_6050
---------------------	-------------------------------

FROM FUND: Solid Waste Fund-Leaf Collection Program	TO FUND:
--	----------

EXPLANATION:
City opened bids on October 19 for leaf collection. Hourly rate bids for three years submitted by two bidders are: Complete Curbside Leaf Removal - 1st Year: \$375.00/hr., 2nd Year: \$400.00/hr., 3rd Year: \$425.00/hr.; Hendel Lawncare, Inc. - 1st Year: \$209.00/hr., 2nd Year: \$214.00/hr., 3rd Year: \$218.00/hr. Please see attached sheet for historical awarded contract rate information.

STAFF COMMENTS AND BACKGROUND INFORMATION:
The lowest responsible bidder Hendel Lawncare has worked on the contracted leaf collection task in University City in the last three year term with satisfactory results. Hendel has responded to University City staff requests about equipment concerns and resident inquiries in the past and cooperated with staff to make the blended contractor and self-perform work effort as seamless as possible.

CIP No.	Operating budget expense
---------	--------------------------

RELATED ITEMS / ATTACHMENTS:
1) Historical Rate Information
2) Copy of Information to Bidders
3) Copy of Bids Received

LIST CITY COUNCIL GOALS (S):
Maintain high level of service in street/public right-of-way.

RESPECTFULLY SUBMITTED: City Manager, Gregory Rose	MEETING DATE: November 8, 2021
---	-----------------------------------

Public Works Leaf Collection Contract Historical Award Rates and Contractors:

FY2013 - \$150.00 (Complete Curbside Services)

FY2014 - \$150.00 (Complete Curbside Services)

FY2015 - \$150.00 (Complete Curbside Services)

FY2016 - \$140.00 (Hendel Lawncare)

FY2017 - \$140.00 (Hendel Lawncare)

FY2018 - \$140.00 (Hendel Lawncare)

FY2019 - \$165.00 (Hendel Lawncare)

FY2020 - \$165.00 (Hendel Lawncare)

FY2021 - \$165.00 (Hendel Lawncare)

FY2022 - \$209.00 (Hendel Lawncare)

FY2023 - \$214.00 (Hendel Lawncare)

FY2024 - \$218.00 (Hendel Lawncare)

**CITY OF UNIVERSITY CITY
6801 DELMAR BLVD.
UNIVERSITY CITY, MO. 63130
(314) 862-6767**

October 5, 2021

INVITATION TO BID

The City of University City will be accepting bids for Leaf Collection Services for the period of November 1, 2021 through December 31, 2021, in the Finance Department-Purchasing Office, 6801 Delmar Blvd., University City, Mo. 63130, until 5:00 p.m., October 19, 2021. The City reserves the right to reject any and all bids or parts of bids, to waive any technicalities and to accept the bid that in its judgment, best meets the requirements of the City of University City. The award will be made subject to the approval of City Council.

GENERAL SPECIFICATIONS

1. It is the intent of this solicitation to obtain competitive prices from contractors for leaf collection services.
2. The contractor's fee shall be on a per hour basis and include all equipment and labor.
3. The contractor shall provide all necessary equipment, a leaf vacuum, sweeper (if needed) and dump trucks. Dump trucks used to collect leaves from the vacuums will have a minimum capacity of 25 cubic yards.
4. The contractor shall provide a minimum of three (3) leaf vacuuming units including a dump truck, vacuum system and operators. The City may require a fourth unit to be used during heavy leaf collection.
5. The contractor shall provide all tools and maintenance for their equipment and shall not be paid for equipment and labor down time.
6. Leaf collection activities shall take place along the curb line of streets designated by the Street Divisions supervisory personnel and includes raking leaves from the tree lawn and from around parked cars.
7. The contractor shall provide a minimum of three (3) employees, a driver and two (2) vacuum system operators, for each leaf collection unit. The contractor will provide backup equipment and personnel in case of breakdowns within a reasonable amount of time.
8. Contractor will maintain an accurate log of cubic yards of leaves collected and dumped, hours of operation collecting leaves, miles traveled, and down time. The contractor shall provide the City with a copy of such record upon request.
9. The contractor will observe a regular eight (8) hour work day from 7:00 a.m. to 3:30 p.m., Monday through Friday. Evening and weekend work may be required at the discretion of the City. The hourly rate paid the contractor will remain the same regardless of regular, evening or weekend hours.
10. Time will begin for each contractor unit upon arrival of the crew and equipment at the Street Division's office located at 1015 Pennsylvania Ave., and end when the unit's last load of the day is dumped at the Ruth Park Recycling Area or as designated by City supervisory personnel.
11. The contractor shall collect leaves in all types of weather except for lightning and severe snow and /or ice at the City's discretion.
12. The City will provide a starting date for leaf collection and the contractors shall work for as long as needed. The initial year will begin in the fall of 2021 and run through December 2021.
13. The City will provide the dump site within the City limits.

BID REQUIREMENTS

In the performance of this work, the successful bidder obligates himself not to discriminate on the grounds or because of race, creed, color, national origin or ancestry, and religion or lack thereof against any employee of or applicant for employment with the successful bidder. The successful bidder further obligates himself to include a provision similar to the foregoing in all subcontracts let or awarded by the successful bidder.

The successful bidder must submit a Certificate of Insurance indicating the minimum coverage of the policy for the duration of the contract before the contract may begin.

The contractor shall provide leaf collection services for a period of three (3) years at rates per hour as indicated on this bid response.

Prevailing wage will be paid to all employees under this contract. A payroll report may be requested by the City while work is performed under this contract.

All technical questions regarding this solicitation should be addressed to John Gates, (314) 505-8585.

Questions regarding any administrative concerns of this solicitation can be addressed to Timika Lewis, (314) 505-8551.

Please seal your bid in an envelope mark the outside Leaf Collection 10/19/2021

BID FORM

To: City of University City

The following bid for Leaf Collection Services is being submitted in response to your Invitation to Bid dated October 4, 2021.

Leaf Collection-Rate Per Hour

1 st Year	Fall-December 2021	\$ _____
2 nd Year	Fall-December 2022	\$ _____
3 rd Year	Fall-December 2023	\$ _____

EXCEPTIONS:

PLEASE CHECK IF BUSINESS IS: MINORITY OWNED ___ WOMAN OWNED ___

Minorities and females in work force assigned to carry out this contract: ____%

ITEM(S) BID ARE UNITED STATES MANUFACTURED, ASSEMBLED AND/OR PRODUCED: YES ___ NO ___

If "NO", please indicate which item(s) are foreign manufactured, assembled and/or produced.

ALL STATE AND CITY TAXES DUE HAVE BEEN PAID: YES ___ NO ___

Company _____

Address _____

City _____ State _____ Zip _____

Company Phone _____ Fax _____

Quoted By _____ Title _____

Signature _____ Date _____

Email _____ Federal I.D. Number _____

Terms _____

BID FORM

To: City of University City

The following bid for Leaf Collection Services is being submitted in response to your Invitation to Bid dated October 4, 2021.

Leaf Collection-Rate Per Hour

1 st Year	Fall-December 2021	\$ <u>375⁰⁰</u>
2 nd Year	Fall-December 2022	\$ <u>400⁰⁰</u>
3 rd Year	Fall-December 2023	\$ <u>425⁰⁰</u>

EXCEPTIONS:

PLEASE CHECK IF BUSINESS IS: MINORITY OWNED ___ WOMAN OWNED ___
Minorities and females in work force assigned to carry out this contract: ___%

ITEM(S) BID ARE UNITED STATES MANUFACTURED, ASSEMBLED AND/OR PRODUCED: YES NO ___
If "NO", please indicate which item(s) are foreign manufactured, assembled and/or produced.

ALL STATE AND CITY TAXES DUE HAVE BEEN PAID: YES NO ___

Company Complete Curbside Leaf Removal

Address 8161 STANFORD

City St Louis State MO Zip 63130

Company Phone 314-853-8212 Fax _____

Quoted By Tommy William Title owner

Signature Tommy Will Date 10-18-21

Email NEWSURPLUS@ypho.com Federal I.D. Number _____

Terms _____

BID FORM

To: City of University City

The following bid for Leaf Collection Services is being submitted in response to your Invitation to Bid dated October 4, 2021.

Leaf Collection-Rate Per Hour

1st Year Fall-December 2021 \$ 209.00
2nd Year Fall-December 2022 \$ 214.00
3rd Year Fall-December 2023 \$ 218.00

EXCEPTIONS:

PLEASE CHECK IF BUSINESS IS: MINORITY OWNED ___ WOMAN OWNED ___
Minorities and females in work force assigned to carry out this contract: ___%

ITEM(S) BID ARE UNITED STATES MANUFACTURED, ASSEMBLED AND/OR PRODUCED: YES ___ NO ___
If "NO", please indicate which item(s) are foreign manufactured, assembled and/or produced.

ALL STATE AND CITY TAXES DUE HAVE BEEN PAID: YES X NO ___

Company Hendel Lawncare Inc.

Address 7109 Robbins Ave

City St. Louis State Mo Zip 63133

Company Phone 314 863 1420 Fax 636 207 7274

Quoted By Dan Hendel Title Owner

Signature [Signature] Date 10-19-21

Email info@hlestlmo.com Federal I.D. Number 43-1284449

Terms _____



**CITY OF UNIVERSITY CITY COUNCIL MEETING
AGENDA ITEM**

NUMBER: <i>For City Clerk Use</i>	UB20211108-01
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SUBJECT/TITLE:
An Ordinance Approving a First Supplemental Trust Indenture in Connection with the Tax Increment Revenue Notes (Olive Boulevard Commercial Corridor and Residential Conservation Redevelopment Project Area 1), Series A and B of the City of University City, Missouri, and Approving Certain Actions Relating Thereto.

REQUESTED BY: City Manager's Office	DEPARTMENT / WARD: CMO / All
---	--

AGENDA SECTION: New Business - Bill 9446	CAN ITEM BE RESCHEDULED?: Yes
--	---

CITY MANAGER'S RECOMMENDATION OR RECOMMENDED MOTION:
City Manager recommends approval.

FISCAL IMPACT:

AMOUNT:		ACCOUNT No.:	
----------------	--	---------------------	--

FROM FUND:		TO FUND:	
-------------------	--	-----------------	--

EXPLANATION:
The owner of the Notes, U. City, L.L.C., has requested the City and the Trustee to execute a Supplemental Indenture to modify the redemption provisions in the Original Indenture and Notes.

SEE ATTACHED UPDATED STAFF REPORT FOR ADDITIONAL DETAILS

STAFF COMMENTS AND BACKGROUND INFORMATION:
The City issued its Tax Increment Notes (Olive Boulevard Commercial Corridor and Residential Conservation Redevelopment Project Area 1), Series A and B (the "Notes"), in the aggregate principal amount not to exceed \$70,901,661.19, on March 29, 2021, pursuant to a Trust Indenture dated as of March 1, 2021 (the "Original Indenture") between the City and the Trustee. The Notes were approved by Ordinance No. 7147 on March 15, 2021.

CIP No.	N/A
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RELATED ITEMS / ATTACHMENTS:
1. Staff Report (Updated)
2. Bill 9446

LIST CITY COUNCIL GOALS (S):

RESPECTFULLY SUBMITTED: City Manager, Gregroy Rose	MEETING DATE: November 8, 2021
--	--

AGENDA ITEM – STAFF REPORT

MEETING DATE: November 8, 2021 - Updated

DEPARTMENT: City Manager's Office

AGENDA ITEM TITLE:

An Ordinance Approving a First Supplemental Trust Indenture in Connection with the Tax Increment Revenue Notes (Olive Boulevard Commercial Corridor and Residential Conservation Redevelopment Project Area 1), Series A and B of the City of University City, Missouri, and Approving Certain Actions Relating Thereto.

ADDITIONAL BACKGROUND INFORMATION:

The City issued its Tax Increment Notes (Olive Boulevard Commercial Corridor and Residential Conservation Redevelopment Project Area 1), Series A and B (the "Notes"), in the aggregate principal amount not to exceed \$70,901,661.19, on March 29, 2021, pursuant to a Trust Indenture dated as of March 1, 2021 (the "Original Indenture") between the City and the Trustee. The Notes were approved by Ordinance No. 7147 on March 15, 2021.

The owner of the Notes, U. City, L.L.C., has requested the City and the Trustee to execute a Supplemental Indenture to modify the redemption provisions in the Original Indenture and Notes. Specifically, the Original Indenture provides that the Notes are subject to optional redemption by the City, in whole or in part, at any time, at a redemption price of 100% of the principal amount of the Notes, plus accrued interest thereon. The Supplemental Indenture modifies that by providing that the Notes are not subject to optional redemption by the City until on or after May 1, 2031.

Further, the Developer advanced \$3 million to the City on March 31, 2021, as the "RPA 2/3 Advance Amount" as required by the Redevelopment Agreement between the City and the Developer. This was after the Notes were approved by Ordinance No. 7147. Under the Redevelopment Agreement (Section 4.1) the City is obligated to reimburse the Developer for the RPA 2/3 Advance Amount, solely from the proceeds of TIF Notes and/or TIF Bonds. Therefore, it is necessary to increase the maximum aggregate principal amount of the Notes to \$73,901,661.19. The Supplemental Indenture increases the amount accordingly.

Lastly, if the interest on the TIF Notes (in the opinion of Bond Counsel) is not excluded from gross income for federal income tax purposes, the Supplemental Indenture, as amended, changes the interest rate from the greater of (x) the Prime Rate plus 2% or (y) 8%, to a fixed rate of 8%.

AMENDED

INTRODUCED BY: Councilmember Jeff Hales

DATE: October 25, 2021

BILL NO. 9446

ORDINANCE NO. 7166

AN ORDINANCE APPROVING A FIRST SUPPLEMENTAL TRUST INDENTURE IN CONNECTION WITH THE TAX INCREMENT REVENUE NOTES (OLIVE BOULEVARD COMMERCIAL CORRIDOR AND RESIDENTIAL CONSERVATION REDEVELOPMENT PROJECT AREA 1), SERIES A AND B, OF THE CITY OF UNIVERSITY CITY, MISSOURI, AND APPROVING CERTAIN ACTIONS RELATING THERETO.

WHEREAS, on March 29, 2021, the City issued its Tax Increment Revenue Notes (Olive Boulevard Commercial Corridor and Residential Conservation Redevelopment Project Area 1), Series A and B (the “Notes”), in the aggregate principal amount of not to exceed \$70,901,661.19, pursuant to a Trust Indenture dated as of March 1, 2021 (the “Original Indenture”) between the City and BOKF, N.A., as trustee (the “Trustee”); and

WHEREAS, the owner of the Notes, U. City, L.L.C. (the “Owner”), has requested that the City and the Trustee modify certain provisions in the Original Indenture and the Notes; and

WHEREAS, the Developer (as defined in the Original Indenture) has advanced \$3,000,000 to the City as the “RPA 2/3 Advance Amount” as required by the Redevelopment Agreement between the City and the Developer, and therefore it is necessary to increase the authorized principal amount of the Notes by that amount; and

WHEREAS, the Council finds and determines that it is in the best interests of the City and its residents to modify the Original Indenture and the Notes for the above purposes.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF UNIVERSITY CITY, MISSOURI, AS FOLLOWS:

Section 1. The City Council hereby approves the First Supplemental Trust Indenture (the “Supplemental Indenture”) in substantially the form presented to and reviewed by the City Council at this meeting and attached to this Ordinance as **Exhibit A**, with such changes therein as shall be approved by the officer or officers of the City executing such document, such officer’s or officers’ signatures thereon being conclusive evidence of his, her or their approval thereof.

Section 2. The City Manager is hereby authorized and directed to execute and to deliver the Notes to the Trustee for authentication for and on behalf of and as the act and deed of the City in the manner provided in the Supplemental Indenture. The City Manager is hereby authorized and directed to execute and deliver, on behalf of the City, the Supplemental Indenture and such other documents, certificates and instruments as may be necessary or desirable to carry out and comply with the intent of this Ordinance. The City Clerk is hereby authorized and directed to attest to the Notes, the Indenture and such other documents, certificates and instruments as may be necessary or desirable to carry out and comply with the intent of this Ordinance.

Section 3. The City shall, and the officers, agents and employees of the City are hereby authorized and directed to, take such further action and execute such other documents, certificates and instruments as may be necessary or desirable to carry out and comply with the intent of this Ordinance and to carry out, comply with and perform the duties of the City with respect to the Notes and the Supplemental Indenture.

Section 4. The sections of this Ordinance shall be severable. If any section of this Ordinance is found by a court of competent jurisdiction to be invalid, the remaining sections shall remain valid, unless the court finds that (a) the valid sections are so essential to and inseparably connected with and dependent upon the void section that it cannot be presumed that the City Council has or would have enacted the valid sections without the void ones, and (b) the valid sections, standing alone, are incomplete and are incapable of being executed in accordance with the legislative intent.

Section 5. This Ordinance shall be in full force and effect from and after the date of its passage and approval.

PASSED and ADOPTED THIS 8th DAY OF NOVEMBER, 2021.

MAYOR

(Seal)

ATTEST:

CITY CLERK

CERTIFIED TO BE CORRECT AS TO FORM:

CITY ATTORNEY

EXHIBIT A

FORM OF FIRST SUPPLEMENTAL TRUST INDENTURE

CITY OF UNIVERSITY CITY, MISSOURI

and

**BOKF, N.A.,
as Trustee**

FIRST SUPPLEMENTAL TRUST INDENTURE

Dated as of November 1, 2021

Relating to

**\$73,901,661.19
City of University City, Missouri
Tax Increment Revenue Notes
(Olive Boulevard Commercial Corridor and Residential Conservation
Redevelopment Project Area 1)
Series A and B**

FIRST SUPPLEMENTAL TRUST INDENTURE

THIS FIRST SUPPLEMENTAL TRUST INDENTURE (this “Supplemental Indenture”), made and entered into as of November 1, 2021, by and between the **CITY OF UNIVERSITY CITY, MISSOURI**, an incorporated political subdivision of the State of Missouri (the “City”), and **BOKF, N.A.**, a national banking association duly organized and existing and authorized to accept and execute trusts of the character herein set forth under the laws of the United States of America, and having a corporate trust office located in St. Louis, Missouri, as trustee (the “Trustee”);

RECITALS:

1. On March 29, 2021, the City issued its Tax Increment Revenue Notes (Olive Boulevard Commercial Corridor and Residential Conservation Redevelopment Project Area 1), Series A and B (the “Notes”), in the aggregate principal amount of not to exceed \$70,901,661.19, pursuant to a Trust Indenture dated as of March 1, 2021 (the “Original Indenture”) between the City and the Trustee.

2. The owner of the Notes, U. City, L.L.C. (the “Owner”), has requested that the City and the Trustee execute this Supplemental Indenture to modify certain provisions in the Original Indenture and the Notes.

3. The Developer has advanced \$3,000,000 to the City as the “RPA 2/3 Advance Amount” as required by the Redevelopment Agreement, and therefore it is necessary to increase the authorized principal amount of the Notes by that amount.

4. Terms that are not defined herein shall have the meanings assigned to such terms in the Original Indenture.

NOW, THEREFORE, in consideration of the premises and the mutual representations, covenants and agreements herein contained, the City and the Trustee agree as follows:

Section 1. Definitions of Words and Terms. The following term as used in the Original Indenture shall have the following meaning, and **Section 101** of the Original Indenture is hereby amended and supplemented to so provide:

“**Indenture**” means the Original Indenture as supplemented and amended by this Supplemental Indenture.

Section 2. Authorization of Notes.

(a) All references in the Original Indenture to \$70,901,661.19 are hereby changed to \$73,901,661.19.

(b) **Section 205(c)** of the Original Indenture is hereby amended by deleting the original text and inserting the following in substitution thereof:

(c) The Notes shall bear interest (computed on the basis of a 360-day year of twelve 30-day months) at a variable rate equal to (1) 8.00%, if the interest on the Notes (in the opinion of Bond Counsel) is not excluded from gross income for federal income tax purposes (the “*Taxable Rate*”) or (2) the Taxable Rate less 150 basis points if the interest on the Notes (in the opinion of Bond Counsel) is excluded from gross income for federal

income tax purposes (the “*Tax-Exempt Rate*”). The interest rate on the Notes shall be adjusted from time to time as and when the Prime Rate changes.

Section 3. Redemption of Notes. Section 302(a) of the Original Indenture is hereby amended by deleting the original text and inserting the following in substitution thereof:

(a) *Optional Redemption.* The Notes are subject to optional redemption by the City, in whole or in part at any time on or after May 1, 2031, at a redemption price of 100% of the principal amount of the Notes to be redeemed, plus accrued interest thereon to the date fixed for redemption.

Section 4. Form of Bond. On the date of delivery of this Supplemental Indenture, the Trustee shall cancel Bond R-1 held by the Trustee pursuant to Section 201(h) of the Original Indenture, the Trustee shall, following execution thereof by the City, endorse Bond R-2 (which shall be in the form attached as **Exhibit A** hereto) in the same principal amount as the cancelled Bond R-1, and the Trustee shall hold Bond R-2 for the benefit of the Owner pursuant to Section 201(h) unless otherwise directed in writing by the Owner.

Section 5. Applicability of Original Indenture. Except as otherwise provided in this Supplemental Indenture, the provisions of the Original Indenture are hereby ratified, approved and confirmed.

Section 6. Consent of Bond Owners and Lender. The Owner of 100% of the Bonds Outstanding and the Lender have consented to and directed the Trustee to execute, and approved the execution by the City and the Trustee of this Supplemental Indenture and hereby waives all notices required under the Original Indenture, including but not limited to Section 1102 thereof.

Section 7. Severability. If any provision of this Supplemental Indenture is held or deemed to be invalid, inoperative or unenforceable as applied in any particular case in any jurisdiction or jurisdictions or in all jurisdictions, or in all cases because it conflicts with any other provision or provisions hereof or any constitution or statute or rule of public policy, or for any other reason, such circumstances shall not have the effect of rendering the provision in question inoperative or unenforceable in any other case or circumstances, or of rendering any other provision or provisions herein contained invalid, inoperative or unenforceable to any extent whatever. The invalidity of any one or more phrases, sentences, clauses or Sections in this Indenture contained shall not affect the remaining portions of this Indenture, or any part thereof.

Section 8. Execution in Counterparts. This Supplemental Indenture may be simultaneously executed in several counterparts, each of which shall be an original and all of which shall constitute but one and the same instrument.

Section 9. Governing Law. This Supplemental Indenture shall be governed exclusively by and construed in accordance with the applicable laws of the State.

Section 10. Electronic Transactions. Unless otherwise specified herein, the transactions and other activities described herein may be conducted and related documents may be sent, received or stored by electronic means. Copies, telecopies, facsimiles, electronic files and other reproductions of original executed documents will be deemed to be authentic and valid counterparts of such original documents for all purposes, including the filing of any claim, action or suit in the appropriate court of law.

IN WITNESS WHEREOF, the City of University City, Missouri, has caused these presents to be signed in its name and behalf and its corporate seal to be hereunto affixed and attested by its duly authorized officers, and to evidence its acceptance of the trusts hereby created, BOKF, N.A. has caused these presents to be signed in its name by a duly authorized officer, all as of the day and year first above written.

CITY OF UNIVERSITY CITY, MISSOURI

[SEAL]

By: _____
City Manager

ATTEST:

City Clerk

[Supplemental Indenture]

BOKF, N.A.,

as Trustee

By: _____
Name: _____
Title: _____

[Supplemental Indenture]

The undersigned, as Owner of 100% of the Bonds Outstanding hereby consents to and directs the Trustee to execute, and approve the execution by the City and the Trustee of this Supplemental Indenture and hereby waives all notices required under the Original Indenture, including but not limited to **Section 1102** thereof.

Date: _____, 2021

U. CITY, L.L.C., a Missouri limited liability company

By: _____
Name: _____
Title: _____

The undersigned, as Lenders, hereby consent to and direct the Trustee to execute, and approve the execution by the City and the Trustee of this Supplemental Indenture and hereby waive all notices required under the Original Indenture, including but not limited to **Section 1102** thereof.

Date: _____, 2021

CEDAR RAPIDS BANK AND TRUST COMPANY

By: _____
Name: _____
Title: _____

THE ROBERT G. CLARK REVOCABLE LIVING TRUST U/A/D 12/14/1994

By: _____
Name: Robert G. Clark
Title: Trustee

[Supplemental Indenture]

EXHIBIT A

FORM OF TIF NOTES

THIS NOTE OR ANY PORTION HEREOF MAY BE TRANSFERRED, ASSIGNED OR NEGOTIATED ONLY AS PROVIDED IN THE HEREIN-DESCRIBED INDENTURE.

**UNITED STATES OF AMERICA
STATE OF MISSOURI**

**Registered
No. R-___**

**Registered
Up to \$ _____
(See Schedule A attached)**

CITY OF UNIVERSITY CITY, MISSOURI

**[TAXABLE] TAX INCREMENT REVENUE NOTE
(OLIVE BOULEVARD COMMERCIAL CORRIDOR AND RESIDENTIAL CONSERVATION
REDEVELOPMENT PROJECT AREA 1)
SERIES [A/B]**

Rate of Interest: Variable, as described below

Maturity Date: June 9, 2042

REGISTERED OWNER:

PRINCIPAL AMOUNT: See **SCHEDULE A** attached hereto.

The **CITY OF UNIVERSITY CITY, MISSOURI**, an incorporated political subdivision duly organized and validly existing under the Constitution and laws of the State of Missouri (the “City”), for value received, hereby promises to pay to the Registered Owner shown above, or registered assigns, the Principal Amount shown from time to time on **Schedule A** attached hereto on the Maturity Date shown above unless called for redemption prior to the Maturity Date, and to pay interest thereon from the effective date of registration shown from time to time on **Schedule A** attached hereto or from the most recent Interest Payment Date to which interest has been paid or duly provided for (computed on the basis of a 360-day year of twelve 30-day months) at the Interest Rate defined below. Interest shall be payable semiannually on May 1 and November 1 in each year (each, an “Interest Payment Date”), beginning on the first Interest Payment Date following the initial transfer of moneys to the Special Allocation Fund. Interest that remains unpaid on any Interest Payment Date shall be compounded semi-annually.

Except as otherwise provided herein, the capitalized terms herein shall have the meanings as provided in the Indenture (as hereinafter defined) or the Redevelopment Agreement dated as of June 13, 2019 among the City, U. City, L.L.C. and U. City TIF Corporation, as amended by the First Amendment to Redevelopment Agreement dated as of June 29, 2020 among the City, U. City, L.L.C. and U. City TIF Corporation, and as may be further amended or supplemented from time to time (collectively, the “Agreement”).

THE OBLIGATIONS OF THE CITY WITH RESPECT TO THIS NOTE TERMINATE ON JUNE 9, 2042, WHETHER OR NOT THE PRINCIPAL AMOUNT OR INTEREST HEREON HAS

BEEN PAID IN FULL. NOTWITHSTANDING ANYTHING TO THE CONTRARY HEREIN OR IN THE INDENTURE, THIS NOTE MAY BECOME SUBORDINATED TO OTHER OBLIGATIONS OF THE CITY AS PROVIDED IN SECTION 5.2(b) OF THE AGREEMENT. REFERENCE IS MADE TO THE INDENTURE AND THE AGREEMENT FOR A COMPLETE DESCRIPTION OF THE CITY’S OBLIGATIONS HEREUNDER.

The principal of this Note shall be paid at maturity or upon earlier redemption to the person in whose name this Note is registered at the maturity or redemption date hereof, upon presentation and surrender of this Note at the principal corporate trust office in St. Louis, Missouri of BOKF, N.A., as trustee (the “Trustee”). The interest payable on this Note on any Interest Payment Date shall be paid to the person in whose name this Note is registered on the Register at the close of business on the fifteenth day (whether or not a Business Day) of the calendar month next preceding such Interest Payment Date. Such interest shall be payable (a) by check or draft mailed by the Trustee to the address of such registered owner shown on the Register or (b) by electronic transfer to such registered owner upon written notice given to the Trustee and signed by such registered owner, not less than 5 days prior to the Record Date for such interest, containing the electronic transfer instructions including the bank (which shall be in the United States), ABA routing number and account number to which such registered owner wishes to have such transfer directed and an acknowledgement that an electronic transfer fee may be applicable. The principal or redemption price of and interest on the Notes shall be payable by check or draft in any coin or currency that, on the respective dates of payment thereof, is legal tender for the payment of public and private debts.

This Note is one of an authorized series of fully-registered notes of the City designated “City of University City, Missouri, [Tax-Exempt] [Taxable] Tax Increment Revenue Notes (Olive Boulevard Commercial Corridor and Residential Conservation Redevelopment Project Area 1), Series _____,” which together with other authorized series of fully-registered Notes of the City designated “City of University City, Missouri, Tax Increment Revenue Notes (Olive Boulevard Commercial Corridor and Residential Conservation Redevelopment Project Area 1), Series _____,” aggregate a principal amount of \$73,901,661.19 (collectively the “Notes”). The Notes are being issued for the purpose of paying a portion of the Reimbursable Redevelopment Project Costs in connection with the redevelopment of RPA 1 of the Olive Boulevard Commercial Corridor and Residential Conservation Redevelopment Area, under the authority of and in full compliance with the Constitution and laws of the State of Missouri, including particularly the Real Property Tax Increment Allocation Redevelopment Act, Sections 99.800 through 99.865 of the Revised Statutes of Missouri (the “Act”), the Community Improvement District Act, Sections 67.1401 to 67.1571 of the Revised Statutes of Missouri (the “CID Act”), and pursuant to a Trust Indenture dated as of March 1, 2021, between the City and the Trustee (said Trust Indenture, as amended and supplemented in accordance with the terms thereof, being herein called the “Indenture”).

The Notes constitute special, limited obligations of the City payable as to principal, premium, if any, and interest solely from Note proceeds, Net Proceeds and investment earnings thereon. “Net Proceeds” means (a) all Payments in Lieu of Taxes on deposit in the PILOTS Account of the Special Allocation Fund and (b) subject to annual appropriation, (1) subject to **Section 6.3(a)(1)** of the Redevelopment Agreement, all Economic Activity Taxes on deposit in the EATS Account of the Special Allocation Fund, (2) all District Revenues on deposit in the District Revenues Account of the Special Allocation Fund, (3) all City Revenues on deposit in the City Revenues Account of the Special Allocation Fund and (4) monies on deposit in any other account of the Special Allocation Fund that have been appropriated to the payment of the Notes. Net Proceeds do not include (1) any amount paid under protest until the protest is withdrawn or resolved against the taxpayer and (2) any sum received by the City that is the subject of a suit or other claim communicated to the City which suit or claim challenges the collection of such sum.

“Interest Rate” means a variable rate equal to (i) 8.00%, if the interest on the Notes (in the opinion of Bond Counsel) is not excluded from gross income for federal income tax purposes (the “Taxable Rate”)

or (ii) the Taxable Rate less 150 basis points if the interest on the Notes (in the opinion of Bond Counsel) is excluded from gross income for federal income tax purposes (the “*Tax-Exempt Rate*”). The interest rate on the Notes shall be adjusted from time to time as and when the Prime Rate changes. Notwithstanding any provision herein to the contrary, in no event shall the interest rate on the Notes exceed the maximum rate permitted by law.

The Notes shall not constitute debts or liabilities of the City, the District, the State of Missouri or any political subdivision thereof within the meaning of any constitutional, statutory or charter debt limitation or restriction. Neither the City, the District, the Tax Increment Financing Commission of the City of University City, Missouri, the commissioners of said Commission, the officers and employees of the City or the District, nor any person executing the Notes shall be personally liable for such obligations by reason of the issuance thereof.

NOTWITHSTANDING ANY PROVISION IN THE AGREEMENT OR IN THE NOTES TO THE CONTRARY, THE NOTES ARE SUBJECT TO CANCELLATION AND DISCHARGE BY THE CITY IN WHOLE OR IN PART WITHOUT PENALTY UNDER THE CONDITIONS SET FORTH IN SECTION 3.1 OF THE AGREEMENT.

The Notes are subject to optional redemption by the City, in whole or in part at any time on or after May 1, 2031, at a redemption price of 100% of the principal amount of the Notes to be redeemed, plus accrued interest thereon to the date fixed for redemption.

The Notes are subject to special mandatory redemption by the City on any Interest Payment Date, at the redemption price of 100% of the principal amount being redeemed, together with accrued interest thereon to the date fixed for redemption, in an amount equal to the amount which, 40 days prior to each Interest Payment Date (10 days if all of the Notes are owned by a single party), is on deposit in the Debt Service Fund and which will not be required for the payment of interest on such Interest Payment Date.

If any of the Notes are to be called for redemption as aforesaid, notice of redemption, unless waived, is to be given by the Trustee by mailing an official redemption notice by first class mail at least 30 days (10 days if all of the Notes are owned by a single party) and not more than 60 days prior to the date fixed for redemption to the Registered Owner of each Note to be redeemed at the address shown on the Register as of the date of such notice, as more fully described in the Indenture. Notice of redemption having been given as aforesaid, and provided that moneys are on deposit with the Trustee to effect the required redemption, the Notes or portions of Notes so to be redeemed shall, on the redemption date, become due and payable at the redemption price therein specified, and from and after such date (unless the City defaults in the payment of the redemption price) such Notes or portions of Notes so called for redemption shall cease to bear interest, shall no longer be secured by the Indenture and shall not be deemed to be Outstanding under the provisions of the Indenture. Any defect in any notice or the failure of any parties to receive any notice of redemption shall not cause any Note called for redemption to remain Outstanding.

Notes shall be redeemed only in Authorized Denominations. When less than all of the outstanding Notes are to be redeemed and paid prior to maturity, such Notes or portions of Notes to be redeemed shall be redeemed in the order of maturity designated by the City, and, within any maturity, the Trustee shall select the Notes to be redeemed in Authorized Denominations in such equitable manner as the Trustee may determine. All Taxable TIF Notes shall be redeemed prior to the Tax-Exempt TIF Notes.

This Note may be transferred or exchanged, as provided in the Indenture, only upon the Register, upon surrender of this Note together with a written instrument of transfer satisfactory to the Trustee duly executed by the registered owner or the registered owner’s duly authorized agent. **THE OWNER HEREOF EXPRESSLY AGREES, BY SUCH OWNER’S ACCEPTANCE HEREOF, THAT THE RIGHT TO**

TRANSFER, ASSIGN OR NEGOTIATE THIS NOTE SHALL BE LIMITED TO TRANSFER, ASSIGNMENT OR NEGOTIATION TO APPROVED INVESTORS, AS DEFINED BELOW. Accordingly, this Note will be transferable only upon prior delivery to the Trustee of a letter in substantially the form attached to the Indenture as **Exhibit B**, signed by the transferee, showing that such transferee is an Approved Investor. After the Trustee receives the foregoing statement, a new Note of the same maturity and in the same principal amount outstanding as the Note which was presented for transfer or exchange shall be issued to the transferee in exchange therefor as provided in the Indenture, and upon payment of the charges therein prescribed. The City and the Trustee may deem and treat the person in whose name this Note is registered as the absolute owner hereof for the purpose of receiving payment of, or on account of, the principal or redemption price hereof and interest due hereon and for all other purposes. For the purposes of this Note, "Approved Investor" means (a) the Developer, (b) an "accredited investor" under Rule 501(a) of Regulation D promulgated under the Securities Act of 1933, (c) a "qualified institutional buyer" under Rule 144A promulgated under the Securities Act of 1933, (d) any general business corporation or enterprise with total assets in excess of \$50,000,000, (e) the Lender or (f) the Purchaser.

This Note shall not be valid or binding on the City or be entitled to any security or benefit under the Indenture until the Certificate of Authentication hereon has been executed by the Trustee.

IT IS HEREBY CERTIFIED AND DECLARED that all acts, conditions and things required to exist, happen and be performed precedent to and in the issuance of the Notes have existed, happened and been performed in due time, form and manner as required by law.

IN WITNESS WHEREOF, the **CITY OF UNIVERSITY CITY, MISSOURI** has executed this Note by causing it to be signed by the manual signature of its City Manager and attested by the manual signature of its City Clerk, and its official seal to be affixed or imprinted hereon, and this Note to be dated as of the effective date of registration as shown on **Schedule A**.

CITY OF UNIVERSITY CITY, MISSOURI

By: _____
City Manager

(Seal)

Attest:

City Clerk

ASSIGNMENT

FOR VALUE RECEIVED, the undersigned sells, assigns and transfers unto

(Print or Type Name, Address and Social Security Number
or other Taxpayer Identification Number of Transferee)

the within Note and all rights thereunder, and hereby irrevocably constitutes and appoints _____ agent to transfer the within Note on the books kept by the Trustee for the registration thereof, with full power of substitution in the premises.

Dated: _____.

NOTICE: The signature to this assignment must correspond with the name of the Registered Owner as it appears on the face of the within Note in every particular.

Medallion Signature Guarantee:

SCHEDULE A

CERTIFICATE OF AUTHENTICATION

This Note is one of the Notes described in the within-mentioned Indenture.

<u>Date⁽¹⁾</u>	<u>Additions to Principal Amount⁽²⁾</u>	<u>Principal Amount Paid/Cancelled</u>	<u>Outstanding Principal Amount</u>	<u>Authorized Signatory of Trustee</u>
_____, 20__	\$	\$	\$	
_____, 20__				
_____, 20__				
_____, 20__				
_____, 20__				
_____, 20__				
_____, 20__				
_____, 20__				
_____, 20__				
_____, 20__				
_____, 20__				
_____, 20__				
_____, 20__				
_____, 20__				
_____, 20__				

⁽¹⁾ Date of Advance (which constitutes Date of Registration with respect to such portion of the Note) or Interest Payment Date. Advances are limited to one per calendar month.

⁽²⁾ **Additions to the Principal Amount may not exceed the amounts permitted by Section 5.1 of the Redevelopment Agreement.**



**CITY OF UNIVERSITY CITY COUNCIL MEETING
AGENDA ITEM**

NUMBER: <i>For City Clerk Use</i>	NB20211108-01
---	----------------------

SUBJECT/TITLE: Crown Center Redevelopment Plan			
REQUESTED BY: Brooke A. Smith		DEPARTMENT / WARD: Planning and Development	
AGENDA SECTION:	New Bus - Bill No. 9448	CAN ITEM BE RESCHEDULED?	No
CITY MANAGER'S RECOMMENDATION OR RECOMMENDED MOTION: City Manager recommends approval			
FISCAL IMPACT: None			
AMOUNT:	N/A	ACCOUNT No.:	N/A
FROM FUND:	N/A	TO FUND:	N/A
EXPLANATION: N/A			

STAFF COMMENTS AND BACKGROUND INFORMATION:
This proposed development is located at 8348 - 8350 Delcrest Drive. This Second Amended Final Development Plan proposes a 5 story mixed-use building containing offices and resident amenity space on the 1st floor with 52 apartments on the top 4 floors. This project went before the Plan Commission on October 27, 2021 and the commission voted to recommend approval.

CIP No.	
RELATED ITEMS / ATTACHMENTS: 1. Bill No. 9448 and Exhibits 2. Letter from Plan Commission 3.. Staff Report	

LIST CITY COUNCIL GOALS (S):
N/A

RESPECTFULLY SUBMITTED:	City Manager, Gregory Rose	MEETING DATE:	November 8, 2021
--------------------------------	----------------------------	----------------------	------------------

INTRODUCED BY:

DATE: November 8, 2021

BILL NO.: 9448

ORDINANCE NO.:

AN ORDINANCE APPROVING THE SECOND AMENDED FINAL DEVELOPMENT PLAN FOR THE PROPOSED DEVELOPMENT TO CROWN CENTER FOR SENIOR LIVING LOCATED AT 8348 – 8350 DELCREST DRIVE IN THE PD-M PLANNED DEVELOPMENT MIXED-USE ZONING DISTRICT.

WHEREAS, the Preliminary Development Plan was approved by the City Council of University City on January 13, 2014 for a mixed-use development project known as “Crown Center for Senior Living” located at 8348 – 8350 Delcrest Drive in the PD-M Planned Development Mixed-Use Zoning District in the City of University City, Missouri, authorizing the submittal of a Final Development Plan; and

WHEREAS, the Final Development Plan was approved by the City Council on April 28, 2014, by Ordinance No. 6955; and

WHEREAS, the Amended Final Development Plan was approved by the City Council on October 9, 2017, by Ordinance No. 7054; and

WHEREAS, on October 22, 2021, Rosemann & Associates, P.C., on behalf of the property owners, submitted for review and approval a Second Amended Final Development Plan; and

WHEREAS, at its meeting on October 27, 2021, the University City Plan Commission reviewed the Second Amended Final Development Plan and recommended approval with the conditions listed in Exhibit A, attached hereto; and

WHEREAS, due notice of a public hearing to be held by the City Council in the City Council Chambers at 6:30 p.m. on November 22, 2021, was duly published in the St. Louis Countian, a newspaper of general circulation within said City on November ____, 2021; and

WHEREAS, the Second Amended Final Development Plan application, including all required documents and information submitted therewith, is before the City Council for its consideration.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF UNIVERSITY CITY, MISSOURI, AS FOLLOWS:

Section 1: Attached, marked Exhibit A and made a part hereof, is the recommended conditions as imposed by the University City Plan Commission.

Section 2: Attached, marked Exhibit B, and made part hereof is the site plan for the Second Amended Final Development Plan as submitted for Crown Center Senior Living.

Section 3: It is hereby found and determined that the Second Amended Final Development Plan is in full compliance with Section 400.890.B (Plan Amendments) of the University City Municipal Code, subject to the conditions in Exhibit A, attached hereto and made a part hereof.

Accordingly, the Second Amended Final Development Plan, subject to compliance with the conditions in Exhibit A, is hereby approved.

Section 4: The City Clerk is hereby directed to endorse upon the Second Amended Final Development Plan, subject to the conditions in Exhibit A, the approval of the City Council under the hand of the City Clerk and the seal of University City

Section 5: This ordinance shall take effect and be in force from and after its passage as provided by law.

PASSED this _____ day of _____, 2021.

Mayor

ATTEST:

City Clerk

CERTIFIED TO BE CORRECT AS TO FORM:

City Attorney

Exhibit A
Conditions for Crown Center Senior Living
Second Amended Final Development Plan

1. Permitted uses shall be limited to a multi-family residential development for senior living with associated accessory uses, including but not limited to, offices related to the operation of the facility, a café and dining area, a demonstration kitchen, a fitness area, and an outdoor gardening area which may be open to the public. The hours in which the café is open to the public shall be limited to 6:00 a.m. to 10:00 p.m. Any changes to the hours of operation shall require written approval from the Department of Planning and Development.
2. The existing building height, number of stories, mass, floor area ratio, and setbacks shall be maintained as depicted in the new development plan (presented to University City Plan Commission on 27 OCT 2021) and shall not be exceeded.
3. The total number of residential units for Project #1 shall not exceed 52
4. Parking and the drive aisle layout shall be as generally depicted on the Development Plan (presented to University City Plan Commission on 27 OCT 2021). A minimum of 130 off-street parking and garage spaces shall be maintained at the end of Project #1. The location of the proposed curb-cut for ingress/egress shall be as approved by the Department of Public Work.
5. Along the north property limits, Department of Planning and Development staff shall seek a landscape plan from the developer that provides a visual screening from the adjacent service drive with a combination of evergreen and deciduous trees.
6. A final landscape plan shall be submitted to the Department of Planning and Development for its review and approval, in conjunction with a review by the City Forester. Said plan shall be submitted prior to the submittal of a demolition/building permit. Landscaping shall be installed and maintained in accordance with the approved plan.
7. Any proposed signage shall be in strict compliance with the Sign Regulations set forth in Article 8 of the Zoning Code.
8. Lighting of all exterior areas shall comply with the requirements of Section 400.2110 (Lighting) of the Zoning Code, and shall be designed to be compatible with surrounding areas by shading to direct light downwards and away from abutting uses.
9. All work in the public right-of-way shall be located, constructed, and maintained as approved by the Department of Public Works.
10. A detailed construction traffic control and parking plan should be submitted to the Department of Planning and Development for approval, in conjunction with review by the Department of Public Works. Said plan shall set forth details pertaining to worker

Exhibit A
Conditions for Crown Center Senior Living
Second Amended Final Development Plan

and resident parking during all phases of the proposed construction. It shall further detail solutions to public property maintenance issues such as street cleaning and traffic diversion. Said plan shall finalize prior to the issuance of a building permit. It shall be applicant's responsibility to obtain those approvals in written form in a timely manner prior to issuance of the building permit.

11. Approval of the New Final Development Plan must be obtained by City Council.
12. Except as noted herein, other codes and ordinances of the City of University City shall apply
13. Address the comments from the Department of Public Works Attachment B of Staff report – memorandum of July 11, 2017.
14. Bicycle racks in accordance with Section 400.2145

PHASE I - REDBANK

EXHIBIT B

- ARCHITECTURAL SITE PLAN GENERAL NOTES**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF KANSAS CITY, MISSOURI, ORDINANCES AND REGULATIONS, AND THE KANSAS CITY, MISSOURI, ZONING ORDINANCES, UNLESS OTHERWISE SPECIFIED.
 2. DO NOT SCALE DRAWINGS.
 3. VERIFY ALL DIMENSIONS AND ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF KANSAS CITY, MISSOURI, ORDINANCES AND REGULATIONS, AND THE KANSAS CITY, MISSOURI, ZONING ORDINANCES, UNLESS OTHERWISE SPECIFIED.
 4. VERIFY ALL DIMENSIONS AND ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF KANSAS CITY, MISSOURI, ORDINANCES AND REGULATIONS, AND THE KANSAS CITY, MISSOURI, ZONING ORDINANCES, UNLESS OTHERWISE SPECIFIED.
 5. VERIFY ACCESSIBLE JARTS SHALL MEET THE REQUIREMENTS OF 2010 ADA COMPLIANCE.
 6. COORDINATE UTILITIES TO BE USED TO DETERMINE APPROPRIATE PLACEMENT AND DEPTH OF UTILITIES.
 7. ALL UTILITIES SHALL BE PROTECTED TO REMAIN ACCESSIBLE. PROTECT ALL UTILITIES AND RECORD THEM ON THE PROJECT SITE. PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO UTILITIES FROM EXCAVATION OR OTHER CONSTRUCTION ACTIVITIES.

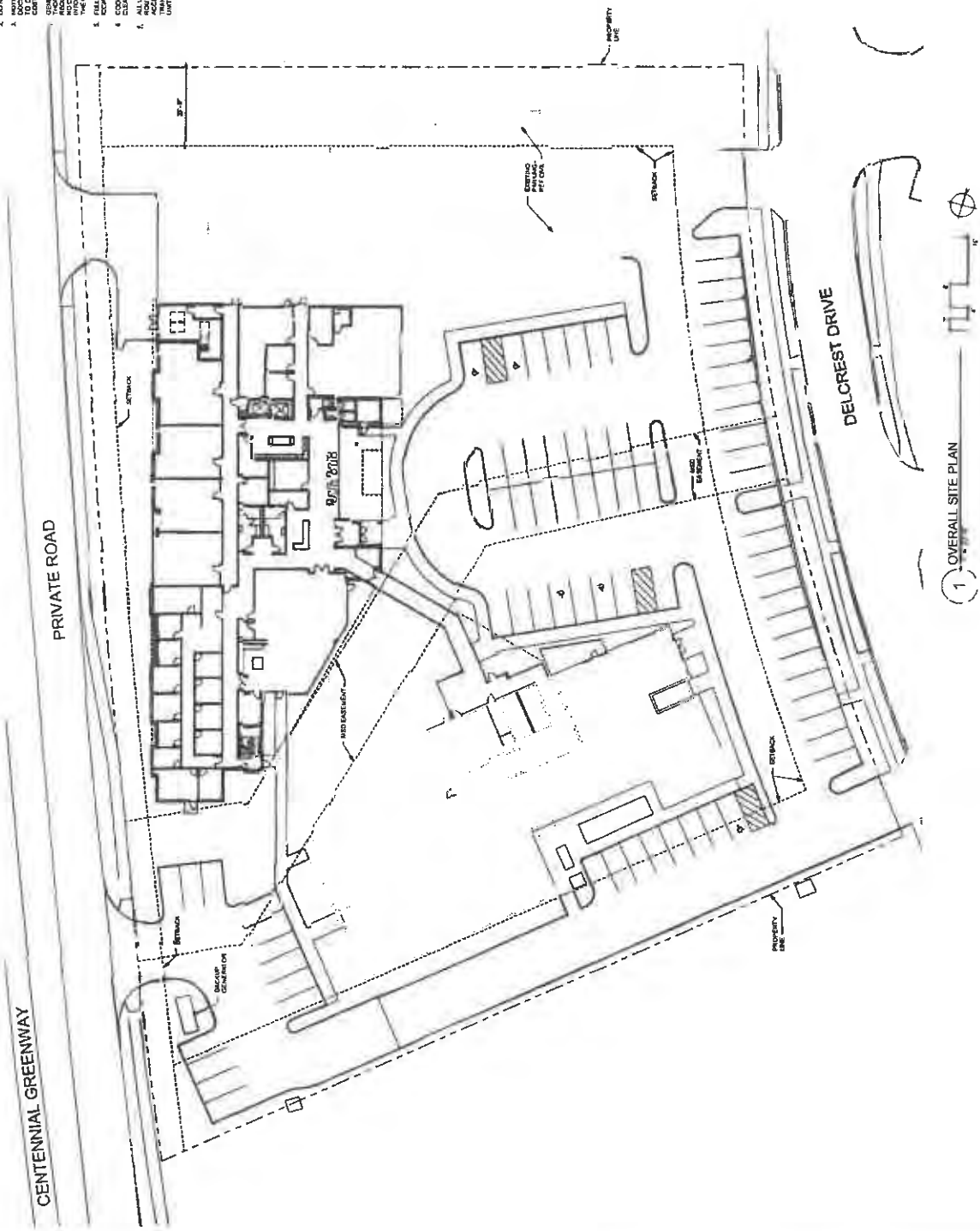
ARCHITECT'S REVIEW
 CONSTRUCTION DOCUMENT MAY BE USED
 FOR CONSTRUCTION

**ROSEMAN
 & ASSOCIATES PC**
 ARCHITECTURE
 INTERIOR DESIGN
 10877 Maplehurst Avenue, Ste 200
 Overland Park, MO 66209
 P: 913 878 1440
 F: 913 878 1440
 2020 Independence & Associates, P.C.
 2020 Independence & Associates, P.C.
 2020 Independence & Associates, P.C.

CROWN CENTER SENIOR -
 PHASE I
 UNIVERSITY CITY, MO

SHEET TITLE
 ARCHITECTURE PLAN
 PROJECT NUMBER
 SHEET NUMBER

AS-100



1 OVERALL SITE PLAN

SHEET NUMBER: 08-1A-0225
 DATE: 11/01/2005
 PROJECT: CROWN CENTER SENIOR PHASE I & 2
 DRAWING NUMBER: 081102251

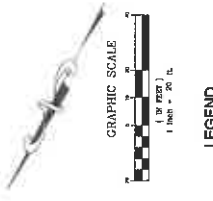
CEDC
 CIVIL ENGINEERING
 10500 Strickland Office Drive
 Suite 200
 Raleigh, NC 27617
 WWW.CEDCONLINE.COM



CROWN CENTER SENIOR - PHASE I & 2

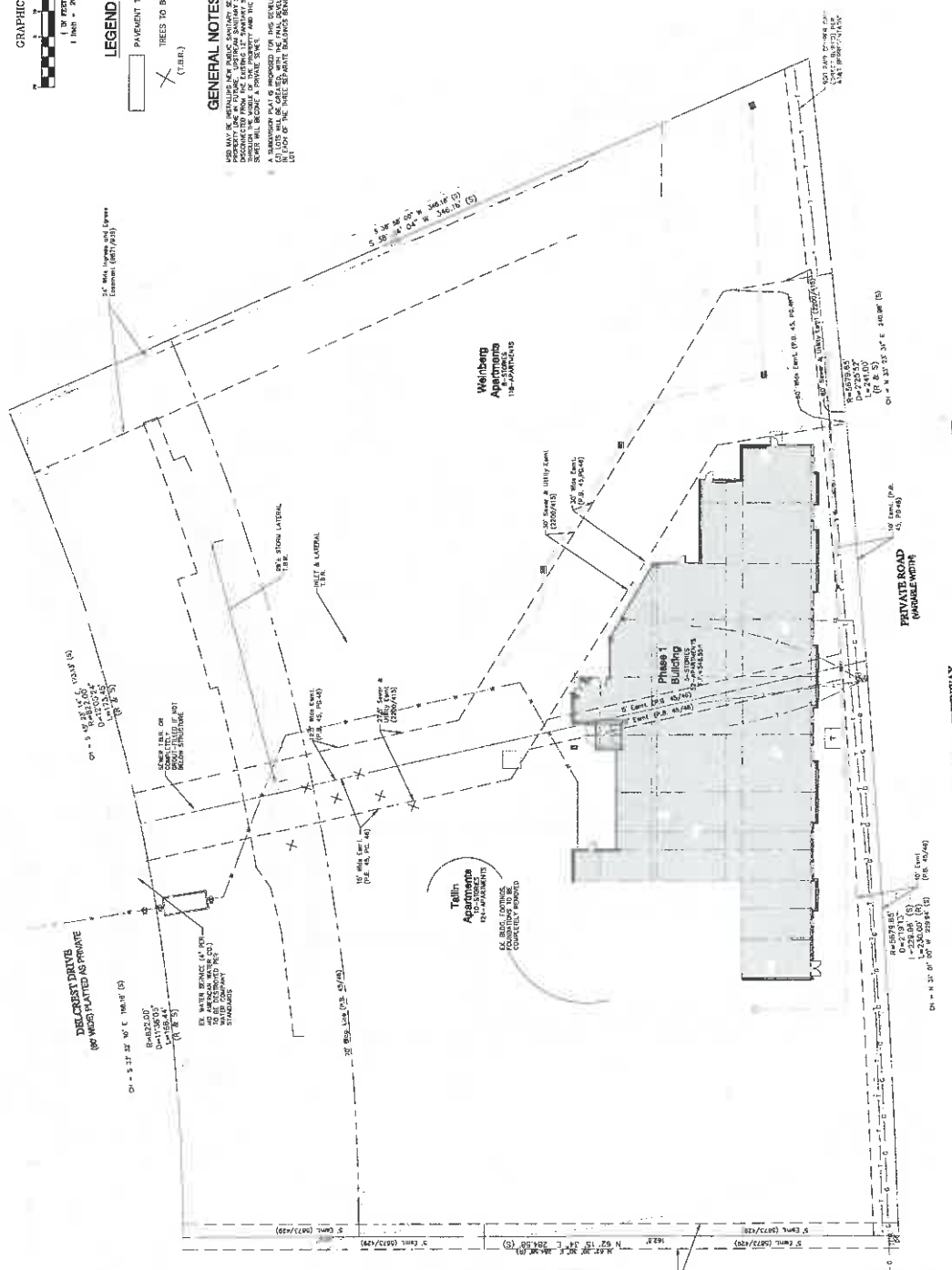
UNIVERSITY CITY, MO

SHEET NUMBER: C3.1
 SHEET TITLE: SHEET DRAFTING CONDITIONS AND FACILITIES REMOVAL
 PROJECT NUMBER: 081102251



LEGEND
 [Symbol] PAVEMENT TO BE REMOVED
 [Symbol] TREES TO BE REMOVED (TERR)

GENERAL NOTES
 1. USE MAY BE MADE FOR THIS DRAWING FOR THE PROJECT AND FOR THE PROPERTY LINE OR FOR THE LOCATION OF THE PROPERTY LINE. THE PROPERTY LINE SHALL BE DETERMINED BY THE SURVEYOR AND THE ENGINEER'S SIGNATURE SHALL BE REQUIRED TO VERIFY THE LOCATION OF THE PROPERTY LINE.
 2. A SURVEYOR'S PLAN IS REQUIRED FOR THIS DRAWING. THE SURVEYOR'S PLAN SHALL BE FILED WITH THE FINAL DEVELOPMENT PLAN. THE SURVEYOR'S PLAN SHALL BE FILED WITH THE FINAL DEVELOPMENT PLAN. THE SURVEYOR'S PLAN SHALL BE FILED WITH THE FINAL DEVELOPMENT PLAN.



MBD NO.: 20480-0021
 MBD BASE MAP: 18C1

PRINTED SCALE: 1/4" = 10' (1/8" = 20' S.)
 DATE: 04/14/2023
 PROJECT NO.: 2018SD-0023
 SHEET NO.: C5.1
 PROJECT NAME: CROWN CENTER SENIOR - PHASE 1B
 PROJECT NUMBER: C5.1-02

CEDC
 CIVIL ENGINEERING
 DESIGN CONSULTANTS
 10930 Sunset Office Drive
 Suite 200
 Kansas City, MO 64127
 Phone: 816.451.1000
 Fax: 816.451.1004
 www.cedc.com



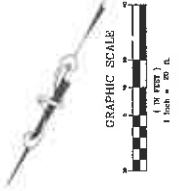
PAUL J. SMITH
 CIVIL ENGINEER, P.E., STATE OF MISSOURI
 LICENSE NO. 202204874

CROWN CENTER SENIOR - PHASE 1 & 2
UNIVERSITY CITY, MO

SHEET TITLE: SITE GEOMETRY AND UTILITY PLAN - PHASE 1B
 PROJECT NUMBER: C5.1-02
 SHEET NUMBER:

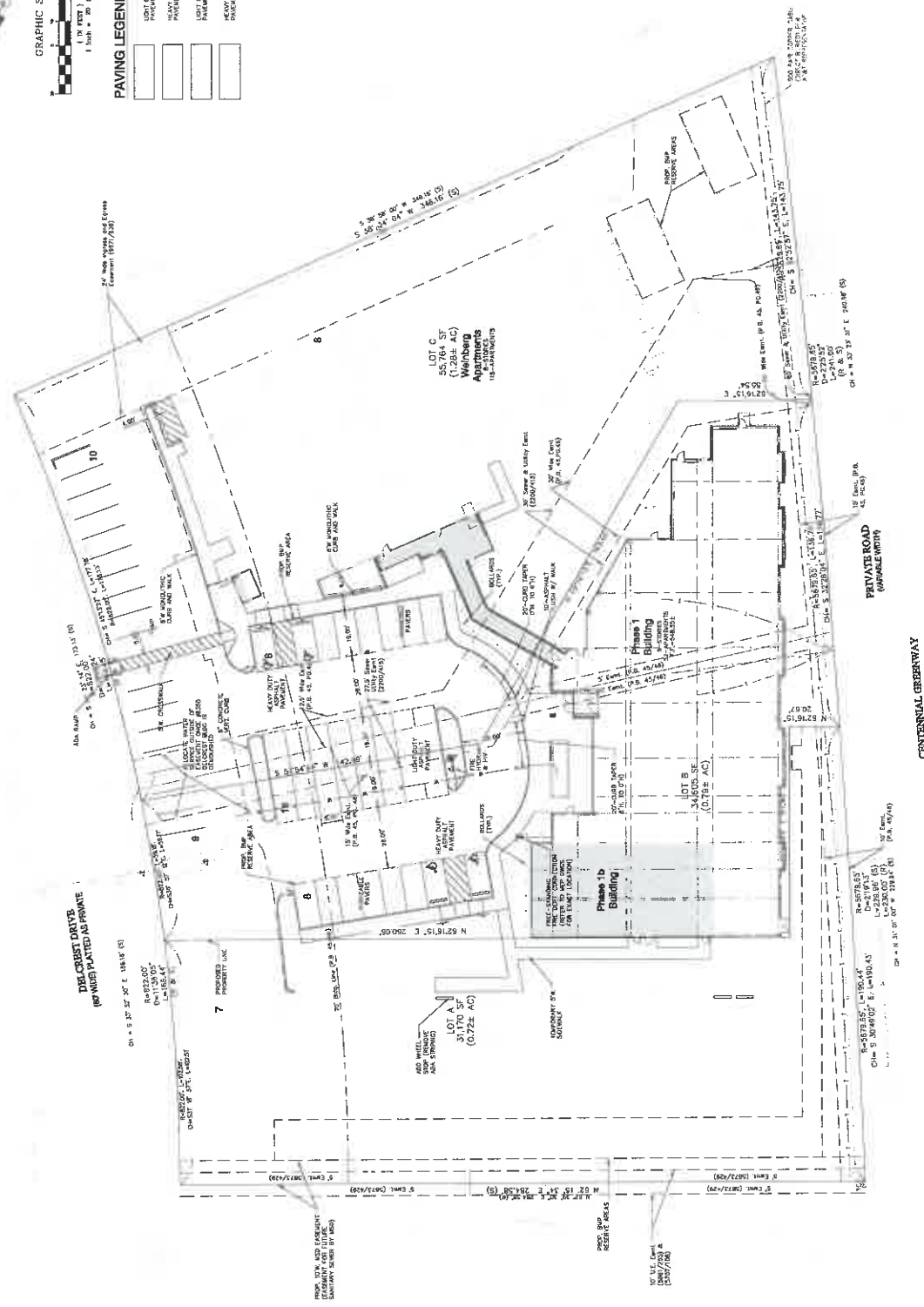
C5.1

MSD NO.: 2018SD-0023
 MSD BASE MAP: 18K1



PAVING LEGEND

[Symbol]	RESERVE ASPHALT
[Symbol]	RESERVE ASPHALT
[Symbol]	RESERVE ASPHALT
[Symbol]	RESERVE ASPHALT
[Symbol]	RESERVE ASPHALT



CENTENNIAL GREENWAY

PRIVATE ROAD (GARAGE WAY)

RESERVE ASPHALT

RESERVE ASPHALT

RESERVE ASPHALT

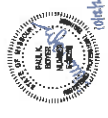
RESERVE ASPHALT

RESERVE ASPHALT

RESERVE ASPHALT

PROJECT: BARRACK
 SHEET NO.: 08-10000
 DATE: 08/10/2000
 DRAWN BY: [Name]

CEFCO
 CIVIL ENGINEERING
 DESIGN CONSULTANTS
 10808 Oldhouse Office Drive
 Suite 200
 Rockville, Maryland 20850
 Phone: 301.725.1400
 Fax: 301.725.1404



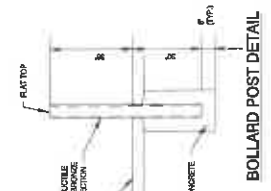
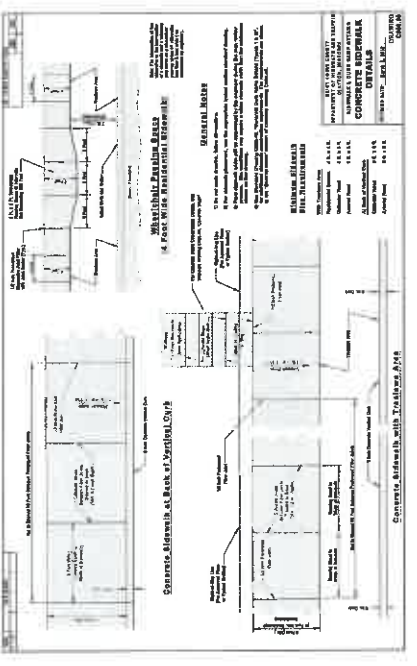
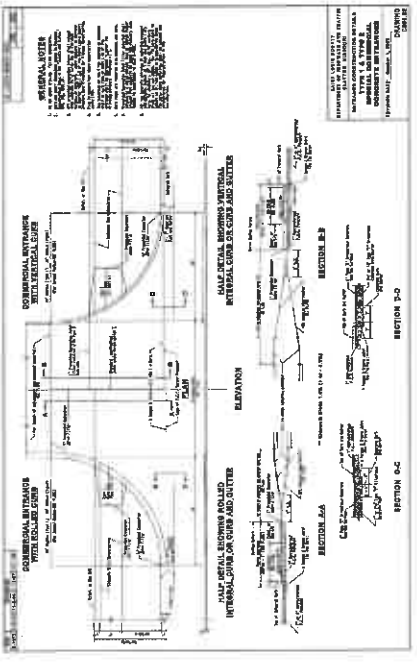
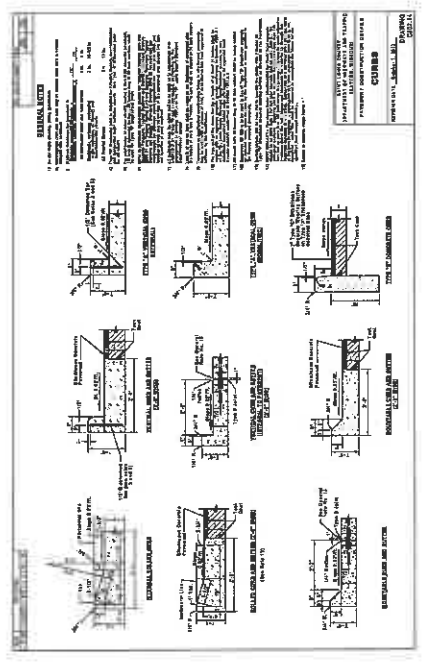
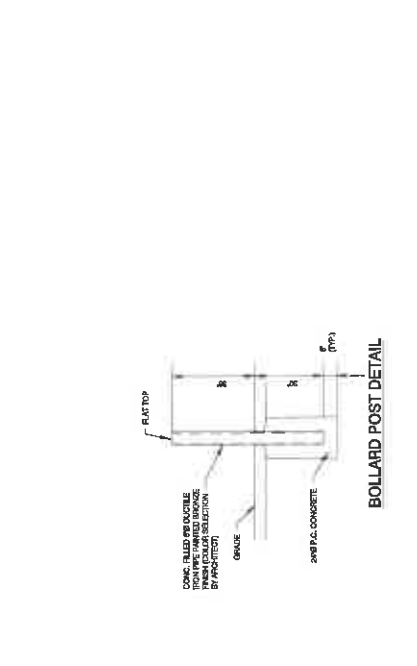
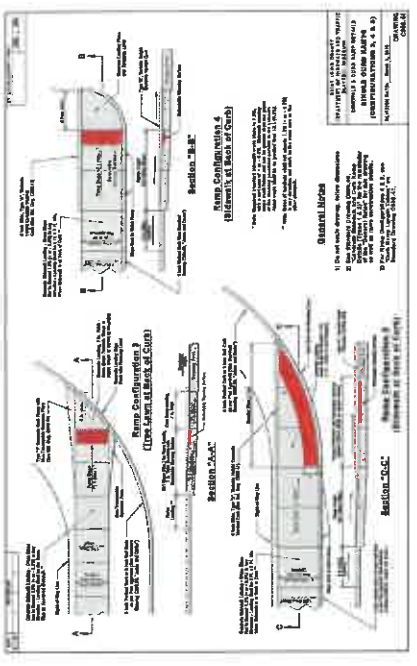
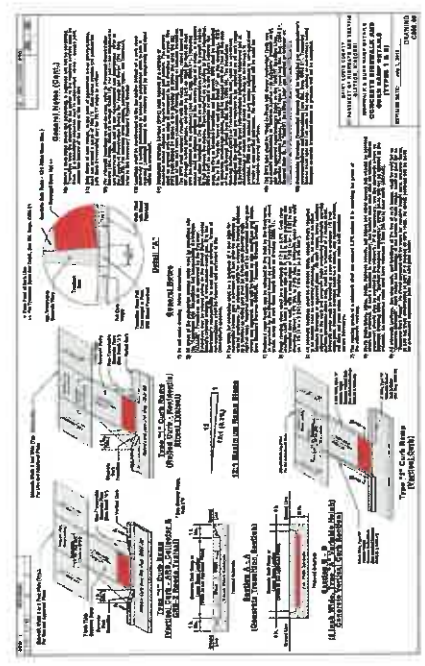
DATE: 08/10/2000
 PROJECT: BARRACK
 SHEET NO.: 08-10000

**CROWN CENTER SENIOR -
 PHASE I & 2
 UNIVERSITY CITY, MO**

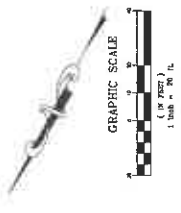
SHEET TITLE: SITE DETAILS
 PROJECT NUMBER: CDC-008
 SHEET NUMBER:

C8.1

DATE: 08/10/2000
 PROJECT: BARRACK
 SHEET NO.: 08-10000



DATE REVISED: 04/14/2020
 DRAWN BY: P. J. B. / J. B. / J. B.
 CHECKED BY: J. B. / J. B. / J. B.
 PROJECT NUMBER: 11000000



DIFFERENTIAL RUNOFF BASED ON DISTURBED AREA
 CONTROL: DISTURBED AREAS TO BE COMPARED TO UNDISTURBED AREAS

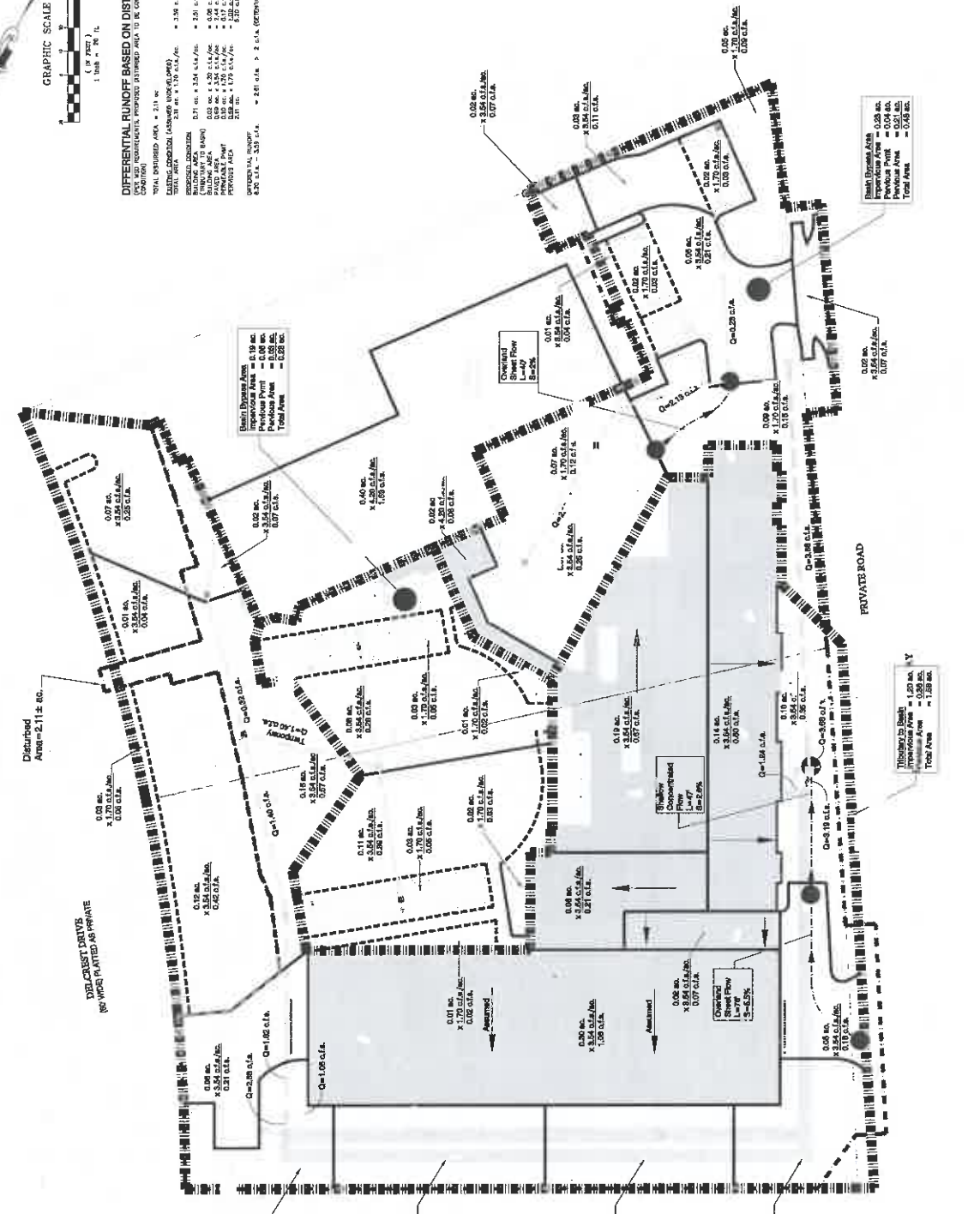
TOTAL DISTURBED AREA = 211 sq. ft.
 UNDISTURBED AREA = 1,100 sq. ft.
 TOTAL AREA = 1,311 sq. ft.

EXISTING CONDITIONS (ASSUMED UNDISTURBED AREAS):
 2.00 sq. ft. x 0.01 c.f.a. = 0.02 c.f.a.
 2.00 sq. ft. x 0.02 c.f.a. = 0.04 c.f.a.
 2.00 sq. ft. x 0.03 c.f.a. = 0.06 c.f.a.
 2.00 sq. ft. x 0.04 c.f.a. = 0.08 c.f.a.
 2.00 sq. ft. x 0.05 c.f.a. = 0.10 c.f.a.
 2.00 sq. ft. x 0.06 c.f.a. = 0.12 c.f.a.
 2.00 sq. ft. x 0.07 c.f.a. = 0.14 c.f.a.
 2.00 sq. ft. x 0.08 c.f.a. = 0.16 c.f.a.
 2.00 sq. ft. x 0.09 c.f.a. = 0.18 c.f.a.
 2.00 sq. ft. x 0.10 c.f.a. = 0.20 c.f.a.

APPROXIMATE RUNOFF:
 0.02 c.f.a. = 0.02 c.f.a.
 0.04 c.f.a. = 0.04 c.f.a.
 0.06 c.f.a. = 0.06 c.f.a.
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 0.16 c.f.a. = 0.16 c.f.a.
 0.18 c.f.a. = 0.18 c.f.a.
 0.20 c.f.a. = 0.20 c.f.a.

Basin Drainage Area
 Previous Permit = 0.19 ac.
 Proposed Permit = 0.08 ac.
 Total Area = 0.27 ac.

Basin Drainage Area
 Previous Permit = 0.08 ac.
 Proposed Permit = 0.08 ac.
 Total Area = 0.16 ac.



CROWN CENTER SENIOR - PHASE I & 2
 UNIVERSITY CITY, MO

SHEET TITLE: PROPOSED DRAINAGE AREA PLAN
 PROJECT NUMBER: CDD0000
 SHEET NUMBER:

C9
 DRAWN BY: CDD0000

MSD NO.: 201510-0021
 MSD BASE MAP: 18K1

PERMEABLE PAVERS NOTES

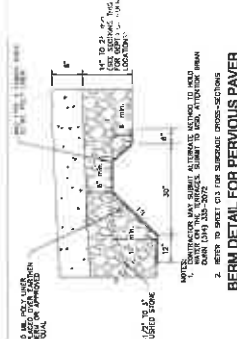
1. This drawing is intended to provide the contractor with the information necessary to construct the permeable paver system. The contractor shall verify the information provided herein and shall be responsible for any omissions or errors. The contractor shall be responsible for any omissions or errors. The contractor shall be responsible for any omissions or errors.
2. The contractor shall be responsible for any omissions or errors. The contractor shall be responsible for any omissions or errors. The contractor shall be responsible for any omissions or errors.
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20. The contractor shall be responsible for any omissions or errors. The contractor shall be responsible for any omissions or errors. The contractor shall be responsible for any omissions or errors.

CONSTRUCTION SITE RUNOFF NOTE

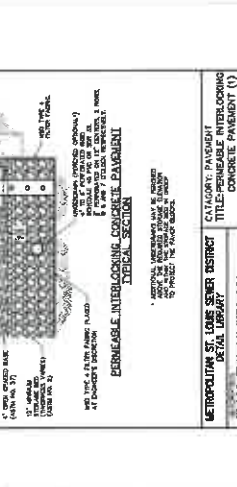
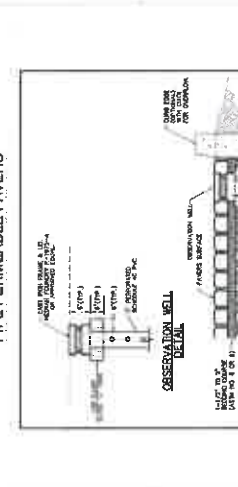
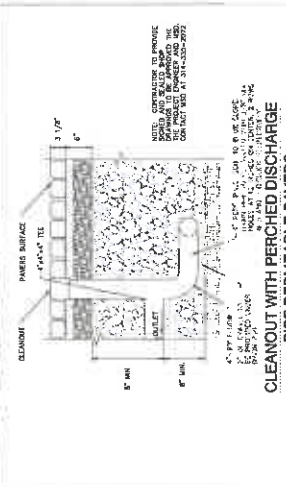
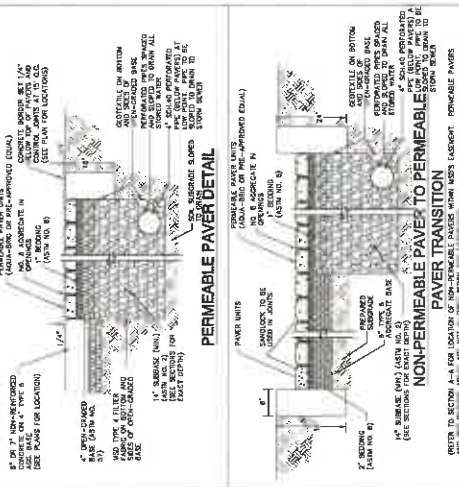
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SHOP DRAWINGS FOR BMPs

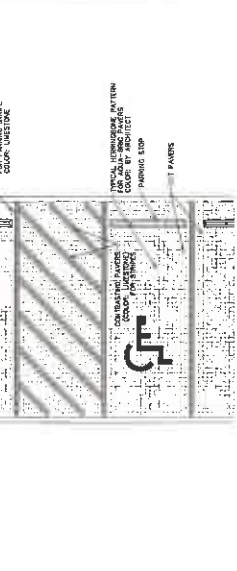
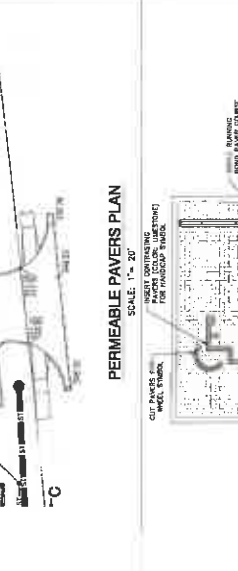
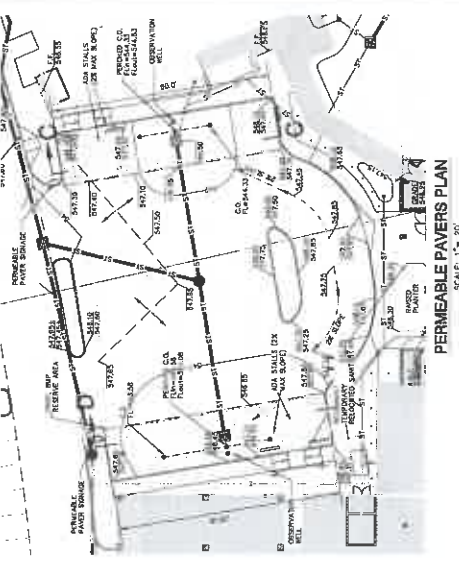
The contractor shall be responsible for any omissions or errors. The contractor shall be responsible for any omissions or errors. The contractor shall be responsible for any omissions or errors.



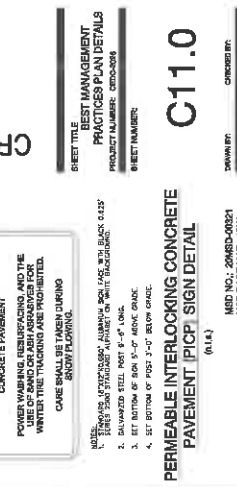
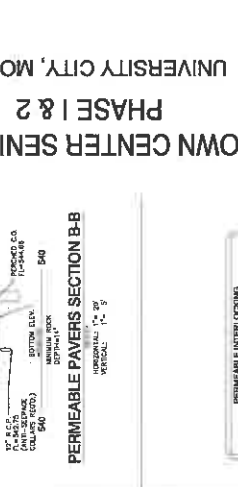
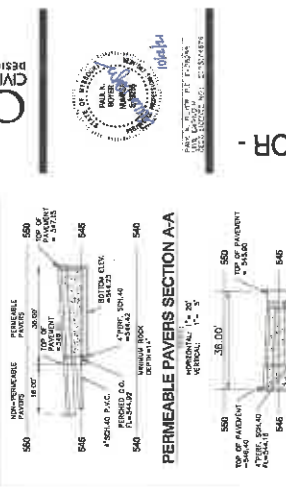
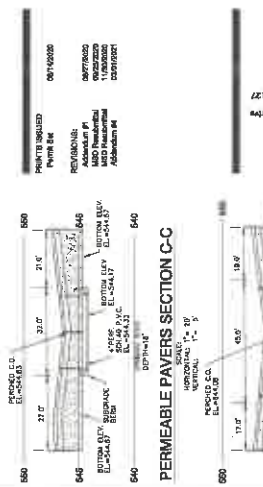
BERM DETAIL FOR PERVIOUS PAVEMENT SUBGRADE SECTION



CLEANOUT WITH PERCHED DISCHARGE PIPE PERMEABLE PAVERS



PERMEABLE PAVERS PLAN

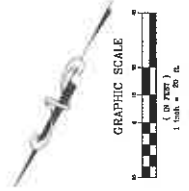


PERMEABLE INTERLOCKING CONCRETE PAVEMENT (PICP) SIGN DETAIL

EROSION CONTROL LEGEND

FINAL	CONSTRUCTION ENTRANCE	CONSTRUCTION PARKING	PARK LOOP
CONSTRUCTION ENTRANCE	SETBACK	CONSTRUCTION PARKING	PARK LOOP
CONSTRUCTION ENTRANCE	SETBACK	CONSTRUCTION PARKING	PARK LOOP

PROJECT SHEET
 Permit No. 08140220
 REVISIONS:



GENERAL NOTES

- CONSTRUCTION PARKING AREAS, MATERIAL LAYDOWN, WARD, AND WASHDOWN AREAS SHALL BE CONSTRUCTED TO A MINIMUM FINISH ELEVATION OF 2" ABOVE THE FINISH GRADE ELEVATION.

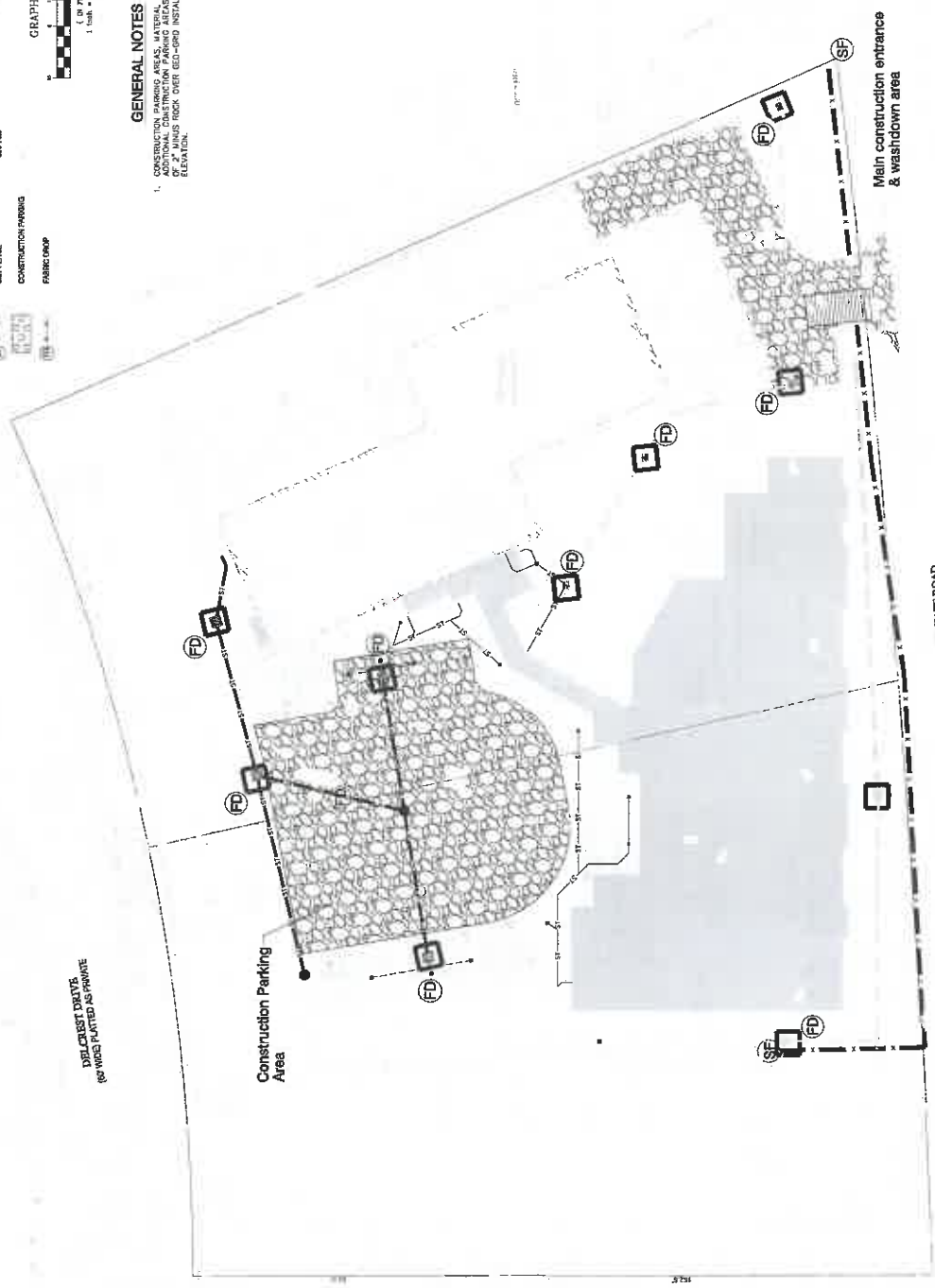
CEDC
 CIVIL ENGINEERING
 DESIGN CONSULTANTS
 10920 Skowron Office Drive
 Suite 200
 Kansas City, Missouri 64127
 Phone: 816-452-4040
 Fax: 816-452-1500
 www.cedc.com



CROWN CENTER SENIOR - PHASE I & 2
 UNIVERSITY CITY, MO

SHEET TITLE
STORMWATER POLLUTION PREVENTION PLAN - PHASE 1
 PROJECT NUMBER: C12.0008
 SHEET NUMBER:

C12.0
 DRAWN BY:
 CHECKED BY:
 MSD NO.: 2016SC-0021
 MSD BASE MAP: 18K1



EROSION CONTROL LEGEND

	EROSION CONTROL
	CONSTRUCTION ENTRANCE
	ALTITUDE
	CONSTRUCTION PAVING
	PROPOSED DRIVE

PROJECT NO. 08-100209
 DATE: 08/14/2009
 DRAWING NO. 11/000000



GENERAL NOTES

- 1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS MO. ORDINANCE 104.04.01.
- 2. ADDITIONAL CONSTRUCTION SHALL BE REQUIRED TO PROVIDE 2" UNIFORM ROCK OVER C&G-200 INSTALLED TO SUBGRADE ELEVATION.

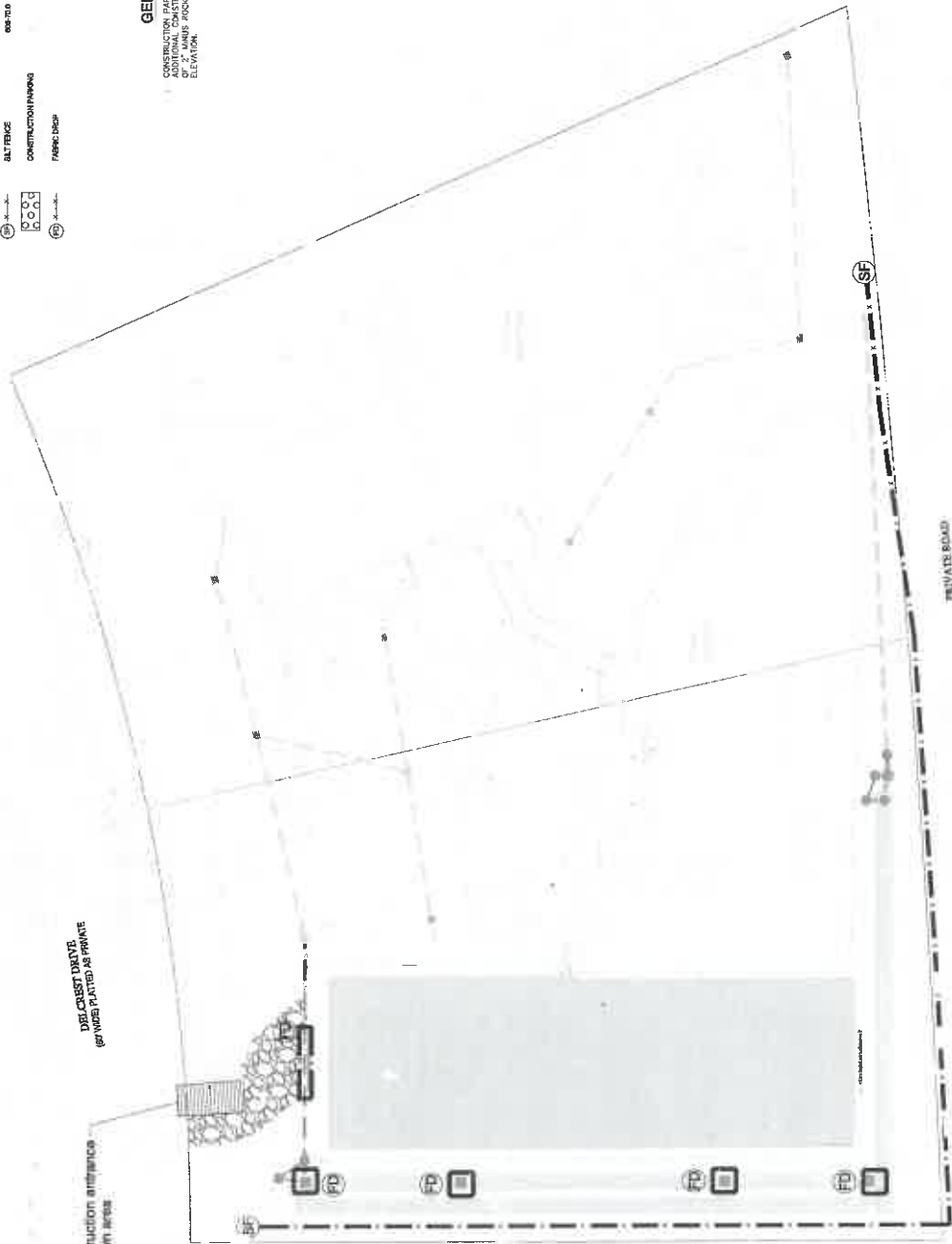
CEDC
 CIVIL ENGINEERING
 DESIGN CONSULTANTS
 10900 Delmar Office Drive
 Suite 200
 Delmar, Missouri 63170
 Phone: 636.723.1400
 Fax: 636.723.1404
 www.cedc.com

MISSOURI REGISTERED PROFESSIONAL ENGINEER
 STATE OF MISSOURI
 CIVIL ENGINEERING
 No. 000000000
 EXPIRES: 08/31/2014
 CE: LICENSE NO. 000000000

CROWN CENTER SENIOR - PHASE I & 2
 UNIVERSITY CITY, MO

HEET TITLE: CROWN CENTER SENIOR - PHASE I & 2
 SHEET NUMBER: C12.1

MSD NO.: 200830-0002
 MSD BASE MAP: 18M1



CROWN CENTER SENIOR LIVING - PHASE I

St. Louis, MO

MHDC # 19-087 T-MO

PROJECT CERTIFICATION

I, **Jamir Crockett**, hereby certify pursuant to the governing requirements of the laws, that the documents provided to the undersigned by my firm are true and correct.

G-001 A-100 A-101 A-102 A-103 A-104
 G-002 A-105 A-106 A-107 A-108 A-109
 G-003 A-110 A-111 A-112 A-113 A-114
 G-004 A-115 A-116 A-117 A-118 A-119
 G-005 A-120 A-121 A-122 A-123 A-124
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 G-039 A-290 A-291 A-292 A-293 A-294
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 G-041 A-300 A-301 A-302 A-303 A-304
 G-042 A-305 A-306 A-307 A-308 A-309
 G-043 A-310 A-311 A-312 A-313 A-314
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 G-045 A-320 A-321 A-322 A-323 A-324
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 G-050 A-345 A-346 A-347 A-348 A-349
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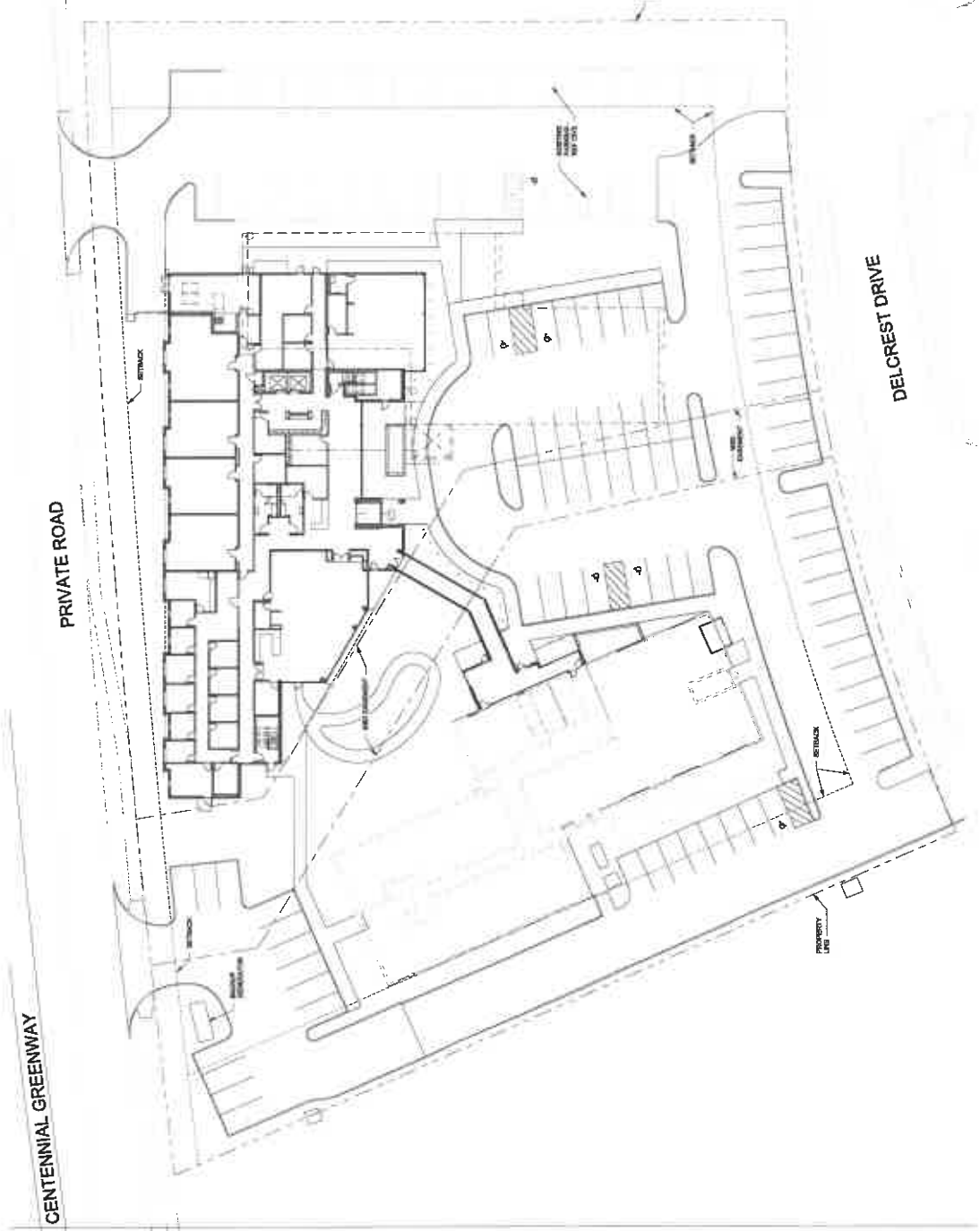
PROJECT NUMBER: 1000
 SHEET TITLE: ASHITES PLAN
 PROJECT NUMBER: 1000
 SHEET NUMBER: AS-100

ARCHITECTURAL SITE PLAN GENERAL NOTES
 1. ARCHITECTURAL SITE PLAN WITH GENERAL INFORMATION AND DIMENSIONS. DIMENSIONS ARE TO BE VERIFIED BY THE CONTRACTOR. DIMENSIONS SHALL BE TO THE CENTERLINE OF THE CURB UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE TO THE CENTERLINE OF THE CURB UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE TO THE CENTERLINE OF THE CURB UNLESS OTHERWISE NOTED.
 2. DO NOT SCALE DRAWING.
 3. VERIFY ALL DIMENSIONS OF ANY DISCREPANCIES BETWEEN PROJECT INFORMATION AND THIS DRAWING. NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES. DIMENSIONS SHALL BE TO THE CENTERLINE OF THE CURB UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE TO THE CENTERLINE OF THE CURB UNLESS OTHERWISE NOTED.
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118 N. MARSHFIELD AVENUE, SUITE 200
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 INTERIOR DESIGN
 PLANNING
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CROWN CENTER SENIOR LIVING - PHASE I
 8350 DELCREST DRIVE
 ST. LOUIS, MO 63124



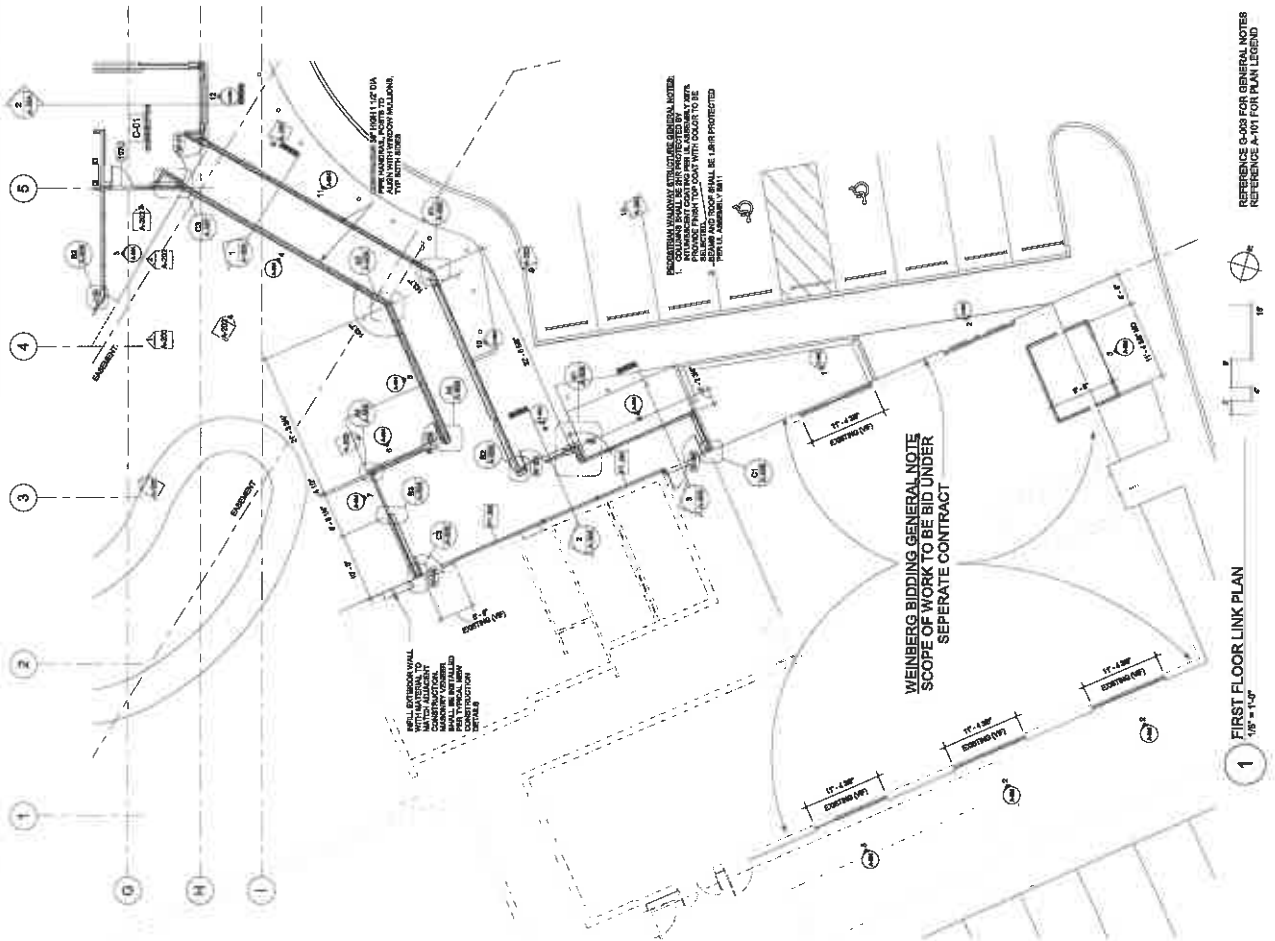
1 OVERALL SITE PLAN
 1" = 20'-0"

PROJECT NUMBER: 1008
 PROJECT NAME: CROWN CENTER SENIOR LIVING - PHASE I
 PROJECT ADDRESS: 8350 DELCREST DRIVE, ST. LOUIS, MO 63124
 PROJECT DATE: AUGUST 14, 2020

rosemann & associates
 ARCHITECTURE
 INTERIOR DESIGN
 PLANNING
 128 N. MARSHALL AVENUE, SUITE 200
 CHICAGO, ILLINOIS 60610
 TEL: 312.487.8148
 WWW.ROSEMANNA.COM
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 DESIGNER: KANSAS CITY & ST. LOUIS & ATLANTA

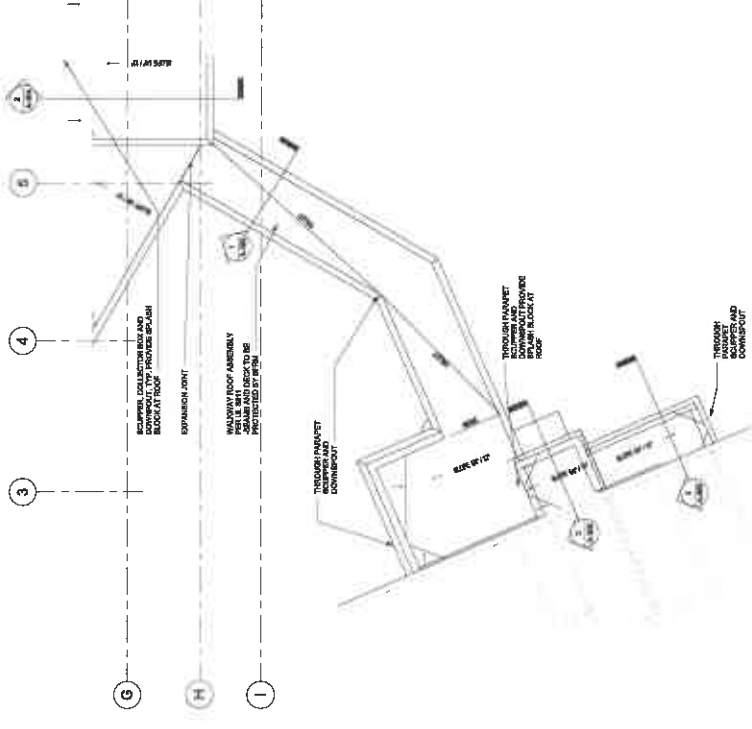
CROWN CENTER SENIOR LIVING - PHASE I
 8350 DELCREST DRIVE
 ST. LOUIS, MO 63124

SHEET TITLE: LINK FLOOR AND ROOF PLAN
 PROJECT NUMBER: 1008
 SHEET NUMBER: A-104



REFERENCE 9-088 FOR GENERAL NOTES
 REFERENCE 4-101 FOR PLAN LEGEND

1 FIRST FLOOR LINK PLAN
 1/8" = 1'-0"



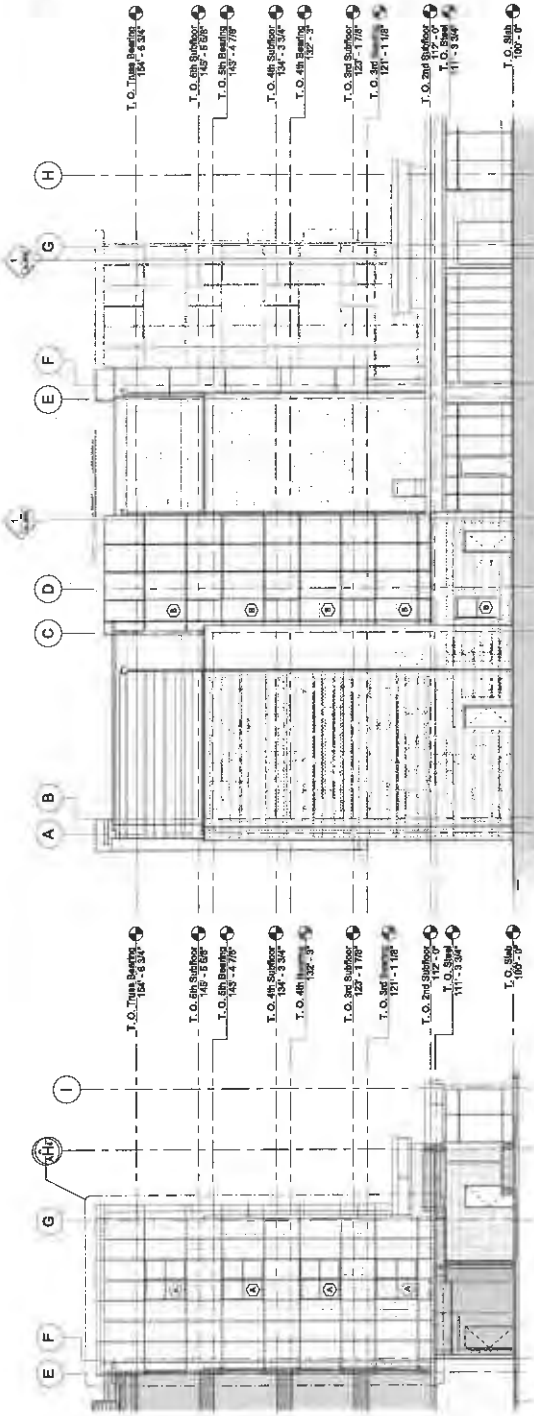
2 LINK ROOF PLAN
 1/8" = 1'-0"

- SUPPLEMENTAL ROOF PLAN GENERAL NOTES:
1. PROVIDE CRICKETS ON HIGH SIDE OF ALL ROOF TOP EQUIPMENT AS REQUIRED TO DIVERGENT WATER.
 2. PROVIDE 2" MINIMUM OVERLAP OF ALL INSULATION OVER ROOF DECK. ADHERED R-8 MINIMUM RIGID INSULATION WITH TAPERED INSULATION TO DECK (SLOPE AS INDICATED), ADHERED COVERBOARD AND FULLY ADHERED ROOF ASSEMBLY FOR 2ND FLOOR LINK. OVER METAL DECK: ADHERED R-8 MINIMUM RIGID INSULATION WITH TAPERED INSULATION (SLOPE AS INDICATED), ADHERED COVERBOARD AND FULLY ADHERED MEMBRANE.

REFERENCE 9-003 FOR GENERAL NOTES

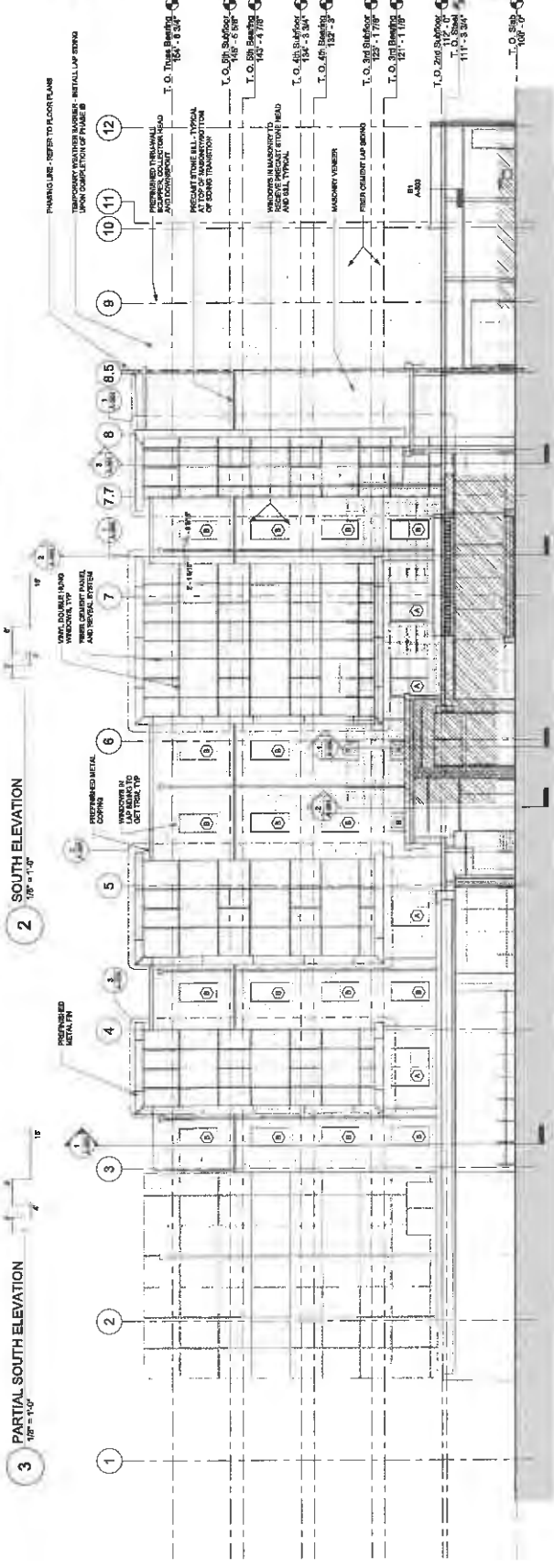
MATERIAL LEGEND

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3 PARTIAL SOUTH ELEVATION
1/8" = 1'-0"

2 SOUTH ELEVATION
1/8" = 1'-0"



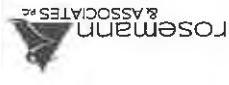
1 EAST ELEVATION
1/8" = 1'-0"

CROWN CENTER SENIOR LIVING - PHASE I
8350 DELCREST DRIVE
ST. LOUIS, MO 63124

SHEET TITLE
EAST ELEVATIONS
PROJECT NUMBER: 1008
SHEET NUMBER

A-200

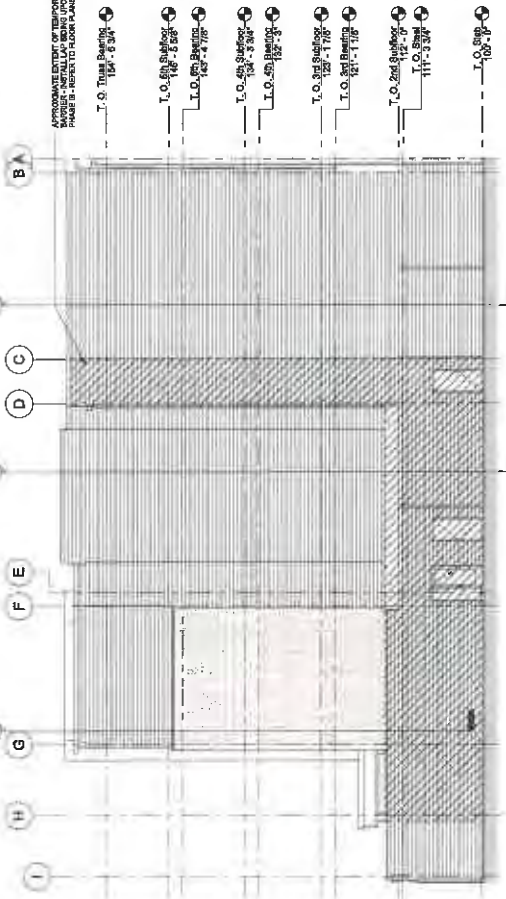
168 N. Meramec Avenue, Box 200
Architectural
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Interior Design
PL 04-0775 3-848
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GENERAL CONTRACTOR
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REFERENCE G-100 FOR GENERAL NOTES
 REFERENCE H-200 FOR MATERIAL LEGEND

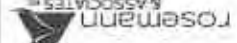
PRINTS ISSUED
 PERMIT SET - AUGUST 14, 2020
 REVISIONS

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2 NORTH ELEVATION
 1/8" = 1'-0"

188 N. MERRIMAN AVENUE, 5th FLOOR
 ST. LOUIS, MO 63105
 ARCHITECTURE
 INTERIOR DESIGN
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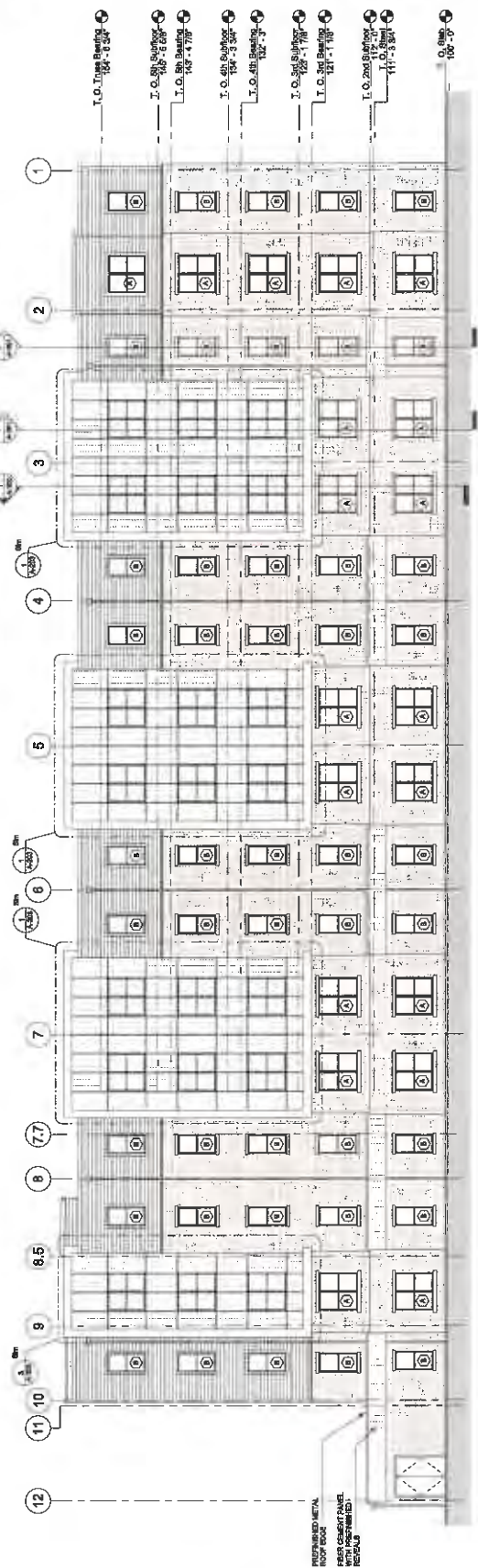


ROSEMAN & ASSOCIATES
 ENGINEERS & ARCHITECTS
 ST. LOUIS, MISSOURI

CROWN CENTER SENIOR
 LIVING - PHASE I
 8350 DELCREST DRIVE
 ST. LOUIS, MO 63124

SHEET TITLE
 ELEVATION ELEVATIONS
 PROJECT NUMBER: 1009
 SHEET NUMBER: A-201

A-201



1 WEST ELEVATION
 1/8" = 1'-0"

PROPOSED METAL
 ROOF PANELS
 FLOOR CURB PANELS
 NOT SHOWN

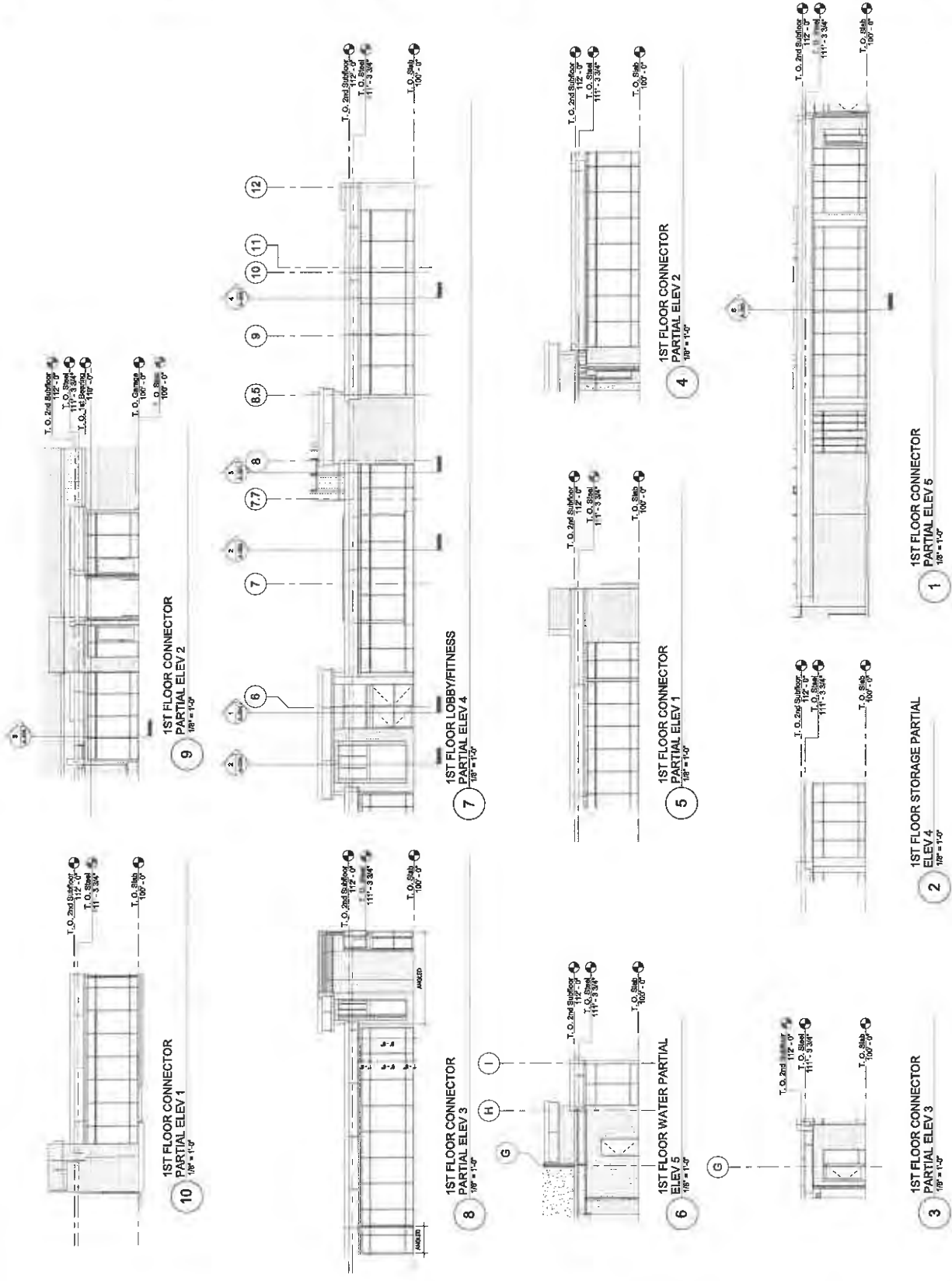
PROJECT NO. A080817-14-002
 REVISIONS:
 1. 08/27/14
 2. 09/02/14

rosemann & associates pc
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**CROWN CENTER SENIOR
 LIVING - PHASE I**
 8350 DELCREST DRIVE
 ST. LOUIS, MO 63124

REVISED
 ELEVATION
 PROJECT NUMBER: 1008
 SHEET NUMBER:

A-202





Plan Commission

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 862-6767, Fax: (314) 862-3168

October 28, 2021

Ms. LaRette Reese
City Clerk
City of University City
6801 Delmar Boulevard
University City, MO 63130

RE: New Final Development Plan Approval – (PC 21-02)

Dear Ms. Reese,

At a scheduled meeting on October 27, 2021 at 6:30 pm via videoconference, the Plan Commission considered the application by Crown Center Senior Living to approve the Second Amended Final Development Plan for the parcels located at 8348 – 8350 Delcrest Drive.

By a vote of 5 to 0, the Plan Commission recommended approval of said amendments to the Final Development Plan.

Sincerely,

Margaret Holly, Chairperson
University City Plan Commission



Department of Planning and Development

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 505-8500, Fax: (314) 862-3168

STAFF REPORT
(City Council)

MEETING DATE: November 8, 2021

FILE NUMBER: PC 21-02

COUNCIL DISTRICT: 1

Location: 8348-8350 Delcrest Drive

Applicant: Douglas McElvain with Rosemann and Associates on behalf of Council Apartments, LLC (property owner)

Property Owner: Council Apartments, LLC

Request: 1) Second Amended Final Development Plan Approval

Existing Zoning: PD-M – Planned Development – Mixed Use
Existing Land Use: Senior living facility (multi-family residential) with associated offices and accessory uses

Proposed Zoning: PD-R – Planned Development – Residential
Proposed Land Use: No change

Surrounding Zoning and Current Land Use:

North: CC: Core Commercial
 East: CC: Core Commercial
 South: HRO: High Density Residential/Office
 West: CC: Core Commercial

COMPREHENSIVE PLAN CONFORMANCE

Yes No No reference

PLAN COMMISSION RECOMMENDATION

Approval Approval with Conditions Denial

ATTACHMENTS:

- A. Application Packet

Existing Property

The proposed development is located at 8348/8350 Delcrest Drive. The two (2) parcels were recently subdivided into three (3) parcels that total 2.76 acres. The subject property is located on the west side of Delcrest Drive, approximately 350 feet south of Delmar Boulevard. The subject property currently consists of two buildings. The northern building, ("Tallin Building") is a 126-unit multifamily affordable housing complex constructed in the mid 1960s. It is 10 stories in height. The southern building was constructed in 1995 and is 8 stories in height.

The buildings are currently used as a multi-family residential facility for senior living. The complex also includes accessory uses such as a cafeteria, fitness facility, gardening areas, offices associated with the operation of the facility, and other activity areas and meeting rooms.

Off-street parking is provided to the north, west, and south of the buildings including 134 total parking spaces. Access to the subject property from Delcrest Drive is currently provided by two curb cuts, located at the north and south ends of the off-street parking areas.

Background

Conditional Use Permit (1991) – The subject property is currently operating under a Conditional Use Permit that was approved in 1991 to allow for the construction of the southern building to be integrated with the existing building to the north and that the facility would operate as a senior living facility. The original proposal was for 262 units with a floor area ratios of 1.45 and 124 off-street parking spaces. However, the development was completed with 244 units and a floor area ratio of 1.34

Zoning Variance (2013) – A variance to allow a reduction in the width of the required landscape buffer between the proposed parking and public right-of-way along Delcrest Drive was granted by the Board of Adjustment on October 21, 2013. The variance was approved to allow a five-foot landscape buffer in lieu of the ten feet required per the Zoning Code.

PD-M – Planned Development Mixed Use (2014) – The property was re-zoned from HRO – Hight Density Residential/Office District to PD-M in 2014. Planned Development Districts are attached to a parcel and may only be development in accordance with an approved development plan.

Preliminary Development Plan Approval (2014) – A preliminary development plan was approved by the City Council limiting the permitted use to a multi-family residential development for senior living with associated accessory uses including, but not limited to offices related to the operation of the facility, a café and dining area, a demonstration kitchen, a fitness are, and an outdoor gardening area which may be open to the public. The total number of residential units approved was not to exceed 244 and a minimum of 134 off-street parking spaces were to be maintained.

Final Development Plan Approval (2014) – A final development plan was approved in 2014.

Amended Final Development Plan Approval (2017) – The final development plan was amended in 2017.

Extension Request #1 Approved (2019) – The City Council granted a one-year extension to the previously approved Amended Final Development Plan. The extension was requested and granted with no proposed changes or alterations to the previously approved plan.

Extension Request #2 Approved (2020) – The City Council granted a second one-year extension to the previously approved Amended Final Development Plan. The extension was requested and granted with no proposed changes or alterations to the previously approved plan.

Public Easement Vacation (2021) – The City Council vacated and surrendered the public easement west of Delcrest Drive, East of a Private Road platted as St. Louis Belt & Terminal Railroad right-of-way and extending northeastward 123.22 feet from said Private Road.

Major Subdivision of 2 Parcels into 3 Parcels (2021) – The City Council approved the subdivision of the two (2) parcels located at 8348 – 8350 Delcrest Drive into three (3) parcels.

Applicant's Request

The applicant's second extension expired on October 9, 2021. Applicant, by and through David S. Lang of Rosenblum Goldenhersh requested a third one-year extension on September 23, 2021. Staff recommended against another extension for two reasons: 1) ambiguity as to whether the code allows for multiple one-year extensions and 2) due to major changes that have occurred, the current plan no longer resembles the Amended Final Development Plan that was approved in 2017.

Section 400.900(C) states that "At such time as the period of validity of an approved final development plan lapses, the final development plan and all uses, terms and conditions thereof may be declared null and voided and the City Council may initial processing to rezone the site to its original or other appropriate zoning districts."

Applicant was advised to submit new final development plan for approval. Applicant was advised by staff to separate Phase 1 and Phase 2 of the 2017 Amended Final Development Plan into two separate projects for faster processing. This request is for Project #1.

Applicant intends to construct a new, 5-story mixed-use building containing office and resident amenity space on the 1st floor with 52 apartments on the top 4 floors. After construction of the new building, the existing Tallin Building will be demolished. Approval of the site plan layout and parking provided is requested.

Project #1 will create new 1-bdrm/1 bath units and several 2bdrm/1 bath unites located in

a 4 story building over a podium which will contain offices for Crown Center staff and amenity spaces for the residents. The new building would be constructed adjacent to the exiting Tallin Building, which will remain occupied during construction to avoid the need for extended off-site relocation of the exiting residents.

Applicants are proposing 130 parking spaces for Project #1

Analysis

Zoning – Article 14, Section 400.3180 of the Zoning Code requires the Plan Commission to review a request for a map amendment and forward its recommendation to the City Council. A public hearing will be conducted at the City Council level. Because there is no change in the intended use for this project, the zoning will remain PD-M. The 2017 Amended Final Development Plan was approved with the following conditions:

1. Permitted uses shall be limited to a multi-family residential development for senior living with associated accessory uses, including but not limited to, offices related to the operation of the facility, a café and dining area, a demonstration kitchen, a fitness area, and an outdoor gardening area which may be open to the public. The hours in which the café is open to the public shall be limited to 6:00 a.m. to 10:00 p.m. Any changes to the hours of operation shall required written approval from the Department of Community Development.
2. The existing building height, number of stories, mass, floor area ratio, and setbacks shall be maintained as depicted in the preliminary development plan and shall not be exceeded.
3. The total number of residential units shall not exceed 238
4. Parking and the drive aisle layout shall be as generally depicted on the Preliminary Development Plan. A minimum of 131 off-street parking and garage spaces shall be maintained. The location of the proposed curb-cut for ingress/egress shall be as approved by the Department of Public Works and Parks.
5. Along the north property limits, Department of Community Development staff shall seek a landscape plan from the developer that provides a visual screening from the adjacent service drive with a combination of evergreen and deciduous trees.
6. A final landscape plan shall be submitted to the Department of Community Development for its review and approval, in conjunction with a review by the City Forester. Said plan shall be submitted prior to the submittal of a demolition/building permit. Landscaping shall be installed and maintained in accordance with the approved plan.
7. Any proposed signage shall be in strict compliance with the Sign Regulations set forth in Article 8 of the Zoning Code.

8. Lighting of all exterior areas shall comply with the requirements of Section 34-93.7 of the Zoning Code, and shall be designed to be compatible with surrounding areas by shading to direct light downwards and away from abutting uses.
9. All work in the public right-of-way shall be located, constructed, and maintained as approved by the Department of Public Works and Parks.
10. A detailed construction traffic control and parking plan should be submitted to the Department of Community Development for approval, in conjunction with review by the Department of Public Works and Parks. Said plan shall set forth details pertaining to worker and resident parking during all phases of the proposed construction. It shall further detail solutions to public property maintenance issues such as street cleaning and traffic diversion. Said plan shall finalize prior to the issuance of a building permit. It shall be applicant's responsibility to obtain those approvals in written form in a timely manner prior to issuance of the building permit.
11. Approval of the Amended Final Development Plan must be obtained by City Council.
12. Except as noted herein, other codes and regulations of the City of University City shall apply.
13. Address the comments from the Department of Public Works and Parks Attachment B of Staff report – memorandum of July 11, 2017.

Use – There are no changes proposed to the use at this time.

Minimum Site Size - The minimum site size for developments in any planned development district is one (1) acre. The Code states that the minimum site size may be waived by the City Council upon report by the Plan Commission; if it is determined that the uses proposed is desirable or necessary in relationship to the surrounding neighborhood; or, if the city council should determine such waiver to be in the general public interest. There is no need for a waiver based upon the site containing more than one (1) acre.

Density and Dimensional Regulations – The number of new residential units for Project #1 is 52. At the conclusion of Project #1, there will be a total of 170 residential units. The building height for the new construction is 5 stories, as compared to the existing 8 story building. It is staff's opinion that the density and massing proposed are appropriate.

The 2017 Amended Final Development Plan included a northern setback of 30' from the property on the north. The southern setbacks varies but were approximately 35' and the eastern setbacks varies from 25' to approximately 40'. The western setback varied to a smallest distance of 10'. For the most part, these setbacks remain the same, but because the 2 lots were subdivided into 3 lots, there are now two additional property lines that have zero setback. There are also egress doors that actually open onto the adjacent

property.

Setbacks are designed to provide physical separation, transition and buffering between uses and developments. Buffering regulations in planned districts are set forth in Section 400.780. PD-M developments are to consider buffering regulations established for PD-R and PD-C regulations. The perimeter buffering for PD-R is 30' from a commercial use or district and 50' for a PD-C when adjacent to a residential area.

As it relates to this application, the proposal meets the buffering requirements at the north.

Parking – The current Final Development Plan proposes 130 parking spaces for Project #1. The proposed modifications and the realignment due to the MSD Easement conflict will result in a decrease in parking spaces.

There are a daily maximum number of Crown Center employees of 20 people. With 170 apartments anticipated upon the completion of Project #1, the current zoning code would require 148 spaces. However, the applicant argues that the true parking load of Project #1 is 99 spaces. Their rationale is that the current property has a total of 242 apartments across two buildings, with the daily maximum of 20 employees. Less the employees, the residents have a car ownership rate of 40%.

The required number of spaces for a senior living facility, per the zoning code, is 0.75 spaces per dwelling unit.

Conclusion/Recommendation

Based on the preceding conditions, staff is of the opinion the New Final Development Plan is reasonable in terms of use, density, massing, site coverage, setbacks, and parking.

Staff recommends approval with the same or similar conditions as imposed in 2017.

Memo



Date: October 22, 2021

To: Brooke Smith
City of University City

From: Douglas McElvain

Re: Development Plan
Crown Center for Senior Living
Project #1

Cc: Nikki Goldstein, David Lang, Mark Rubin, Tim Vohsen; Crown Center
Matt Fulson; Fulson Housing Group
Jarrett Cooper; Rosemann & Associates
Lauren Talley; Cobalt Construction Consulting

ARCHITECTURE
INTERIOR DESIGN
ENGINEERING
PLANNING

PROJECT DESCRIPTION – NEW BUILDING PHASED DEVELOPMENT

The existing “Tallin Building” is a 126-unit multifamily affordable housing complex constructed in the mid-1960’s using the HUD Section 202 Direct Loan Program. All the units in the Tallin Building are income restricted aimed at housing low-income seniors. Council Apartments, Inc., a non-profit 501(c) which owns the Tallin Building, paid off the 50-year HUD 202 loan in 2015. Note that Council Apartments II, Inc. (an affiliate of Council Apartments, Inc.), owns the adjacent Weinberg senior housing building that is part of the same campus.

Upon paying off the loan, The Crown Center (the non-profit parent corporation of both Council Apartments, Inc. and Council Apartments II, Inc.) began to investigate the possibility of renovating the Tallin Building. Unfortunately, the Tallin Building was originally constructed in such a way that to renovate the existing structure and bring it up to current building code compliance is not economically feasible. In addition, the building has many design issues that make the current units functionally obsolete, and unmarketable in the long run.

At the present time, the Tallin Building is fully occupied due to its affordability restrictions. In order to construct a new building to serve the needs of the residents and community (both now and in the future), we plan to construct a new building to replace the existing structure. The Weinberg building will remain with only some interior and exterior entry modifications.

Rosemann & Associates, and the developer, Fulson Housing Group, we have formulated a plan to reconstruct 52 housing units on the existing site in Project #1, utilizing both federal and state low-income housing tax credits (LIHTC), Affordable Housing Assistance Program tax credits (AHAP), and low interest loans available for affordable housing.



Project #1 would create new 1-bdrm / 1-bath units and several 2-bdrm / 1 bath units located in a 4-story building over a podium, which will contain offices for Crown Center staff and amenity spaces for the residents. We plan to construct the new building adjacent the existing Tallin Building which will remain occupied during construction to avoid the need for extended off-site relocation of the existing residents away from their homes.

During Project 1 construction, Crown Center will stop leasing any units in the Tallin Building. After completion of Project #1 and all residents of the Tallin Building have been relocated into the new building, the existing Tallin Building will be demolished.

The proposed scope of work illustrated in the attached drawings illustrate our teams solution for creating up to date apartments for Crown Center, while working within the constraints of Property line Setbacks and a large MSD easement that bisects the site. With respect to the MSD easement, no building may be constructed over the easement, and this proposal reflects that. MSD has approved the construction of a small connector from the new building to the existing Weinberg building.

Considering the site restraints, we are **proposing 130 parking spaces** for Project #1. There are a daily maximum number of Crown Center employees of 20 people. With 170 apartments at the conclusion of Project #1, the current zoning code would require 275 spaces.

For context, the current property has a total of 242 apartments across two buildings, with the daily maximum of 20 employees. Less the employees, Crown Center apartments/residents have a car ownership rate of 40%, in lieu of the 150% asked for in the zoning code. In using the current car ownership rate of 40% and adding 20 daily employees, it is reasonable to expect that the **true parking load of Project #1 is 99 parking spaces.**