



Department of Community Development

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 862-6767, Fax: (314) 862-3168

STAFF REPORT

MEETING DATE: February 23, 2022

FILE NUMBER: REZ 22-03

COUNCIL DISTRICT: 3

Applicant: U. City, LLC

Location: 8630 Olive Boulevard

Request: A Zoning Map Amendment from PA – Public Activity, GC – General Commercial and HR – High-Density Residential to Planned Development Commercial District (PD-C)

Existing Zoning: PA – Public Activity, GC – General Commercial and HR – High-Density Residential

Proposed Zoning: Planned Development Commercial District (PD-C)

Existing Land Use: Vacant, apartments

Proposed Land Use: Commercial retail

Surrounding Zoning and Land Use

North: PA – Public Activity, GC – General Commercial

East: PA – Public Activity, GC – General Commercial

South: SR – Single-family Residential

West: IC – Industrial Commercial

COMPREHENSIVE PLAN CONFORMANCE

Yes No No reference

PLAN COMMISSION RECOMMENDATION

Approval Approval with Conditions in Resolution Denial

ATTACHMENTS

- A. Map Amendment Application
- B. Market at Olive Concept Plan
- C. Preliminary Development plan

APPLICANT'S REQUEST

The Applicant is requesting that the 13 subject properties be rezoned from PA – Public Activity, GC – General Commercial and HR – High-Density Residential to Planned Development Commercial District (PD-C) to accommodate the development of four (4) commercial buildings comprised of the following areas and illustrated in Figure 1:

- Building “N” – 8,000 square-feet
- Building “I” – 3,900 square-feet
- Building “O” – 11,900 square-feet
- Building “G” – 4,200 square-feet

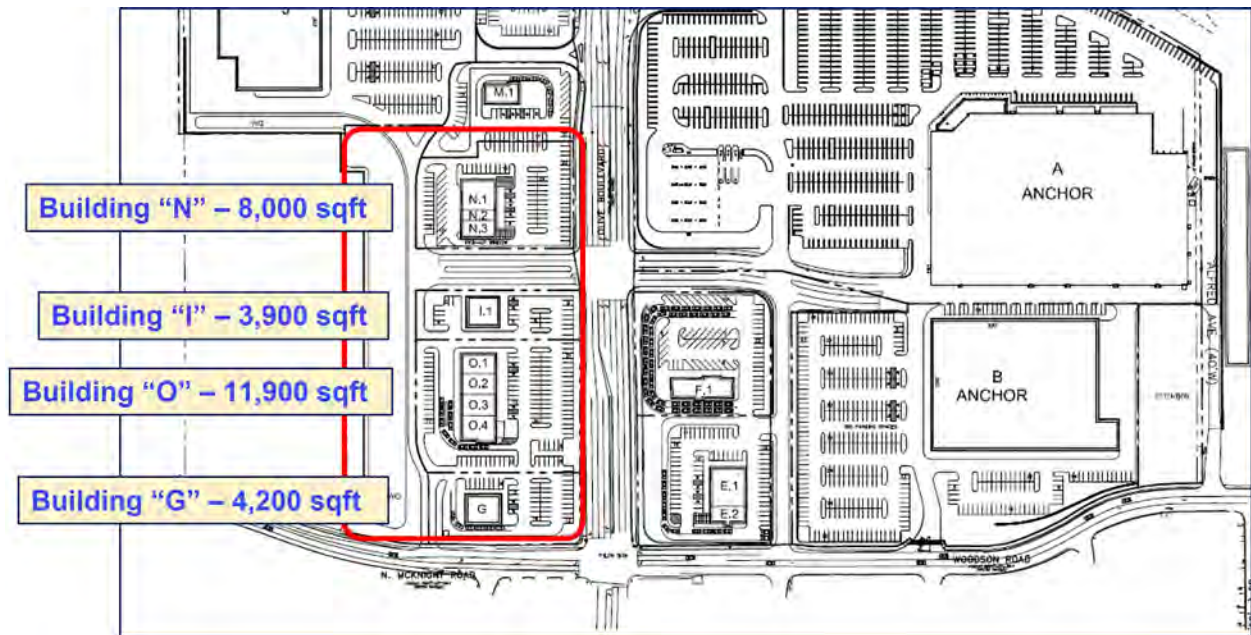


Figure 1. Proposed building sizes for development at the southwest corner of Olive Boulevard and McKnight Road.

Existing Property

The existing property that comprises the thirteen (13) parcels at the southwest corner of Olive Boulevard and McKnight Road is partially vacant – where buildings I, O and G are in Figure 1. Building N is where the apartments on what is now Briscoe Place are currently located.

The development of these four buildings is part of the larger “Market at Olive” redevelopment project that is currently underway and is consistent with the overall site concept plan that is included with this Staff Report.

Analysis

Vehicular Access

There are two (2) proposed access points for the development: one on McKnight Road, just south of Building G, and one on Olive Boulevard, between Buildings N and I. There is likely to be additional access to the site as the area immediately west of this site develops consistent with the Market at Olive Concept Plan.

Uses

The Applicant anticipates a variety of uses for the four buildings on the site:

Building N: Mixed commercial and restaurant uses, with the possibility of a “pick-up” window.

Building I: Mixed commercial uses.

Building O: Mixed commercial and restaurant uses, with the possibility of drive through services.

Building G: Restaurant with drive through services.

Comprehensive Plan

It is staff’s opinion that the proposed development is consistent with the goals and objectives of the University City Comprehensive Plan Update of 2005. Applicable sections from the Plan Update that support this opinion include:

Chapter 3, of the Comprehensive Plan Update of 2005, under Land Use and Redevelopment, as a general policy, states, *“The City will strongly support development(s) that promote desirable planning concepts such as neighborhood-serving, mixed uses and transit-oriented development and enhance the pedestrian character of the City.”* The Comprehensive Plan also indicates that the City *“will encourage the design of commercial and retail structures along major corridors for multiple tenants and mixed uses.”*

Additional background on the initial rezoning for the Market at Olive project can be found in the December 23, 2020 Plan Commission packet.

Conclusion/Recommendation

Based on this report’s analysis Staff recommends approval of the Applicant’s proposed Map Amendment and Preliminary Site Development Plan with the following conditions:

1. The uses associated with this development shall be those permitted in the GC – General Commercial District; and
2. A traffic and circulation analysis shall be submitted for review and approval with the Site Plan; and
3. A Landscape Plan shall be submitted for review and approval with the Site Plan.

SCHOTT & HAMILTON, LLC

1610 Des Peres Road, Suite 385
St. Louis, MO 63131

January 25, 2022

John L. Wagner, Ph.D.
Senior Planner
City of University City
6801 Delmar Boulevard
University City, MO 63130
jwagner@ucitymo.org
P: 314.505.8501 | www.ucitymo.org

Re: Application for Rezoning – Map Amendment

John:

Enclosed with this letter is the Application for Zoning Map Amendment for a portion of Olive Boulevard Commercial Corridor and Residential Conservation Redevelopment Project Area 1 within the City to PD (Planned District). Part of the submittal includes two (2) full size Preliminary Plans. If you need additional copies, please let me know as I did not see a specific requirement in the zoning code.

The proposed construction includes mixed use commercial buildings:

Building N	8,000 SF	Mixed use Commercial with potential restaurant (pick up window)
Building I	3,900 SF	Stand Alone
Building O	11,990 SF	Mixed Use Commercial including Restaurant with drive through lane(s)
Building G	4,200 SF	Restaurant with Drive through Lane(s)

I look forward to hearing from you.

Very truly yours,


Schott & Hamilton, LLC
Caroline Saunders



Department of Community Development

6801 Delmar Boulevard • University City, Missouri 63130 • 314-505-8500 • Fax: 314-862-3168

APPLICATION FOR ZONING MAP AMENDMENT:

Address / Location / Site of Building

1. Current Zoning District (Check one):
 CC GC HR HRO IC LC LR MR PA PD SR

2. Proposed Zoning District (Check one):
 CC GC HR HRO IC LC LR MR PA SR

3. State proposed use: Redevelopment into Commercial Mixed Use are part of the overall Redevelopment Plan for Market at Olive

4. Describe existing premises: Commercial retail and apartments

5. Describe proposed construction (please attach additional narrative):
Redevelopment into mixed use commercial.

6. State applicant's name, address and daytime telephone number:
U. City, L.L.C. Attn: Caroline Saunders (314-323-0581) 1401 South Brentwood Blvd, Suite 625, St. Louis, MO 63114 caroline@schotthamilton.com

7. Applicant's interest in the property (check one):
 Owner Tenant Under contract to purchase Under contract to lease
Other (specify):

8. State name and address and daytime telephone number of owner, if other than applicant:
Same as above
Other (specify):

The undersigned hereby makes application for a Site Plan Review and requests the authorization of the City Council to proceed with the activities described in this application.

12/07/2021
Date

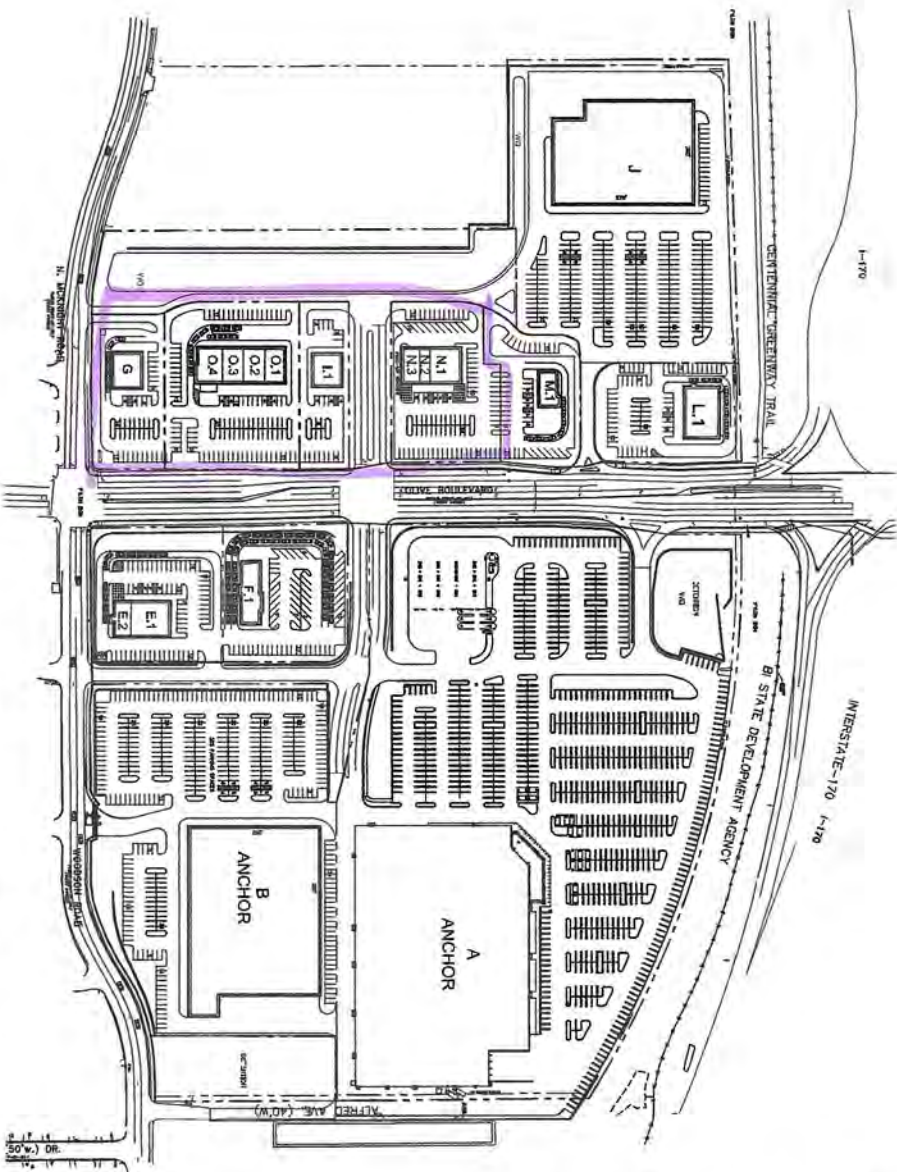
[Signature]
Applicant's Signature and Title

FOR OFFICE USE ONLY

Date: _____ Application first received of _____

Application fee in the amount of \$ _____ Receipt # _____





PRELIMINARY SITE PLAN
SCALE: 1" = 100'

MARKET AT OLIVE

ARCHITECTS
1781 S. BRIMWOOD BLVD
ST. LOUIS, MISSOURI 63104
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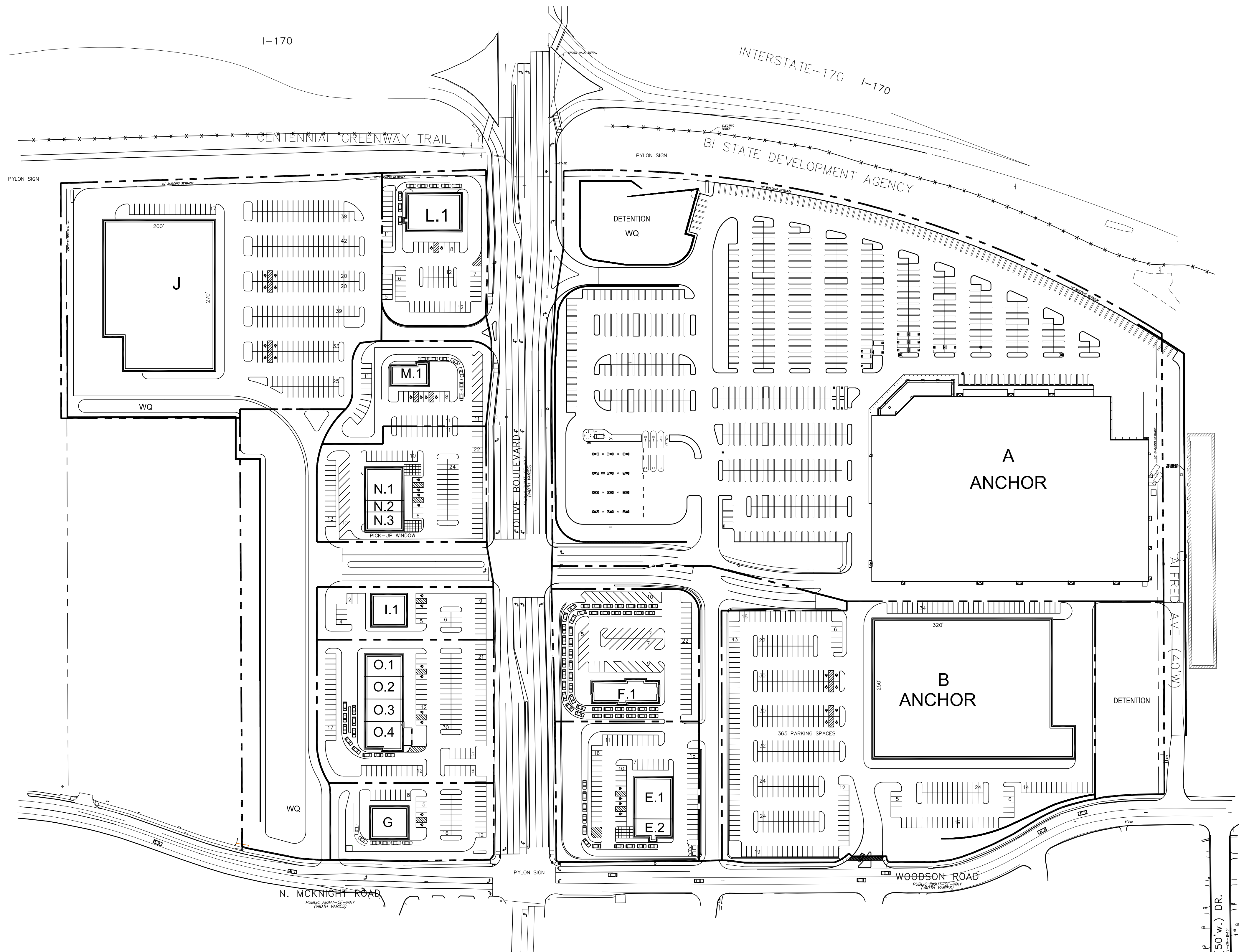
UNIVERSITY CITY
07-016

PSP 12.26

MISSOURI
10.07.21

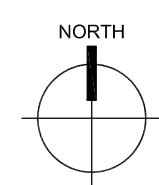
PROJECT DATA			
BUILDING	156,896 S.F.	5 P.S. / 1,000 S.F.	795 P.S.
A. ANCHOR	156,896		795 P.S.
SUB-TOTAL			
B ANCHOR	80,000 S.F.	4.8 P.S. / 1,000 S.F.	382 P.S.
E RETAIL	7,600 S.F.	R-1 P.S. / 1,000 S.F.	62 P.S.
E1 FUTURE	5,200 S.F.		
E2 FUTURE	2,400 S.F.		
F RETAIL	4,495 S.F.	13.3 P.S. / 1,000 S.F.	60 P.S.
F1 FUTURE	4,495 S.F.		
SUB-TOTAL			
D RETAIL	4,200 S.F.	9.8 P.S. / 1,000 S.F.	41 P.S.
D1 FUTURE	4,200 S.F.		
I RETAIL	3,900 S.F.	6.7 P.S. / 1,000 S.F.	28 P.S.
I1 FUTURE	3,900 S.F.		
J RETAIL	92,000 S.F.	4.5 P.S. / 1,000 S.F.	234 P.S.
J1 FUTURE	92,000 S.F.		
L RETAIL	7,000 S.F.	8.7 P.S. / 1,000 S.F.	81 P.S.
L1 FUTURE	7,000 S.F.		
M RETAIL	2,800 S.F.	14.6 P.S. / 1,000 S.F.	41 P.S.
M1 FUTURE	2,800 S.F.		
N RETAIL	8,000 S.F.	12.0 P.S. / 1,000 S.F.	98 P.S.
N1 FUTURE	4,200 S.F.		
N2 FUTURE	1,400 S.F.		
N3 FUTURE	2,400 S.F.		
O RETAIL	11,990 S.F.	8.6 P.S. / 1,000 S.F.	103 P.S.
O1 FUTURE	2,800 S.F.		
O2 FUTURE	2,800 S.F.		
O3 FUTURE	2,800 S.F.		
O4 FUTURE	3,590 S.F.		
SUB-TOTAL			
	89,890 S.F.		602 P.S.

First App. Area



PROJECT DATA

BUILDING					
A	ANCHOR	156,856 S.F.	5 P.S. /	1,000 S.F.	785 P.S.
SUB-TOTAL		156,856			785 P.S.
B	ANCHOR	80,000 S.F.	4.5 P.S. /	1,000 S.F.	362 P.S.
E	RETAIL	7,600 S.F.	8.1 P.S. /	1,000 S.F.	62 P.S.
	E.1 FUTURE	5,200 S.F.			
	E.2 FUTURE	2,400 S.F.			
F	RETAIL	4,495 S.F.	13.3 P.S. /	1,000 S.F.	60 P.S.
	F.1 FUTURE	4,495 S.F.			
SUB-TOTAL		92,095			484 P.S.
G	RETAIL	4,200 S.F.	9.8 P.S. /	1,000 S.F.	41 P.S.
	G.1 FUTURE	4,200 S.F.			
I	RETAIL	3,900 S.F.	6.7 P.S. /	1,000 S.F.	26 P.S.
	I.1 FUTURE	3,900 S.F.			
J	RETAIL	52,000 S.F.	4.5 P.S. /	1,000 S.F.	234 P.S.
	K.1 FUTURE	S.F.			
L	RETAIL	7,000 S.F.	8.7 P.S. /	1,000 S.F.	61 P.S.
	L.1 FUTURE	7,000 S.F.			
M	RETAIL	2,800 S.F.	14.6 P.S. /	1,000 S.F.	41 P.S.
	M.1 FUTURE	2,800 S.F.			
N	RETAIL	8,000 S.F.	12.0 P.S. /	1,000 S.F.	96 P.S.
	N.1 FUTURE	4,200 S.F.			
	N.2 FUTURE	1,400 S.F.			
	N.3 FUTURE	2,400 S.F.			
O	RETAIL	11,990 S.F.	8.6 P.S. /	1,000 S.F.	103 P.S.
	O.1 FUTURE	2,800 S.F.			
	O.2 FUTURE	2,800 S.F.			
	O.3 FUTURE	2,800 S.F.			
	O.4 FUTURE	3,590 S.F.			
SUB-TOTAL		89,890 S.F.			602 P.S.



PRELIMINARY SITE PLAN

SCALE: 1" = 100'-0"

MARKET AT OLIVE

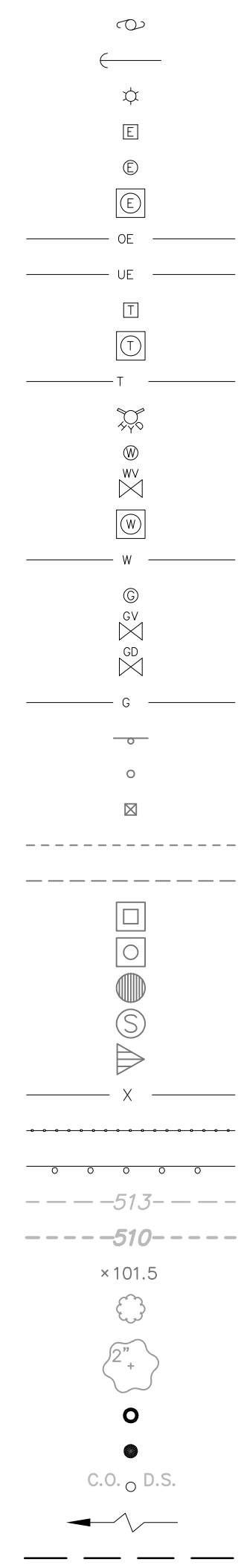
MARKET AT OLIVE PHASE II

PART OF LOTS 1-7 AND 26-29 OF CHARLES H. GIERS ESTATE, PLAT BOOK 6 PAGE 3
TOWNSHIPS 45 AND 46, RANGE 6
UNIVERSITY CITY, ST. LOUIS COUNTY, MISSOURI

SKETCH PLAN/PRELIMINARY PLAT

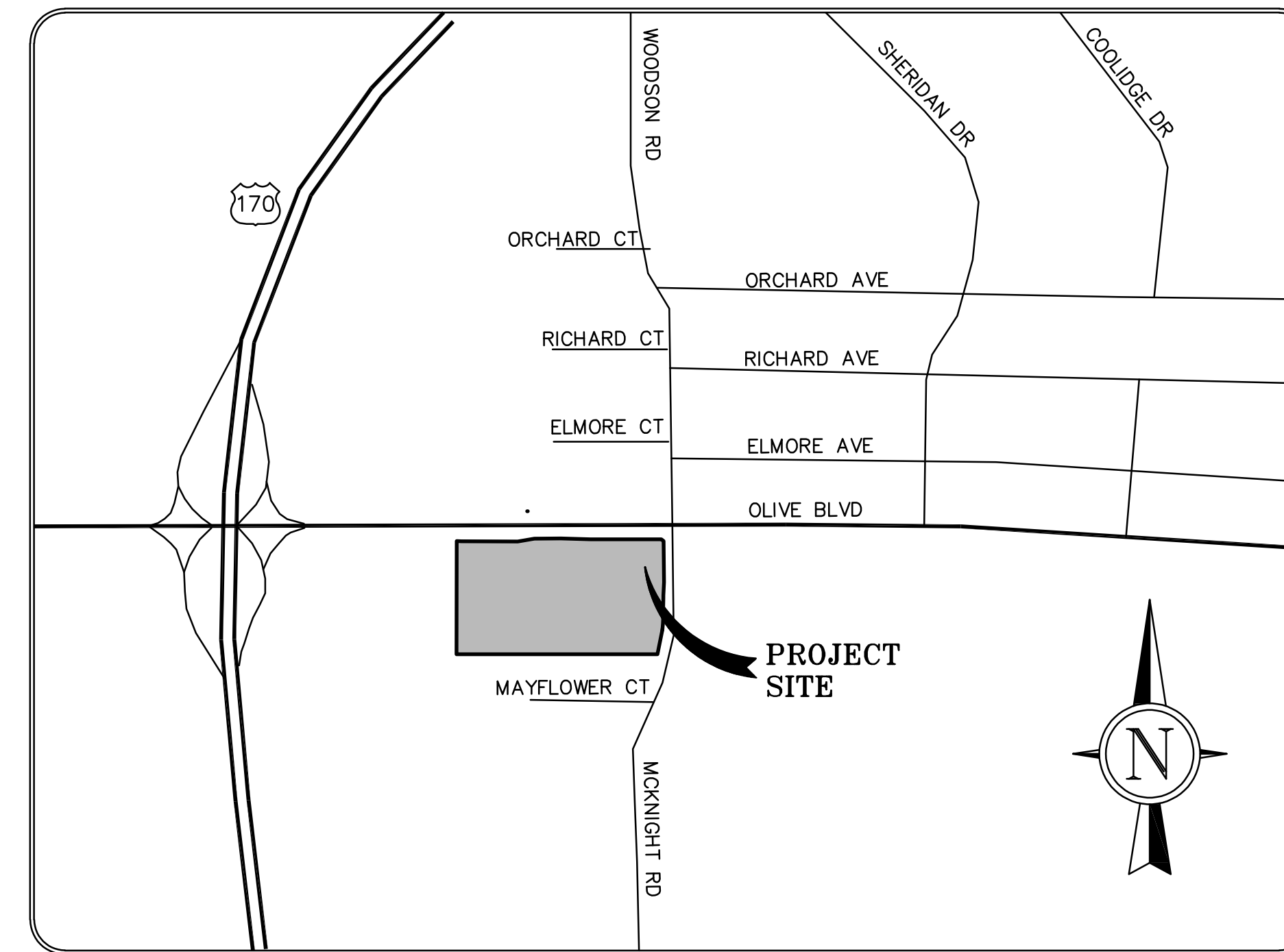
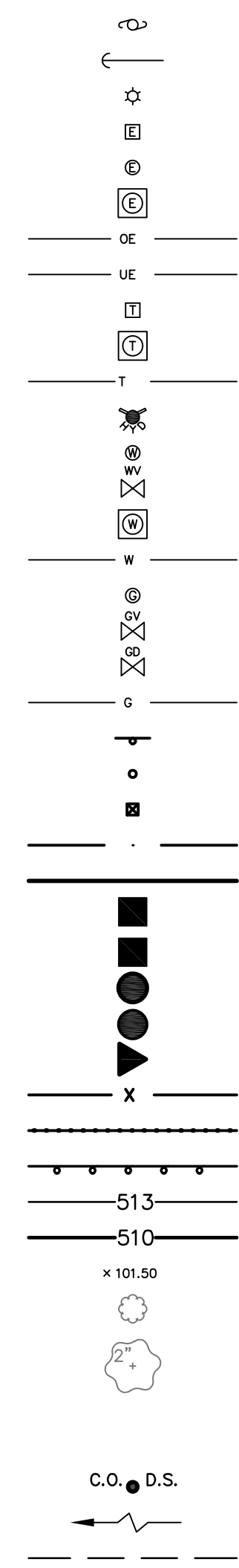
LEGEND

EXISTING



UTILITY POLE
GUY WIRE
LIGHT STANDARD
ELECTRIC BOX
ELECTRIC METER
ELECTRIC MANHOLE
OVERHEAD ELECTRIC LINE
UNDERGROUND ELECTRIC LINE
TELEPHONE BOX
TELEPHONE MANHOLE
UNDERGROUND TELEPHONE LINE
FIRE HYDRANT
WATER METER
WATER VALVE
WATER MANHOLE
WATER LINE
GAS METER
GAS VALVE
GAS DRIP
GAS LINE
STREET SIGN
BOLLARD OR POST
MAILBOX
SANITARY SEWER
STORM SEWER
STORM DRAIN GRATE INLET
STORM DRAIN AREA INLET
STORM DRAIN MANHOLE
SANITARY SEWER MANHOLE
FLARED END SECTION
FENCE: CHAIN LINK OR WIRE
FENCE: WOOD CONSTRUCTION
GUARDRAIL
MINOR CONTOUR INTERVAL
MAJOR CONTOUR INTERVAL
SPOT ELEVATION
BUSH OR SHRUB
TREE W/APPROXIMATE DIAMETER SIZE
FOUND SURVEY MONUMENT AS NOTED
SET SURVEY MONUMENT AS NOTED
CLEAN-OUT/DOWN-SPOUT
SWALE
UTILITY EASEMENT

PROPOSED



LOCATOR MAP

PROPERTY OWNER	U CITY LLC
EXISTING ZONING	IC - INDUSTRIAL COMMERCIAL PA - PUBLIC ACTIVITY HR - HIGH DENSITY RESIDENTIAL GC - GENERAL COMMERCIAL
PROPOSED ZONING	PD-C PLANNED DEVELOPMENT COMMERCIAL
SITE ACREAGE	31.75 ACRES
SITE ADDRESS	OLIVE BLVD AT I-170
M.S.D. P#	TBD

ABBREVIATIONS

ADS - ADVANCED DRAINAGE SYSTEMS, INC.	N.T.S. - NOT TO SCALE
ATG - ADJUST TO GRADE	O.C. - ON CENTER
B.M. - BENCHMARK	PAVT. - PAVEMENT
C.I. - CURB INLET	P.C. - PORTLAND CEMENT
C.O. - CLEAN OUT	PCC - PRECAST CONCRETE
CMP - CORRUGATED METAL PIPE	P.S.I. - POUNDS/SQUARE INCH
CONC. - CONCRETE	PROP. - PROPOSED
C.Y. - CUBIC YARDS	R.C. - REINFORCED CONCRETE
D.C.I. - DOUBLE CURB INLET	R.R. - RAIL ROAD
DIP - DUCTILE IRON PIPE	RCP - REINFORCED CONCRETE PIPE
DIA. - DIAMETER	S.F. - SQUARE FOOT
DS - DOWNSPOUT	S.Y. - SQUARE YARD
ELEV. - ELEVATION	SAN - SANITARY
EX - EXISTING	SCH - SCHEDULE
FD - FLOOR DRAIN	SWPPP - STORM WATER POLLUTION PREVENTION PLAN
FF - FINISH FLOOR	TBA - TO BE ABANDONED
FL - FLOW LINE	TBR - TO BE REMOVED
G.I. - GRATE INLET	TYP. - TYPICAL
GAL. - GALLON	UIP - USE IN PLACE
H.G. - HYDRAULIC GRADE	VCP - VITRIFIED CLAY PIPE
HYD - HYDRANT	YD - YARD DRAIN
MAX - MAXIMUM	WV - WATER VALVE
MH - MANHOLE	
MIN - MINIMUM	

UTILITY/AGENCY CONTACTS

WATER MISSOURI AMERICAN WATER 727 CRAIG ROAD CREVE COEUR, MO 63141 (866) 430-0820	SEWER DISTRICT METROPOLITAN ST. LOUIS SEWER DISTRICT 2350 MARKET ST. ST. LOUIS, MO 63103 CONTACT: PLAN REVIEW (314) 768-6200
GAS SPIRE GAS COMPANY 720 OLIVE ST. ST. LOUIS, MO 63101 (314) 342-0709	FIRE PROTECTION UNIVERSITY CITY FIRE DEPT. 68001 DELMAR BLVD. UNIVERSITY CITY, MO 63130 (314) 505-8591
ELECTRIC AMEREN U.E. 1132 LOCUST STREET ST. LOUIS, MO 63101 (314) 224-1199 ATTENTION: ENGINEERING DEPT.	STREET DEPARTMENT CITY OF ST. LOUIS DEPARTMENT OF STREETS 1900 HAMPTON AVENUE ST. LOUIS, MO 63139 (314) 647-3111
AT&T 909 CHESTNUT STREET, #4200 ST. LOUIS, MO 63103 (314) 235-9979 ATTENTION: R.O.W. DEPT.	CHARTER COMMUNICATIONS 815 CHARTER COMMONS TOWN AND COUNTRY, MO 63107 (636) 387-6633

SHEET INDEX

- C1.0 TITLE SHEET
- C2.0 EXISTING SITE PLAN
- C2.1 EASEMENT VACATION PLAN
- C3.0 UTILITY DEMO PLAN
- C4.0 SITE PLAN
- C4.1 SITE BOUNDARY
- C4.2 EASEMENT PLAN
- C5.0 GRADING PLAN
- C6.0 UTILITY PLAN
- C7.0 SITE DETAILS
- A1.0 ARCHITECTURAL CONCEPTS

BENCHMARK:
STL. CO. #14-512: 5Z3.82 FIUS NAVD88 - Cut square in the centerline east end of concrete traffic median island in the center of Olive Boulevard roughly 0.1 miles east of the center of the I-170 overpass above Olive Boulevard, and 35' west of the center of a private drive entrance between #8680 and #8684 Olive Boulevard which is the entrance to Beyers Lumber Company.

SITE BENCHMARK:
5Z7.86 FIUS NAVD88 - "O" in OPEN of fire hydrant; located along the North ROW line of Olive Blvd; Approximately 52 Feet East of the East ROW line of I-170.

GRIMES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. GRIMES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

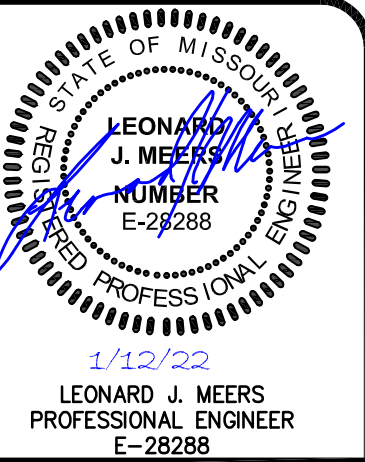


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MISSOURI ONE-CALL SYSTEM INC.

Underground facilities, structures & utilities have been plotted from available surveys, records & information, and therefore, do not necessarily reflect the actual existence, nonexistence, size, type, number of, or location of these facilities, structures, & utilities. The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, & utilities, either shown or not shown on these plans. The underground facilities, structures, & utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 315, RSMo.

PREPARED FOR:
U CITY, LLC
 CONTACT: LARRY CHAPMAN
 1401 S. BRENTWOOD BLVD SUITE 625
 ST. LOUIS, MO 63144
 EMAIL: LCHAPMAN@SENECA-CRE.COM

M.S.D. BASE MAP 17L/17K
 LOC. NO. 17K430885
 20MSD-TBD
 ZIP CODE 63132

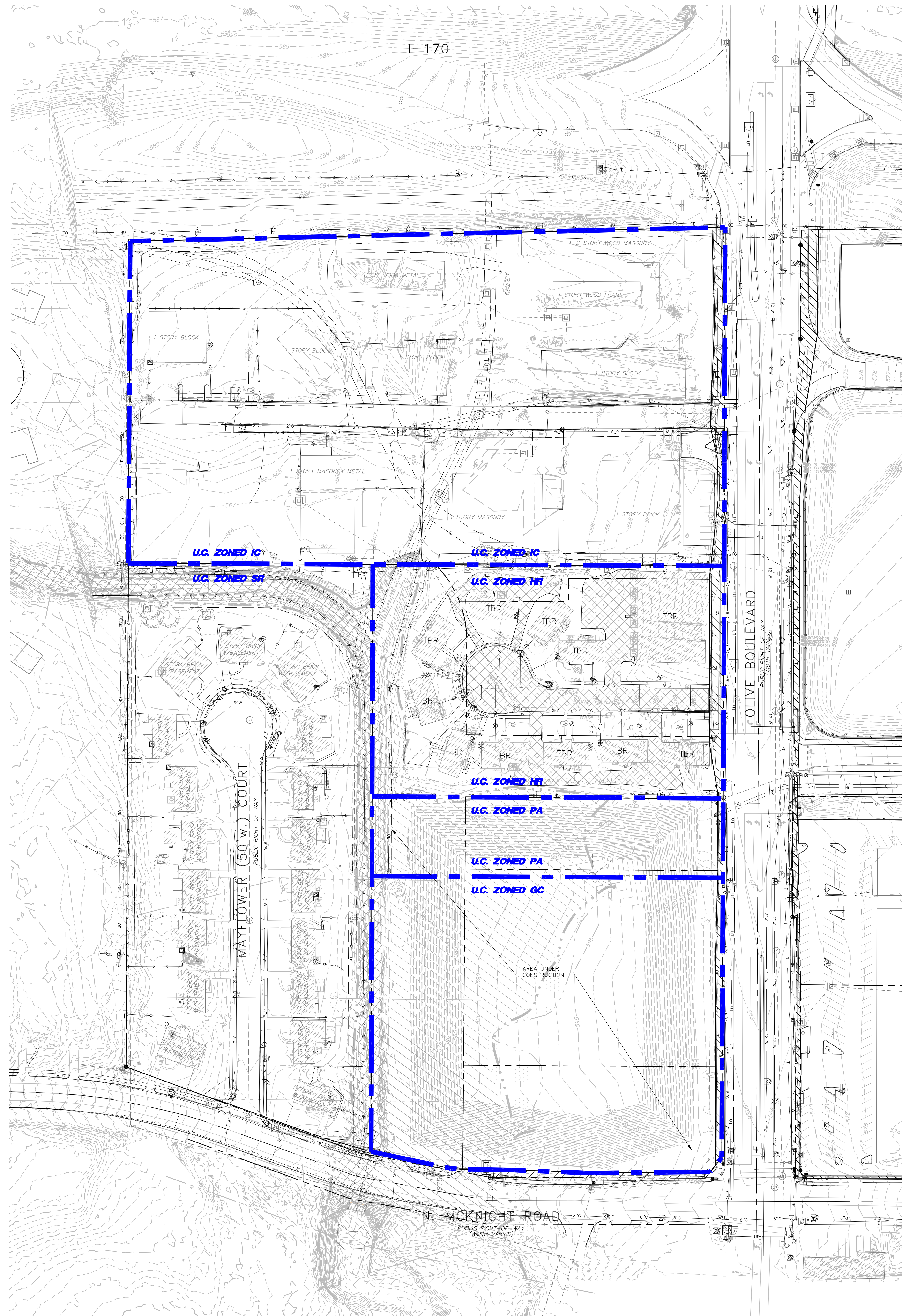


GRIMES CONSULTING, INC.
 Civil Engineering & Surveying Services
 12300 OLD TESSON ROAD
 SUITE 100
 ST. LOUIS, MO 63128
 PH: (314) 846-8100
 PROFESSIONAL LAND SURVEYING CORPORATION, E-1493-9
 PROFESSIONAL LAND SURVEYING CORPORATION, LS-343-9
 www.grimesconsulting.com

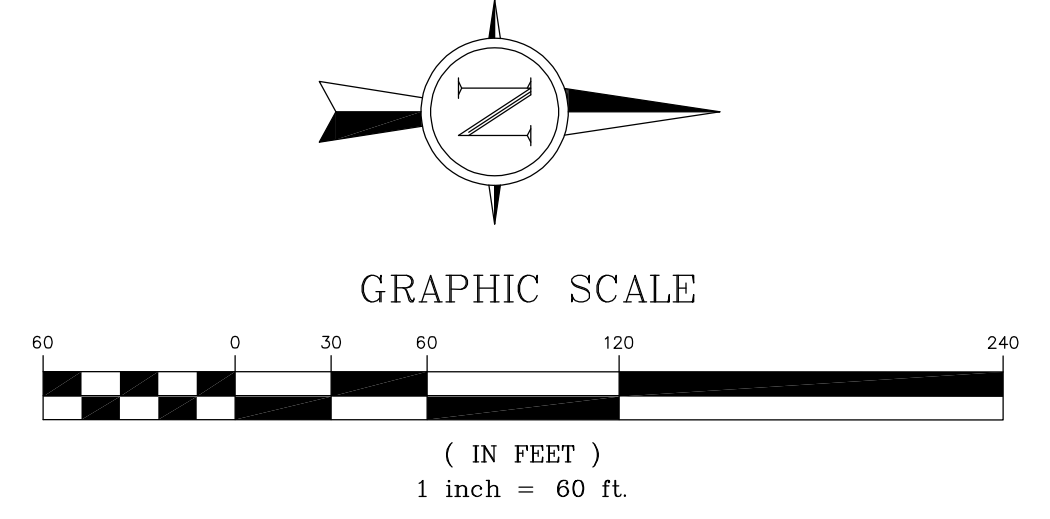
DATE	REVISIONS
01/11/22	REVISED SKETCH/PRELIMINARY PLAT

SKETCH PLANS/PRELIMINARY PLAT FOR
MARKET AT OLIVE
 UNIVERSITY CITY, MO 63132

SHEET TITLE	TITLE SHEET
JOB NUMBER:	3082
DRAWN BY:	JRB
DATE:	11/19/21
CHECKED BY:	JLW
DATE:	11/19/21
SHEET:	C1.0

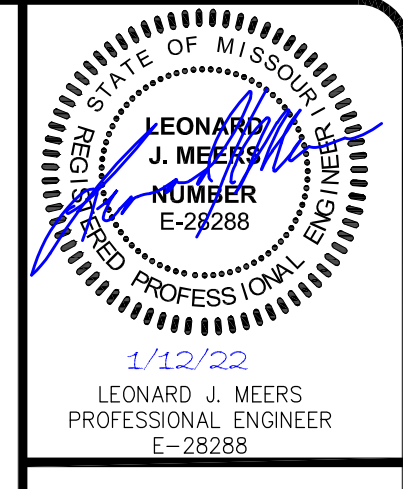
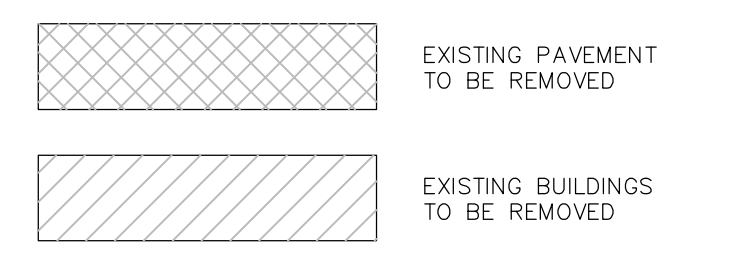


EXISTING ZONING
IC - INDUSTRIAL COMMERCIAL
PA - PUBLIC ACTIVITY
HR - HIGH DENSITY RESIDENTIAL
GC - GENERAL COMMERCIAL



SCOPE:
 THE DEMOLITION WORK SHOWN ON THESE DRAWINGS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING ITEMS LOCATED WITHIN THE PROPERTY LIMITS UNLESS OTHERWISE NOTED TO REMAIN: BUILDINGS AND FOUNDATIONS; CONCRETE AND ASPHALT PAVEMENTS; WALKS; STAIRS; RAMPS; PATIOS; AND STOODS; INCLUDING ANY UNDERLYING BRICK AND BASE ROCK; UTILITIES ARE SHOWN; ALL SHRUBBERY AND TREES, UNLESS DESIGNATED TO REMAIN; FENCES, WALLS, RAILINGS AND BOLLARDS; LIGHT STANDARDS (EXCEPTING AMEREN POLES)

NOTE: A SITE SECURITY FENCE IS TO BE INSTALLED ALONG THE ENTIRE PERIMETER OF THE DEVELOPMENT.



GRIMES CONSULTING, INC.
 Civil Engineering & Surveying Services
 12300 OLD TESSON ROAD
 SUITE 1000
 UNIVERSITY CITY, MO 63128
 PH: (314) 849-6100
 PROFESSIONAL LAND SURVEYING CORPORATION, LP-245-0
 www.grimesconsulting.com

REV. NO.	REMARKS	DATE
A	REVISED SKETCH/PRELIMINARY PLAN	01/11/22

SKETCH PLANS/PRELIMINARY PLAN FOR
MARKET AT OLIVE
 UNIVERSITY CITY, MO 63132

SHEET TITLE
EXISTING SITE PLAN

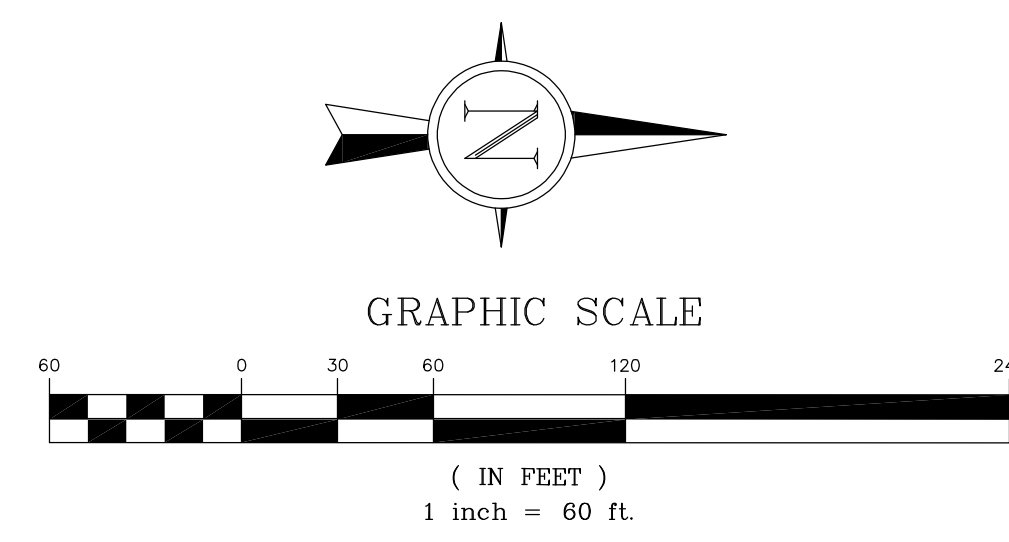
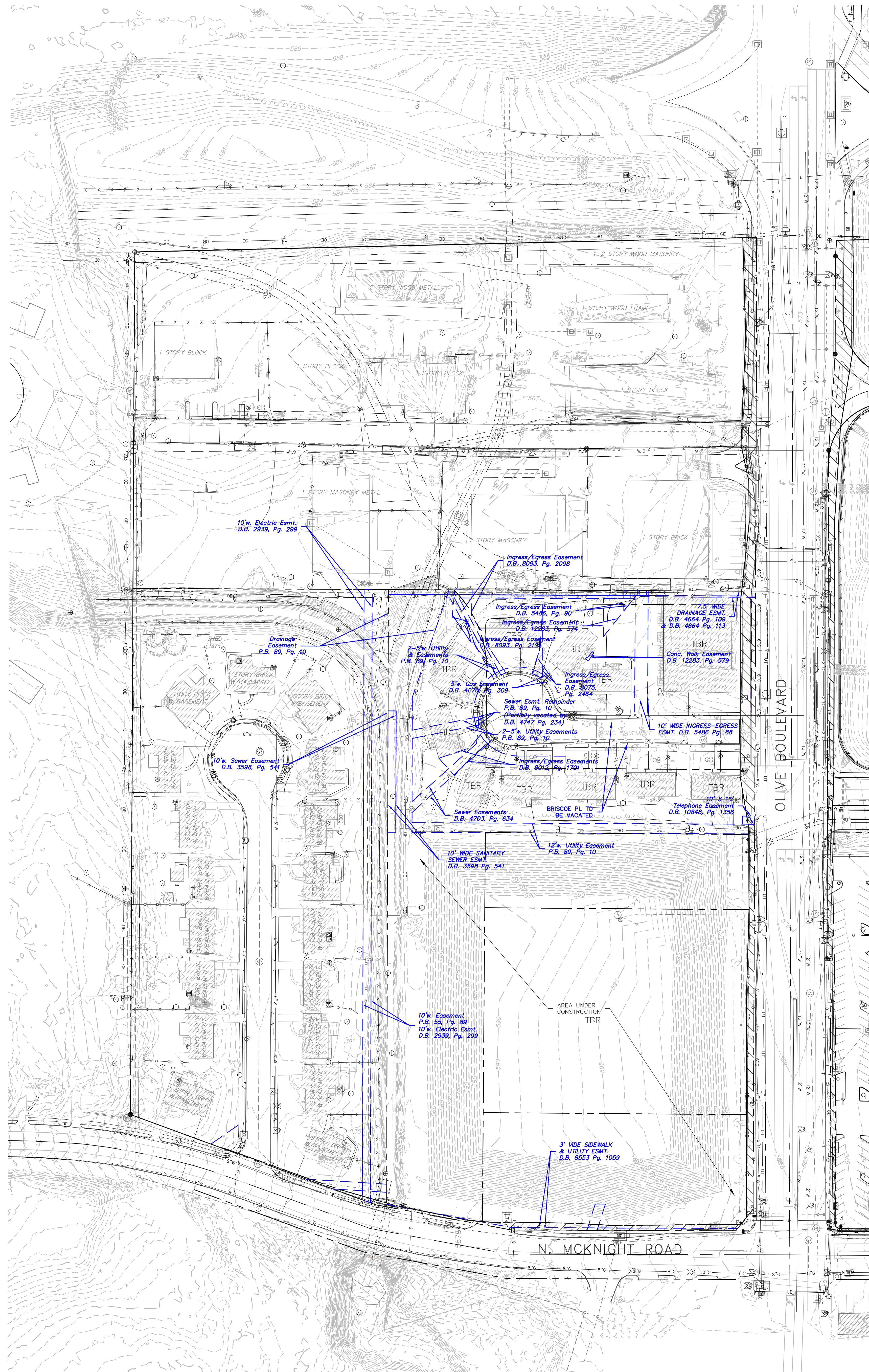
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DRAWN BY:	JRB
DATE:	11/19/21
CHECKED BY:	JLW
DATE:	11/19/21
SHEET:	C2.0

M.S.D. BASE MAP 17L/17K
 LOC. NO. 17K430885
 20MSD-TBD
 ZIP CODE 63132

PREPARED FOR:
 U CITY, LLC
 CONTACT: LARRY CHAPMAN
 1401 S. BRENTWOOD BLVD SUITE 625
 ST. LOUIS, MO 63144
 EMAIL: LCHAPMAN@SENECA-CRE.COM

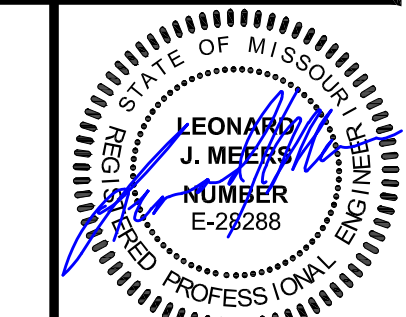
J:\3082\3082\CAD\Engineering\Construction\Plan\3082_Site.dwg 11/22/22 10:25 AM\lsaboo Broomberg

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SCOPE:
 THE DEMOLITION WORK SHOWN ON THESE DRAWINGS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING ITEMS LOCATED WITHIN THE PROPERTY LIMITS UNLESS OTHERWISE NOTED TO REMAIN: BUILDINGS AND FOUNDATIONS; CONCRETE AND ASPHALT PAVEMENTS, WALKS, STAIRS, RAMPS, PATIOS, AND STOOPS; INCLUDING ANY UNDERLYING BRICK AND BASE ROCK; UTILITIES ARE SHOWN, ALL SHRUBBERY AND TREES, UNLESS DESIGNATED TO REMAIN; FENCES, WALLS, RAILINGS AND BOLLARDS; LIGHT STANDARDS (EXCEPTING AMEREN POLES)

NOTE: A SITE SECURITY FENCE IS TO BE INSTALLED ALONG THE ENTIRE PERIMETER OF THE DEVELOPMENT.



GRIMES CONSULTING, INC.
 Civil Engineering & Surveying Services
 GRIMES CONSULTING, INC.
 1401 S. BRENTWOOD BLVD SUITE 200
 ST. LOUIS, MO 63144
 P.O. BOX 819
 ST. LOUIS, MO 63132
 TEL: (314) 819-6010
 FAX: (314) 819-6010

REV. NO.	REMARKS	DATE
1	REVISED SKETCH/PRELIMINARY PLAN	07/17/22

SKETCH PLANS/PRELIMINARY PLAN FOR
MARKET AT OLIVE
 UNIVERSITY CITY MO 63132

SHEET TITLE
**EASEMENT
 VACATION PLAN**

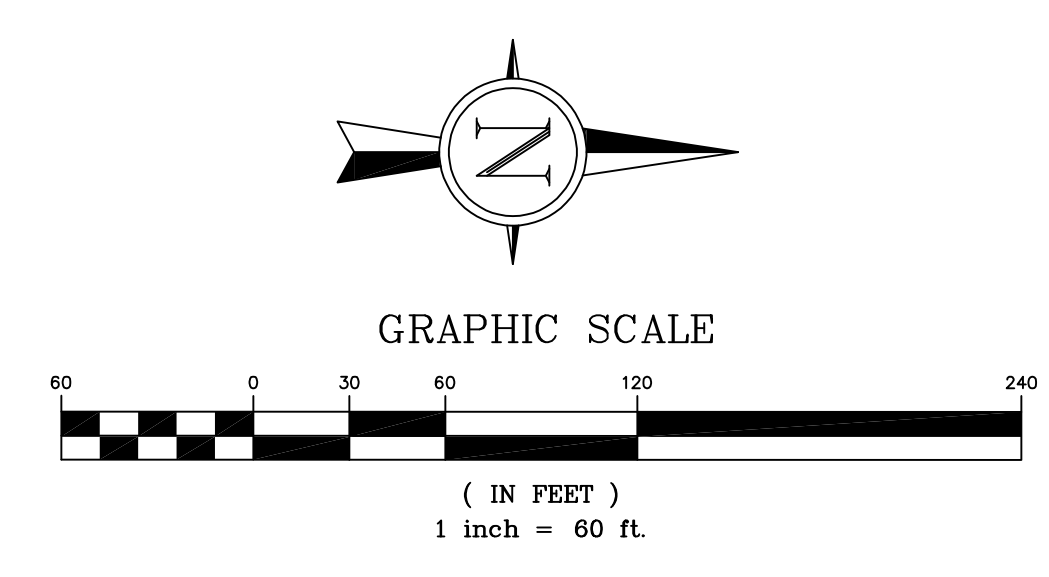
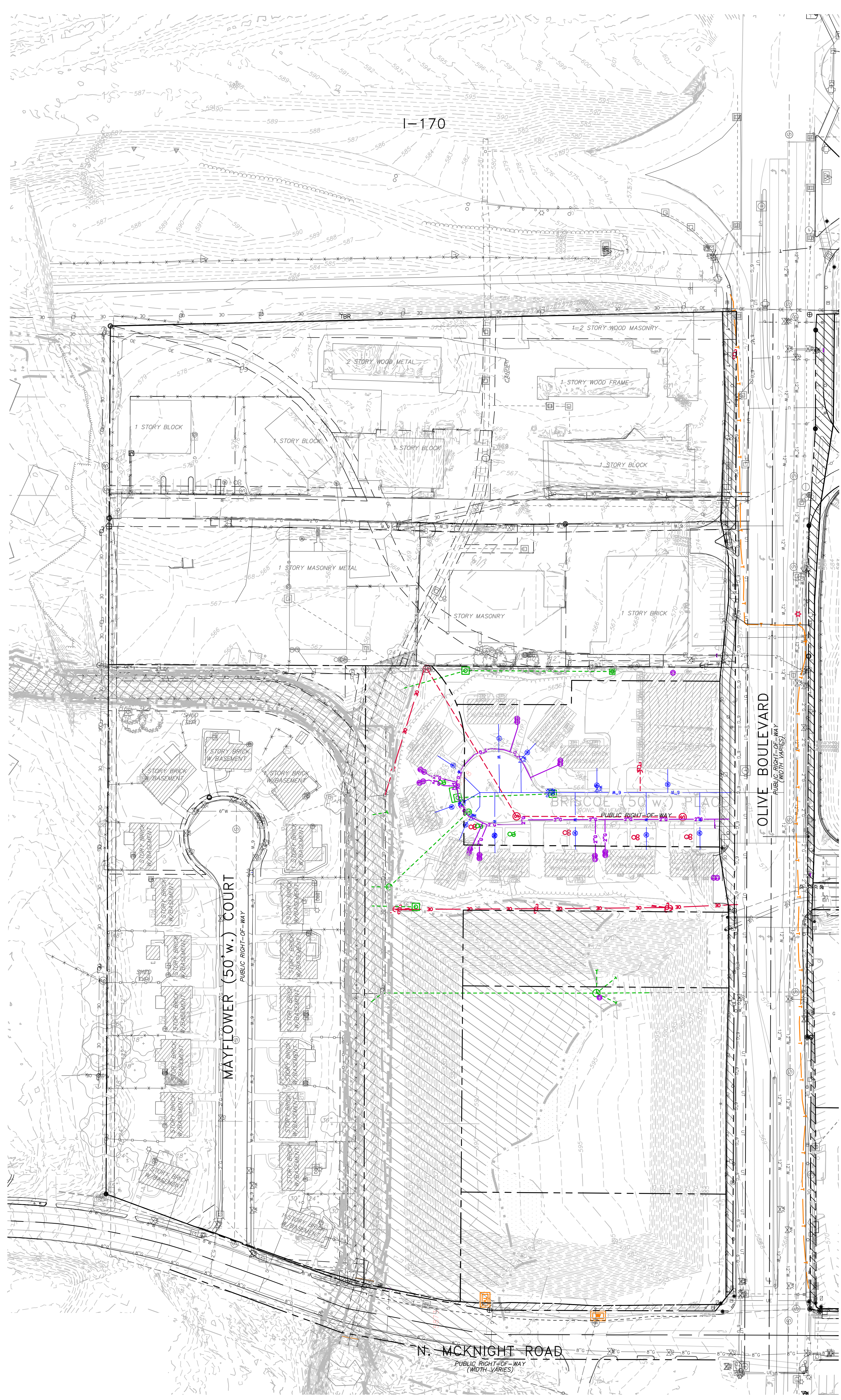
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DATE:	11/19/21
CHECKED BY:	JLW
DATE:	11/19/21
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PREPARED FOR:
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 EMAIL: LCHAPMAN@SENECA-CRE.COM

M.S.D. BASE MAP 17L/17K
 LOC. NO. 17K430885
 20MSD-TBD
 ZIP CODE 63132

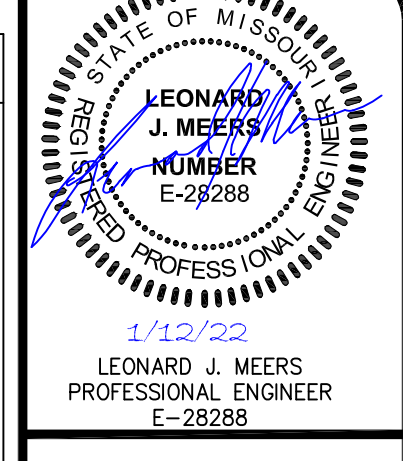


DEMOLITION UTILITY LEGEND	
DEMO STORM SEWER	---
DEMO STORM SEWER STRUCTURE	●
DEMO SANITARY SEWER	---
DEMO SANITARY SEWER STRUCTURE	●
DEMO WATERLINE	---
DEMO GAS LINE	---
DEMO ELECTRIC LINE	---
DEMO TELEPHONE/CABLE LINE	---

SCOPE:
 THE DEMOLITION WORK SHOWN ON THESE DRAWINGS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING ITEMS LOCATED WITHIN THE PROPERTY LIMITS UNLESS OTHERWISE NOTED TO REMAIN: BUILDINGS AND FOUNDATIONS; CONCRETE AND ASPHALT PAVEMENTS, WALKS, STAIRS, RAMPS, PATIOS, AND STOOPS; INCLUDING ANY UNDERLYING BRICK AND BASE ROCK; UTILITIES ARE SHOWN; ALL SHRUBBERY AND TREES, UNLESS DESIGNATED TO REMAIN; FENCES, WALLS, RAILINGS AND BOLLARDS; LIGHT STANDARDS (EXCEPTING AMEREN POLES)

NOTE: A SITE SECURITY FENCE IS TO BE INSTALLED ALONG THE ENTIRE PERIMETER OF THE DEVELOPMENT.

NOTE: LATERAL CONNECTIONS MUST BE ABANDONED PER MSD STANDARDS.



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REV. NO.	REMARKS	DATE
1	REVISED SKETCH/PRELIMINARY PLAN	01/11/22

SKETCH PLANS/PRELIMINARY PLAN FOR
MARKET AT OLIVE
 UNIVERSITY CITY, MO 63132

SHEET TITLE
UTILITY DEMO PLAN

JOB NUMBER:	3082
DRAWN BY:	JRB
DATE:	11/19/21
CHECKED BY:	JLW
DATE:	11/19/21

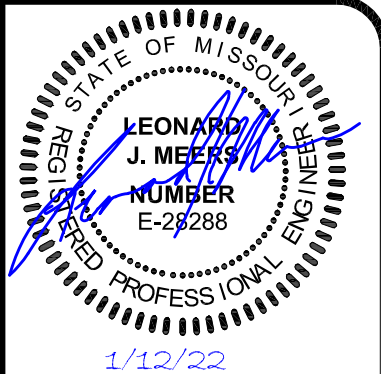
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PERTINENT DATA

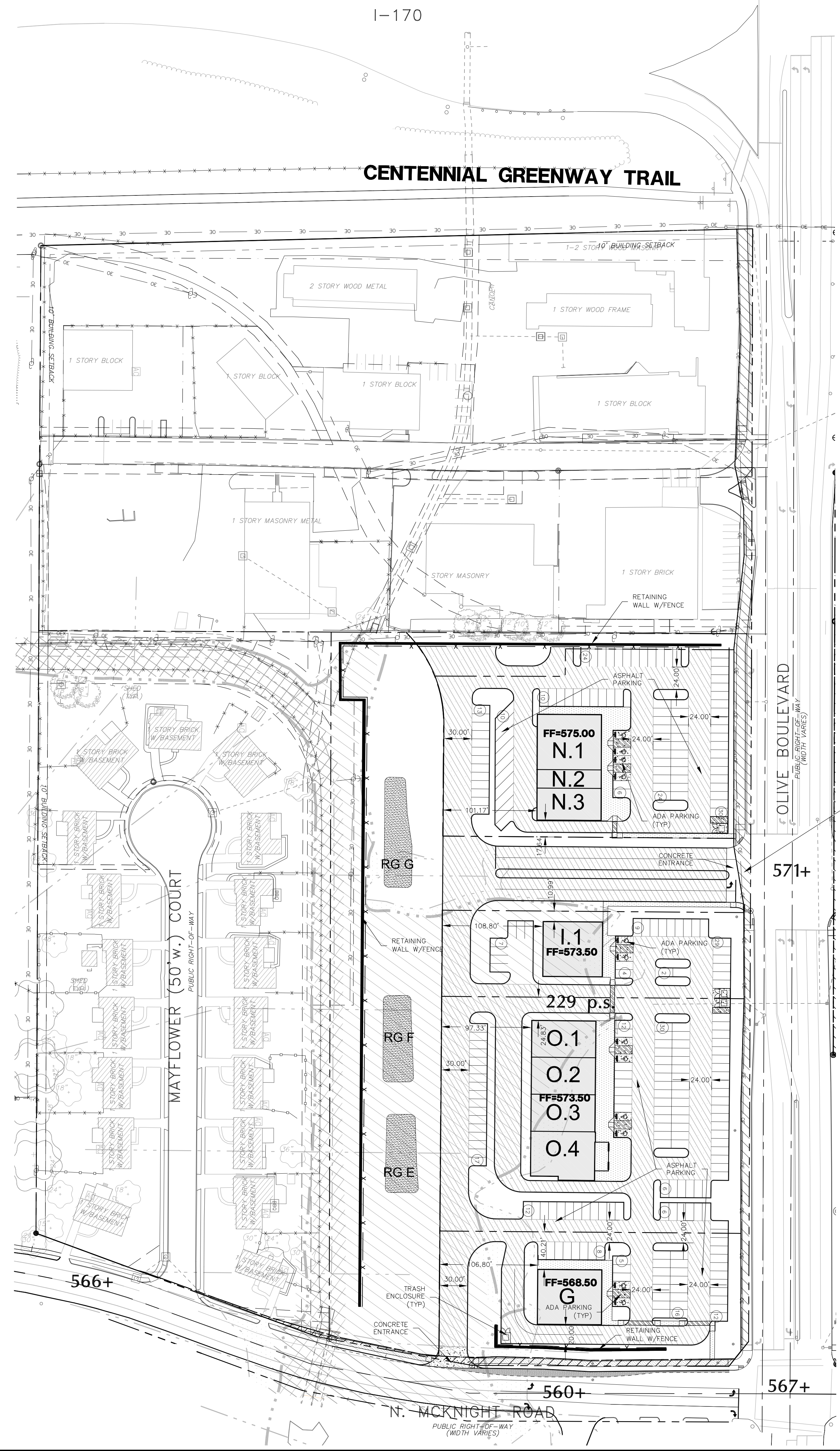
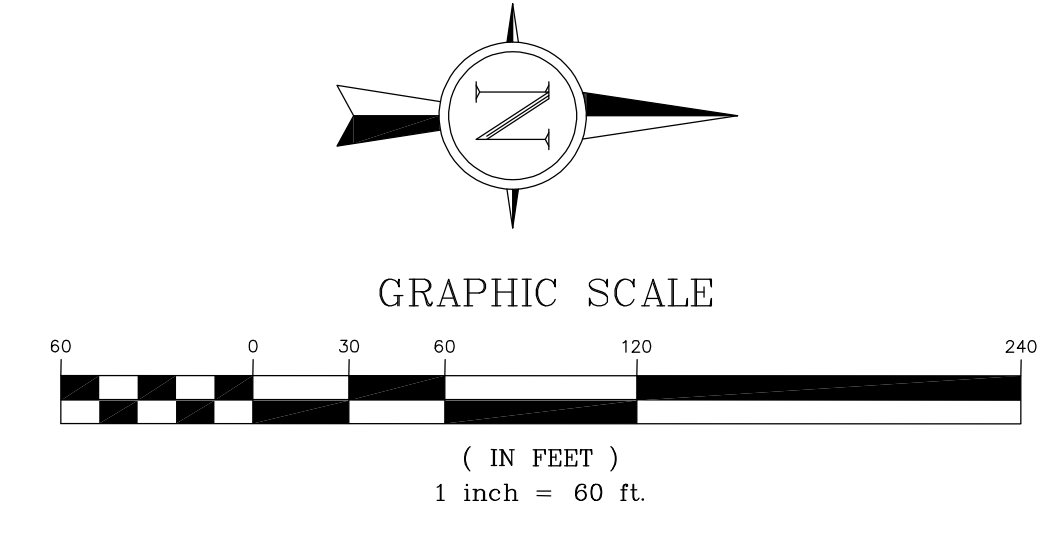
PROPERTY OWNER: U CITY LLC
 1401 S. BRENTWOOD BLVD
 ST. LOUIS, MO 63144

EXISTING ZONING: IC-INDUSTRIAL COMMERCIAL
 PA-PUBLIC ACTIVITY
 HR-HIGH DENSITY RESIDENTIAL
 GC-GENERAL COMMERCIAL

LOC. NO.: 17K-430885
 SITE AREA: 31.75± AC (1,383,030 SQ. FT.)
 PROP. USE: SHOPPING CENTER/RESTAURANT
 WATER SHED: RIVER DES PERES
 WATER DISTRICT: MISSOURI AMERICAN
 FIRE DISTRICT: UNIVERSITY CITY
 SCHOOL DISTRICT: UNIVERSITY CITY
 SEWER DISTRICT: MSD

LEGEND	
PROPOSED CONCRETE BARRIER CURB	—
PROPOSED BUILDING	▭
EXISTING FEATURES	▭
PROPOSED FEATURES	▭
PROPERTY LINES	—
FENCE	—
PROPOSED SITE RETAINING WALL	—
CONCRETE SIDEWALK	▨
ASPHALT PAVEMENT	▨
CONCRETE PAVEMENT	▨

Disturbed Area		7.83 Ac.
Existing		
Building	0.64 Ac.	
Pavement	0.77 Ac.	
% Lot Coverage	18.01 %	
FAR	0.08	
Proposed		
Building	0.65 Ac.	
Pavement	3.78 Ac.	
% Lot Coverage	56.58 %	
FAR	0.08	



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SKETCH PLANS/PRELIMINARY PLAT FOR
MARKET AT OLIVE
 UNIVERSITY CITY, MO 63132

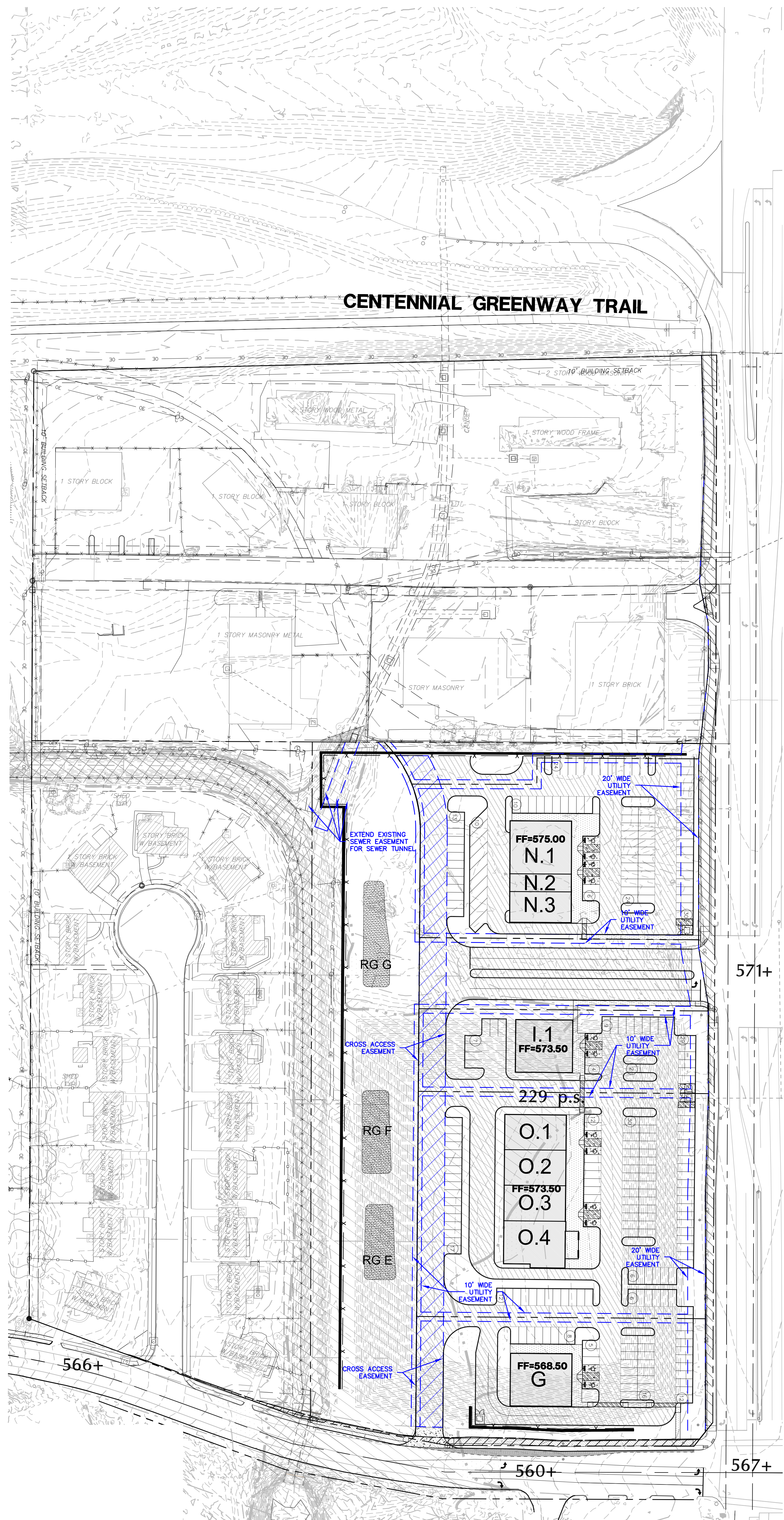
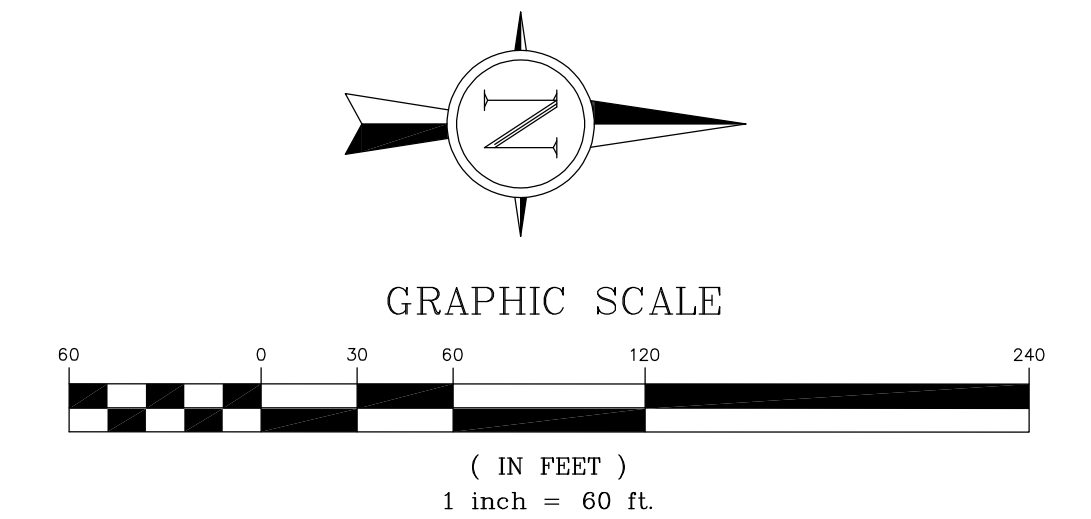
SHEET TITLE
SITE PLAN

JOB NUMBER: 3082
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 DATE: 11/19/21
 CHECKED BY: JLW
 DATE: 11/19/21
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REV. NO.	REMARKS	DATE
1	REVISED SKETCH/PRELIMINARY PLAN	01/11/22

SKETCH PLANS/PRELIMINARY PLAN FOR
MARKET AT OLIVE
 UNIVERSITY CITY, MO 63132

SHEET TITLE
EASEMENT PLAN

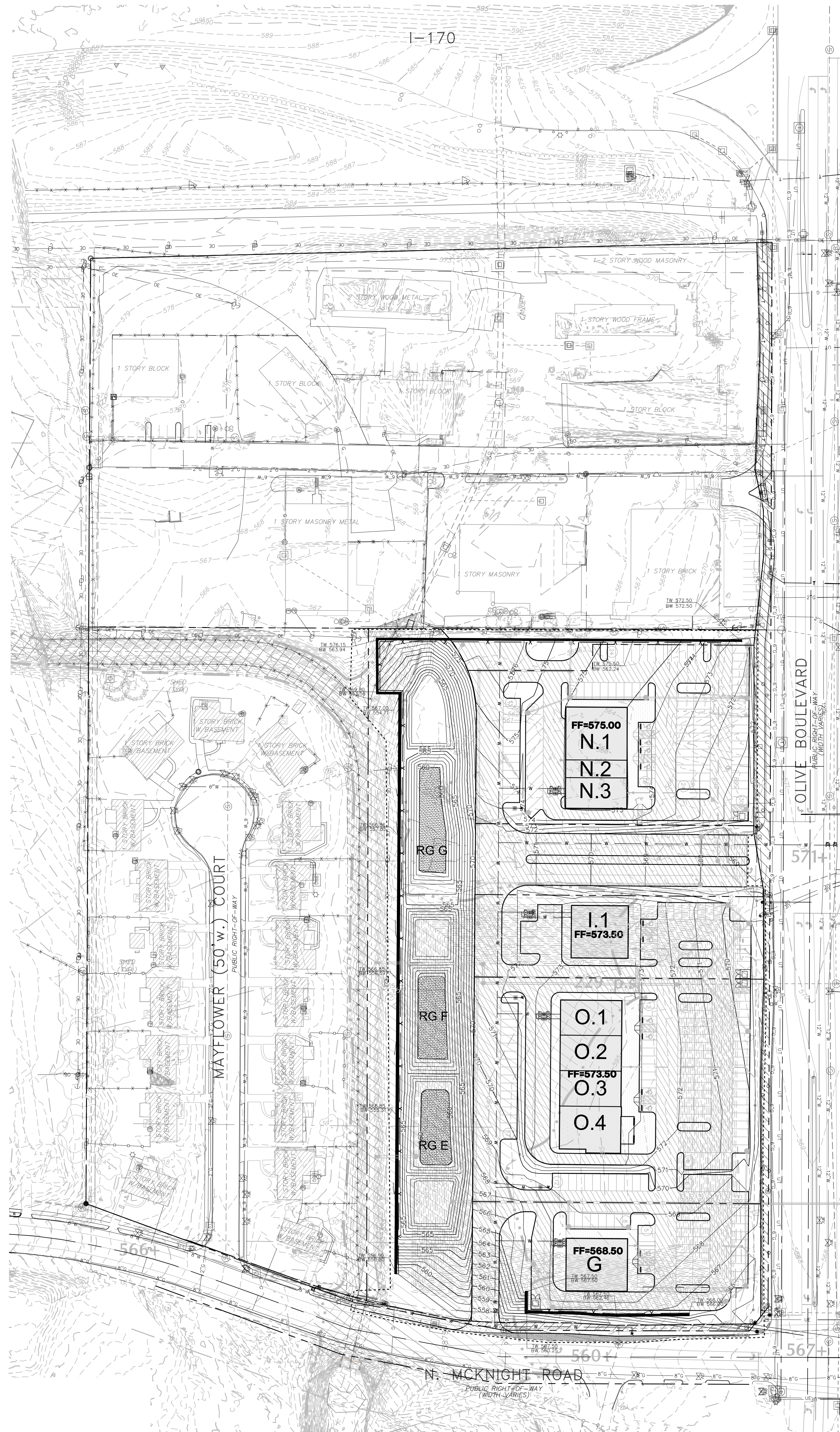
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DRAWN BY:	JRB
DATE:	11/19/21
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DATE:	11/19/21

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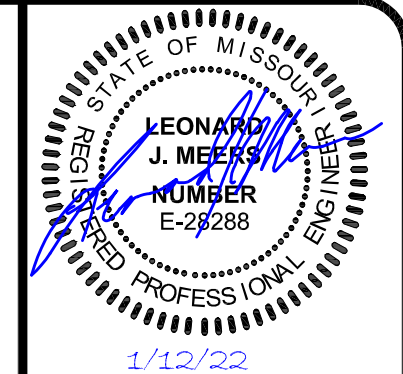
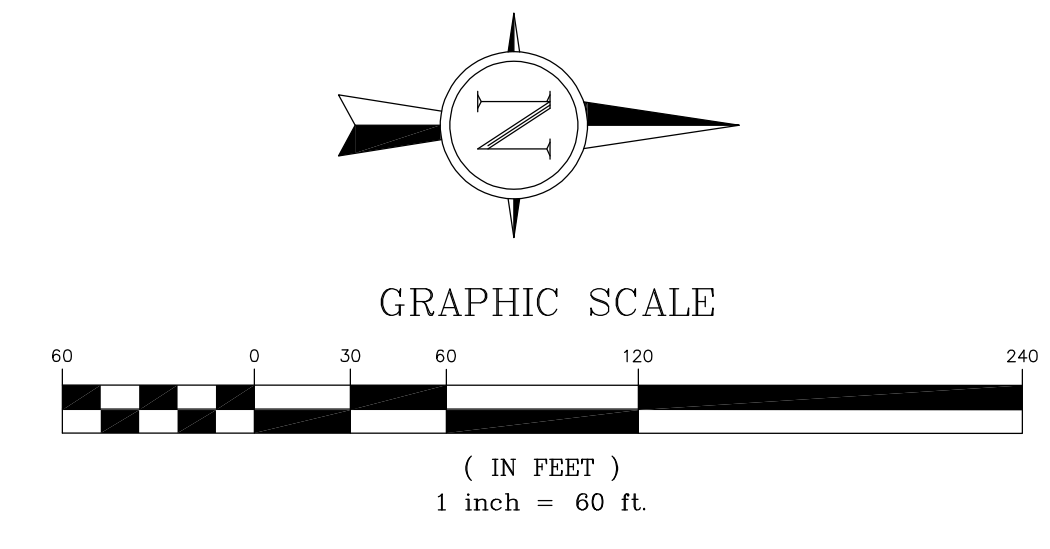
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 20MSD-TBD
 ZIP CODE 63132

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REV. NO.	REMARKS	DATE
1	REVISED SKETCH/PRELIMINARY PLAN	01/11/22
2		
3		
4		

SKETCH PLANS/PRELIMINARY PLAN FOR
MARKET AT OLIVE
 UNIVERSITY CITY, MO 63132

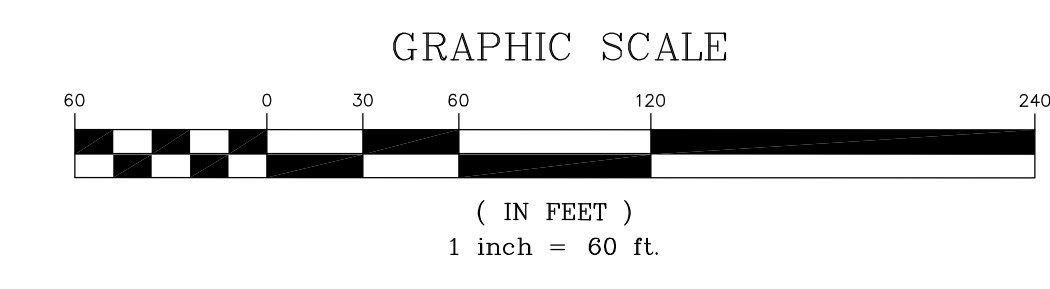
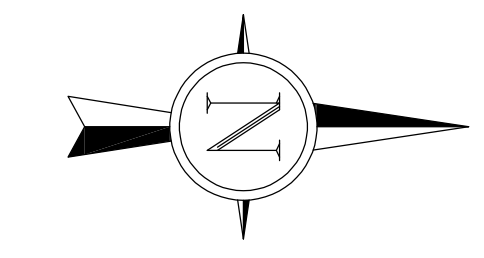
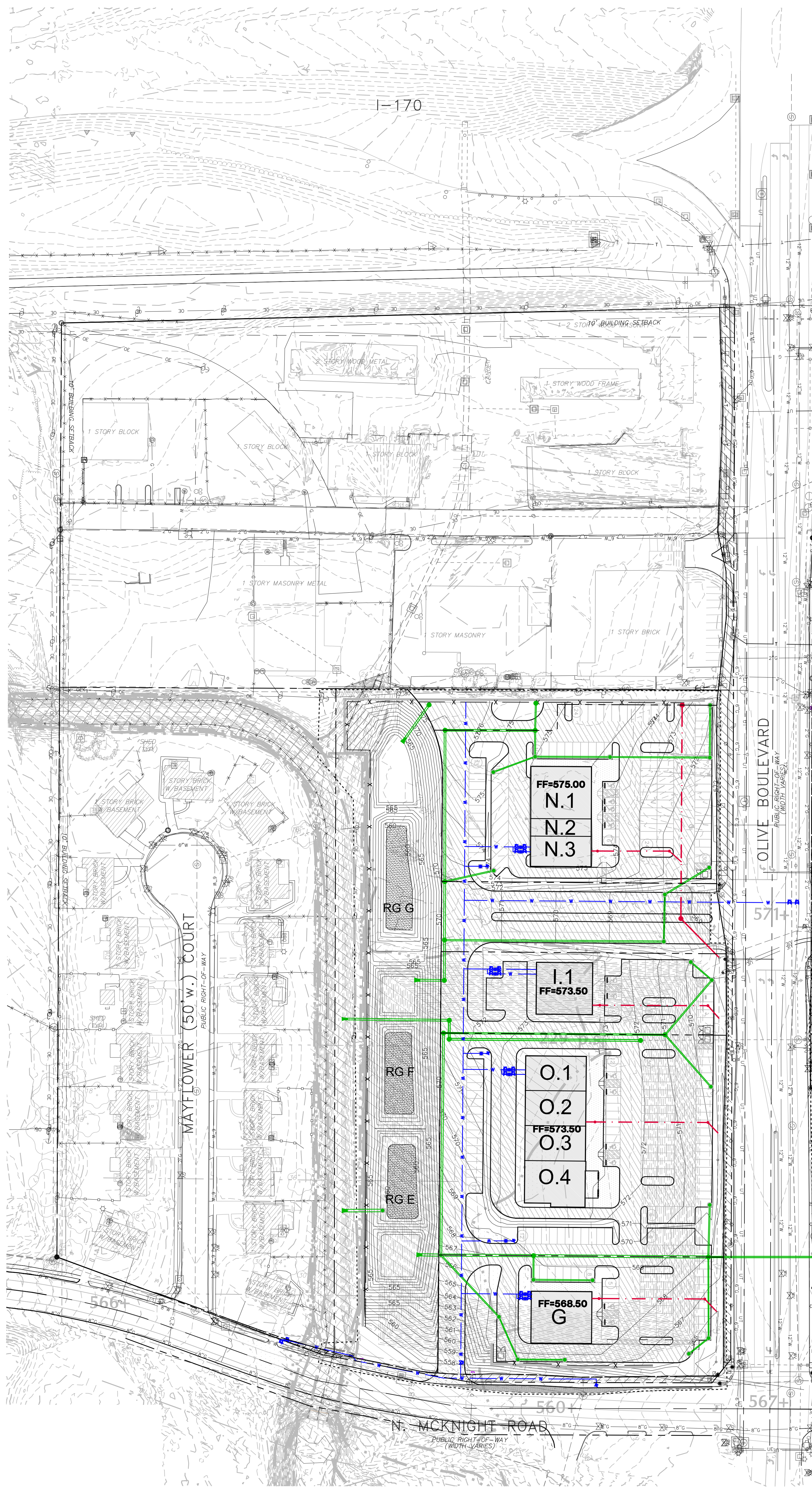
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JOB NUMBER: **3082**
 DRAWN BY: **JRB**
 DATE: **11/19/21**
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 DATE: **11/19/21**

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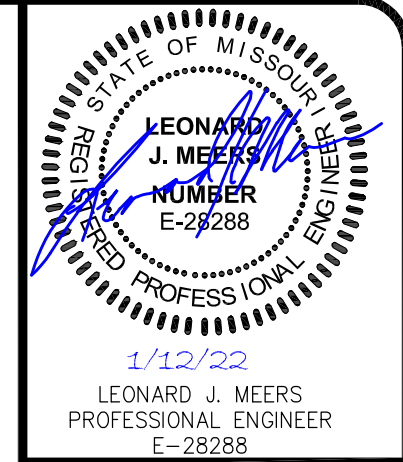
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PROPOSED UTILITY LEGEND

STORM SEWER	
STORM SEWER STRUCTURE	
SANITARY SEWER	
SANITARY SEWER STRUCTURE	
WATERLINE	
GAS LINE	
ELECTRIC LINE	
TELEPHONE/CABLE LINE	



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REV. NO.	REMARKS	DATE
A	REVISED SKETCH/PRELIMINARY PLAN	01/11/22

SKETCH PLANS/PRELIMINARY PLAN FOR
MARKET AT OLIVE
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SHEET TITLE
UTILITY PLAN

JOB NUMBER:	3082
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M.S.D. BASE MAP 17L/17K
LOC. NO. 17K430885
20MSD-TBD
ZIP CODE 63132

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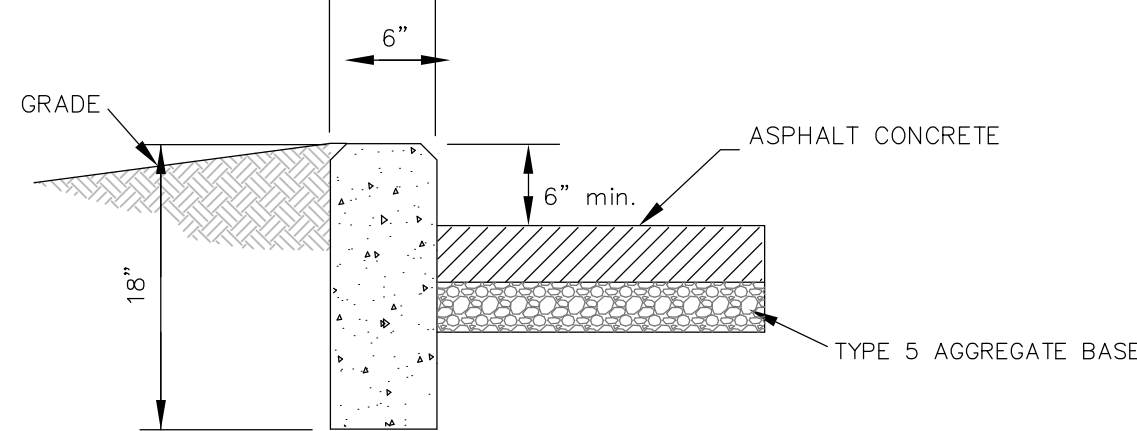
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GENERAL NOTES:

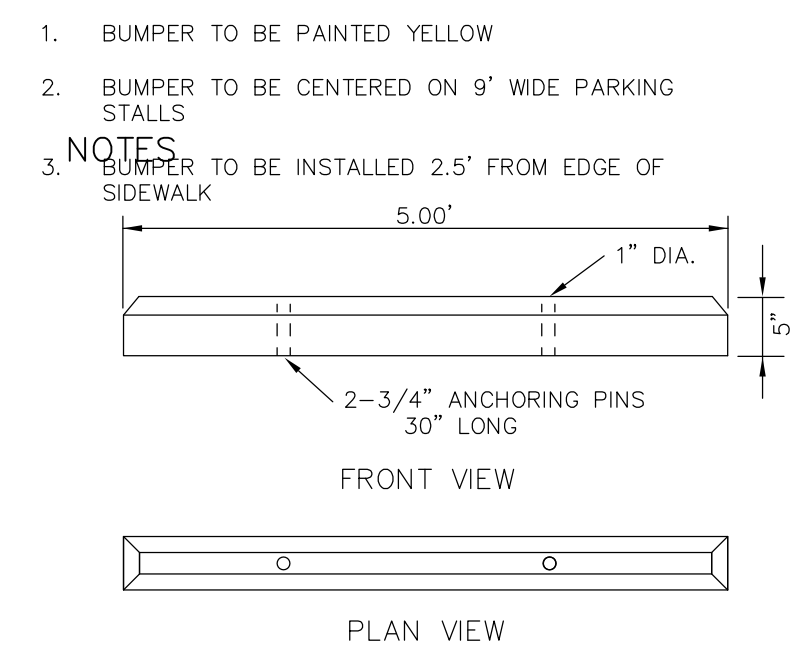
- THE UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE. NON-EXISTENCE, SIZE, TYPE OR LOCATION OF THESE OR OTHER UTILITIES SHALL BE RESPONSIBLE FOR THE VERIFYING THE ACTUAL LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY CONSTRUCTION IMPROVEMENTS. THESE PROVISIONS SHALL SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.
- ALL ELEVATIONS ARE BASED ON U.S.G.S. DATUM.
- ALL MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF ST. LOUIS COUNTY.
- ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDING AND MULCHING AS REQUIRED BY ST. LOUIS COUNTY.
- GRADING CONTRACTOR SHALL INSTALL SILTATION CONTROL PRIOR TO STARTING THE GRADING. ADDITIONAL SILTATION CONTROL DEVICES SHALL BE INSTALLED PER ST. LOUIS COUNTY.
- ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.
- GRADING CONTRACTOR SHALL KEEP EXISTING ROADWAYS CLEAN OF MUD AND DEBRIS AT ALL TIMES.
- PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS ON PAVED AREAS.
- ALL STORMWATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
- NO SLOPES SHALL EXCEED A 1V:3H SLOPE (UNLESS JUSTIFIED BY A GEOTECHNICAL REPORT WHICH HAS BEEN ACCEPTED/APPROVED BY ST. LOUIS COUNTY).
- DEVELOPMENT SHALL COMPLY WITH ALL APPROPRIATE ST. LOUIS COUNTY ZONING AND SUBDIVISION ORDINANCES.
- ALL SIDEWALKS WITHIN ST. LOUIS COUNTY RIGHT-OF-WAY TO BE CONSTRUCTED TO CURRENT ST. LOUIS COUNTY STANDARDS.
- ALL GRADING AND DRAINAGE TO BE IN CONFORMANCE WITH ST. LOUIS COUNTY, AND THE METROPOLITAN ST. LOUIS SEWER DISTRICT.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS.
- ANY LAND DISTURBANCE ACTIVITY INVOLVING ONE (1) ACRE OR MORE OF LAND IS A MAJOR LAND DISTURBANCE (MLD) AND A LAND DISTURBANCE PERMIT FOR THE MLD MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS. ANY LAND DISTURBANCE ACTIVITY INVOLVING LESS THAN ONE (1) ACRE OF LAND IS AN ORDINARY LAND DISTURBANCE AND THE APPROPRIATE PERMITS MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.
- THE PERMIT PROCESS REQUIRES IMPROVEMENT PLAN SUBMITTAL TO THE DEPARTMENT OF HIGHWAYS AND TRAFFIC.
- A LAND DISTURBANCE PERMIT WILL BE REQUIRED. SITE PLAN/PLAT APPROVAL IS NOT TO BE CONSTRUED AS APPROVAL OF A LAND DISTURBANCE PERMIT.
- ANY ENTITY THAT PERFORMS WORK ON ST. LOUIS COUNTY MAINTAINED PROPERTY SHALL PROVIDE THE COUNTY WITH A CERTIFICATE OF INSURANCE EVIDENCING GENERAL LIABILITY COVERAGE (BODILY INJURY AND PROPERTY DAMAGE) IN THE AMOUNTS SPECIFIED AS THE LIMITS OF LIABILITY SET BY THE STATE FOR PUBLIC ENTITIES. SUCH CERTIFICATE SHALL INCLUDE "ST. LOUIS COUNTY" AS AN ADDITIONAL INSURED AND SHALL BE PROVIDED PRIOR TO THE ISSUANCE OF ANY PERMIT. CERTIFICATE SHALL PROVIDE FOR A 30 DAY POLICY CANCELLATION NOTICE TO ST. LOUIS COUNTY. UPON REQUEST, THE COUNTY WILL PROVIDE THE SPECIFIC AMOUNTS FOR BOTH PER PERSON AND PER OCCURRENCE LIMITS.
- ALL HYDRANTS, POWER POLES OR OTHER POTENTIAL OBSTRUCTIONS WITHIN THE ST. LOUIS COUNTY ROAD RIGHT-OF-WAY SHALL HAVE A MINIMUM TWO (2) FOOT SETBACK FROM THE FACE OF CURB, AS DIRECTED BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC.
- NO STEP AT ACCESSIBLE ENTRANCE DOORS.
- SIDEWALKS SHALL NOT HAVE A SLOPE EXCEEDING 1:20(5%). SLOPES GREATER THAN 1:20 MUST BE DESIGNED AS A RAMP.
- ALL PROPOSED ACCESS TO ST. LOUIS COUNTY ROADS FOR NEW DEVELOPMENT SHALL MEET MINIMUM ST. LOUIS COUNTY SIGHT DISTANCE REQUIREMENTS.
- REQUIRED ROADWAY IMPROVEMENTS SHALL BE COMPLETED PRIOR TO OCCUPANCY FOR SINGLE LOT DEVELOPMENTS.
- ALL PROPOSED ACCESS TO ST. LOUIS COUNTY ROADS FOR NEW DEVELOPMENT SHALL MEET MINIMUM ST. LOUIS COUNTY SIGHT DISTANCE REQUIREMENTS.

CURB RAMP NOTES

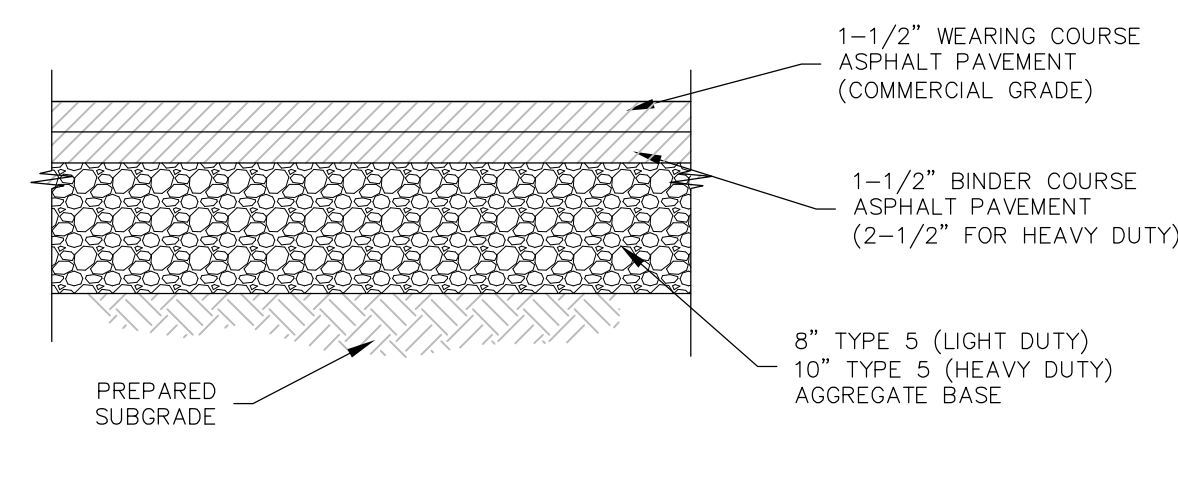
- DO NOT SCALE DRAWING. FOLLOW DIMENSIONS.
- SIDEWALKS AND SIDEWALK CURB RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE DETAILS AND THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG).
- PROVIDE A LANDING AT THE TOP OF EACH STRAIGHT RAMP WHEN THE GRADE ALONG CURB ("C") IS GREATER THAN +2% AND LESS THAN +7% FOR OTHER VALUES OF "C", INCLUDING ALL NEGATIVE (-) VALUES, NO LANDING IS REQUIRED.
- MINIMUM SIDEWALK WIDTH ALONG 6" VERTICAL CURB SHALL BE 5 FEET. MINIMUM SIDEWALK WIDTH ALONG 3" ROLLED CURB SHALL BE 4 FEET.
- MAXIMUM SIDEWALK CROSS SLOPE 0.02'/FT.
- ALL SIDEWALK SECTIONS SHALL BE 4" THICK, EXCEPT WHERE INDICATED OTHERWISE BY SHADED PORTIONS SHOWN ON DETAILS. ALL SIDEWALK SECTIONS AND CURB RAMP, REGARDLESS OF THICKNESS, SHALL BE PAID FOR AS "CONCRETE SIDEWALK".
- WHERE CURB RAMP MEETS PAVEMENT, BULLNOSE WILL NOT BE PERMITTED.
- CONSTRUCT A DIAGONAL RAMP WHEN THE MAXIMUM CORNER RADIUS ALLOWED FOR A STRAIGHT RAMP IS EXCEEDED.
- IF INTEGRAL CONCRETE CURB IS CONSTRUCTED, STRIKE A DUMMY JOINT ACROSS BOTTOM OF RAMP AT CURB LINE. IF CONCRETE CURB IS DOWELED-ON, BLOCK OUT PAVEMENT TO PROVIDE FULL DEPTH CURB ACROSS RAMP FROM OUTER POINT OF CURB TAPER TO OUTER POINT OF CURB TAPER.
- FOR SIDEWALK LOCATIONS ON CUL-DE-SACS, REFER TO "PAVEMENT CONSTRUCTION DETAILS".
- FOR PAVEMENT LONGITUDINAL AND TRANSVERSE JOINTS AND DOWEL AND THE BAR REQUIREMENTS AND DIMENSIONS, REFER TO THE PAVEMENT CONSTRUCTION DETAILS FOR "JOINTS AND CURBS", STANDARD DRAWING C592.03.
- FOR ROADWAY CROSS SLOPES, PAVEMENT TYPES, AND THICKNESSES, REFER TO "STANDARD TYPICAL SECTION".
- A DETECTABLE WARNING CONSISTING OF TRUNCATED DOMES SHALL BE PLACED AT EACH CURB RAMP. IF CURB CUTS ARE USED TO ALLOW A CROSSWALK TO PASS THROUGH AN ISLAND, THEN DETECTABLE WARNINGS SHALL BE PLACED AT EACH EXIT POINT FROM THE ISLAND.
- THE DETECTABLE WARNING SHALL BE A PRE-MOLDED TILE CAST DIRECTLY INTO THE PLASTIC CONCRETE.
- THE WARNING SURFACE SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT ON DARK, OR DARK ON LIGHT.
- THE DETECTABLE WARNING SHALL BE PLACED WITHIN 8 TO 8 INCHES OF THE CURB LINE.
- THE DETECTABLE WARNING SHALL EXTEND 24 INCHES IN THE DIRECTION OF TRAVEL AND THE FULL WIDTH OF THE RAMP, LANDING, OR BLENDED TRANSITION.
- TRANSITIONS FROM RAMPS TO WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES.



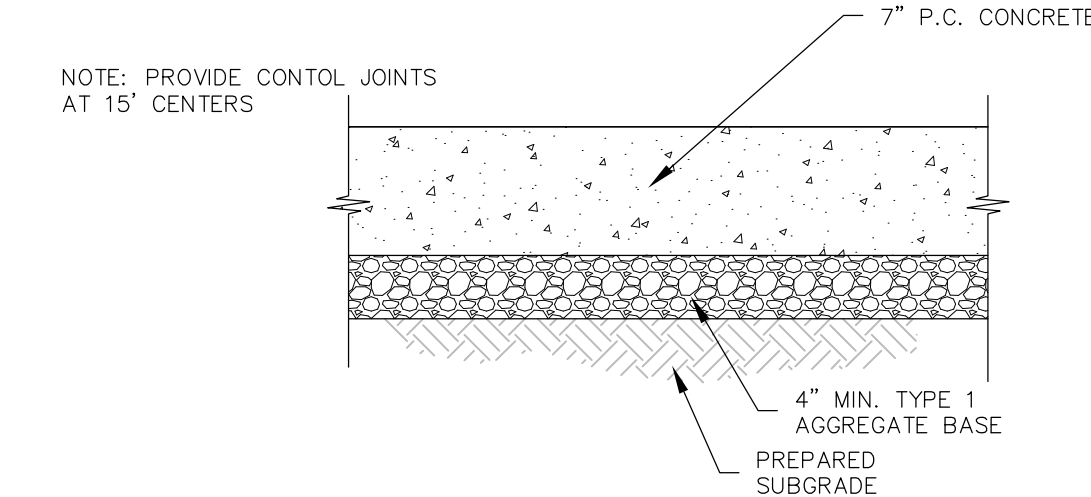
1 BARRIER CURB DETAIL
C7.0 SCALE : NTS



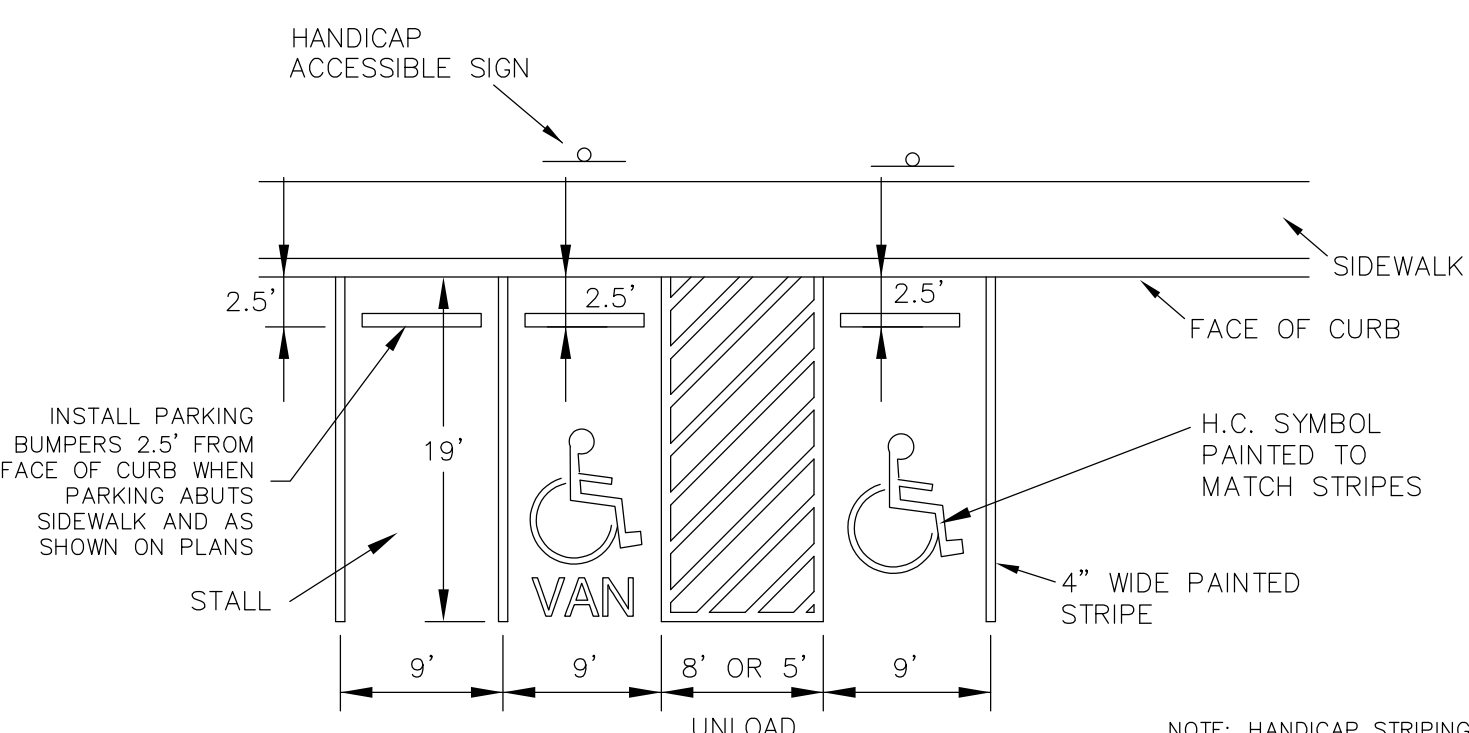
2 PARKING BUMPER DETAIL
C7.0 SCALE : NTS



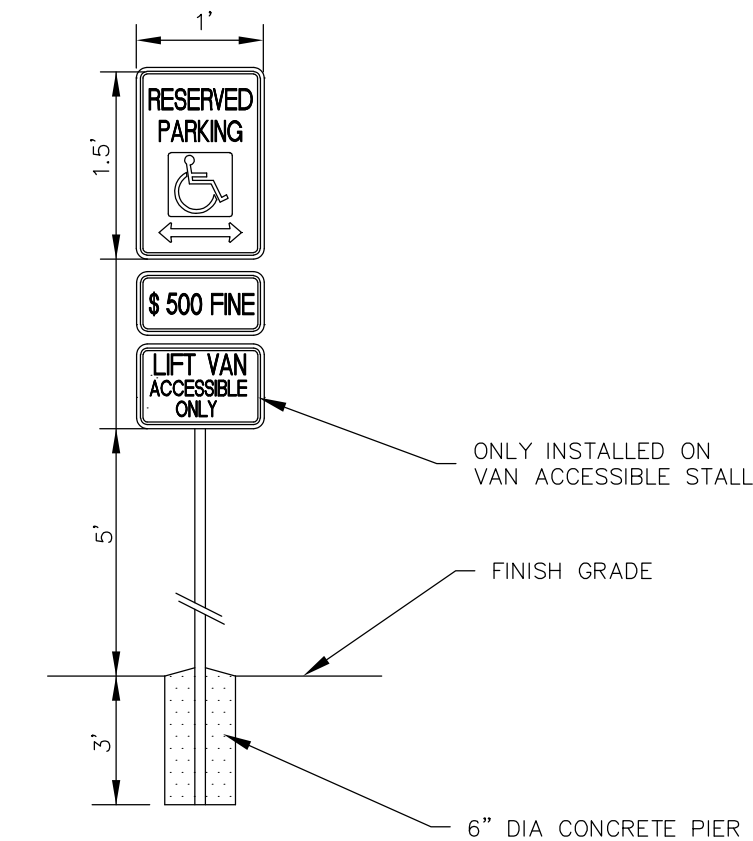
3 ASPHALT PAVEMENT DETAIL
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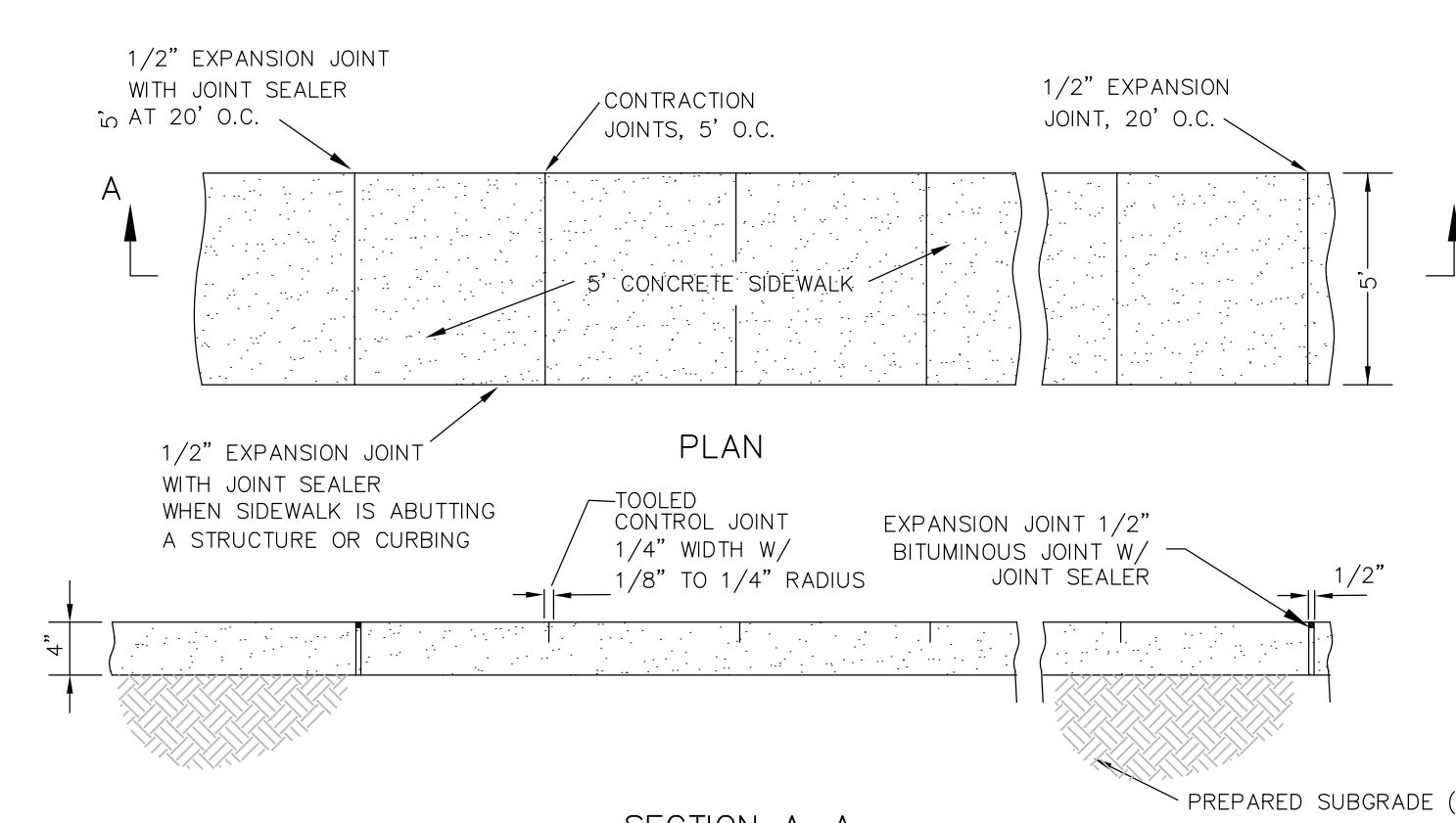
4 CONCRETE PAVEMENT DETAIL
C7.0 SCALE : NTS



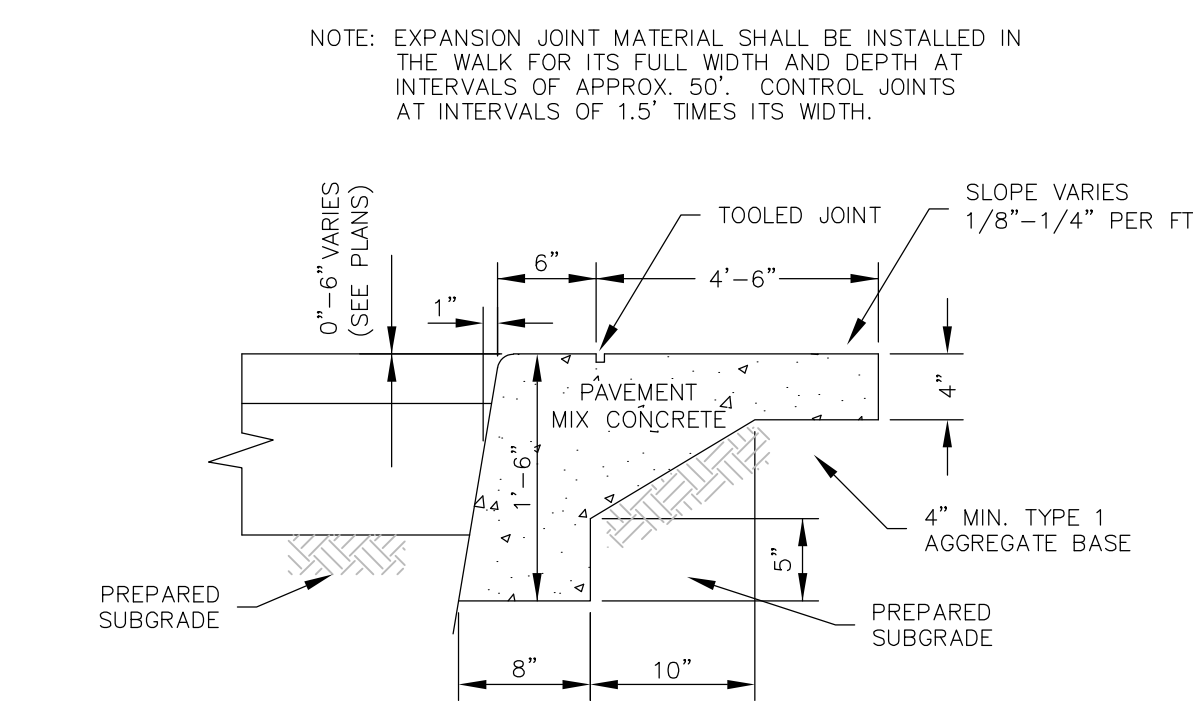
5 ADA PARKING DETAIL
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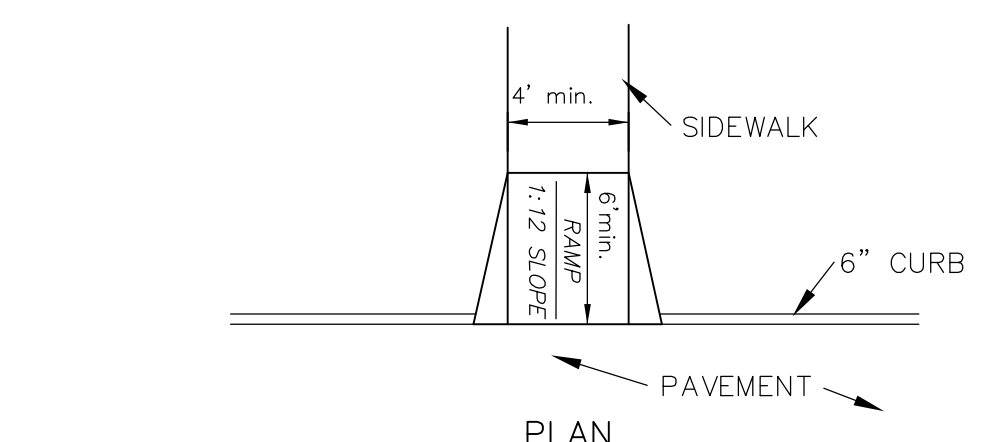
6 SIGN DETAIL
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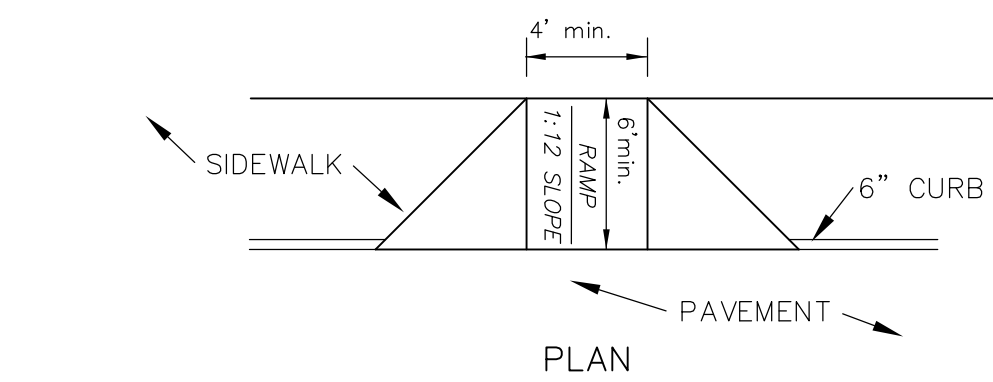
7 SIDEWALK DETAIL
C7.0 SCALE : NTS



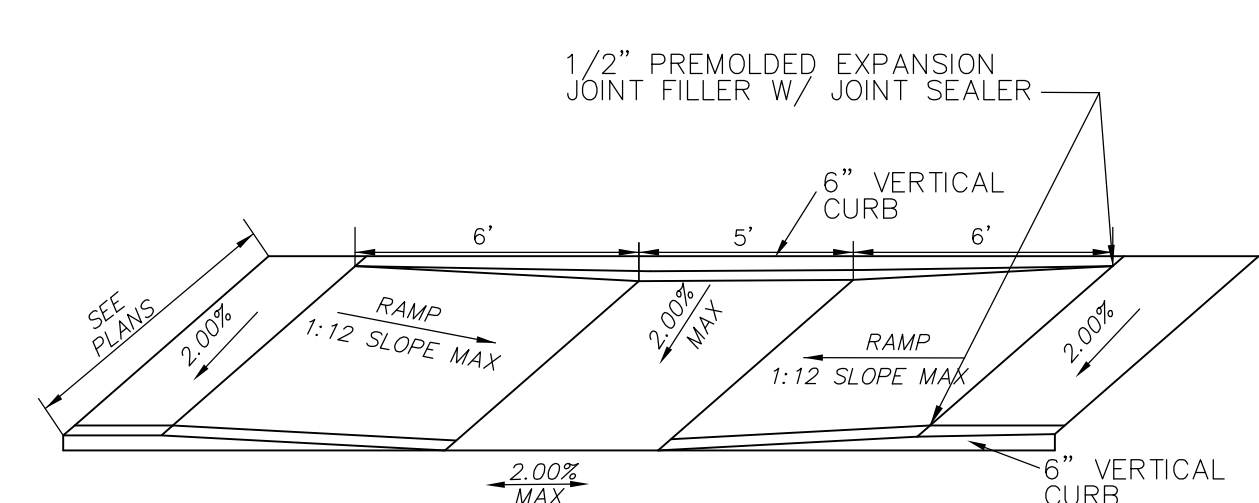
8 INTEGRAL CURB AND SIDEWALK
C7.0 SCALE : NTS



CURB RAMP DETAIL (TYPE 2)

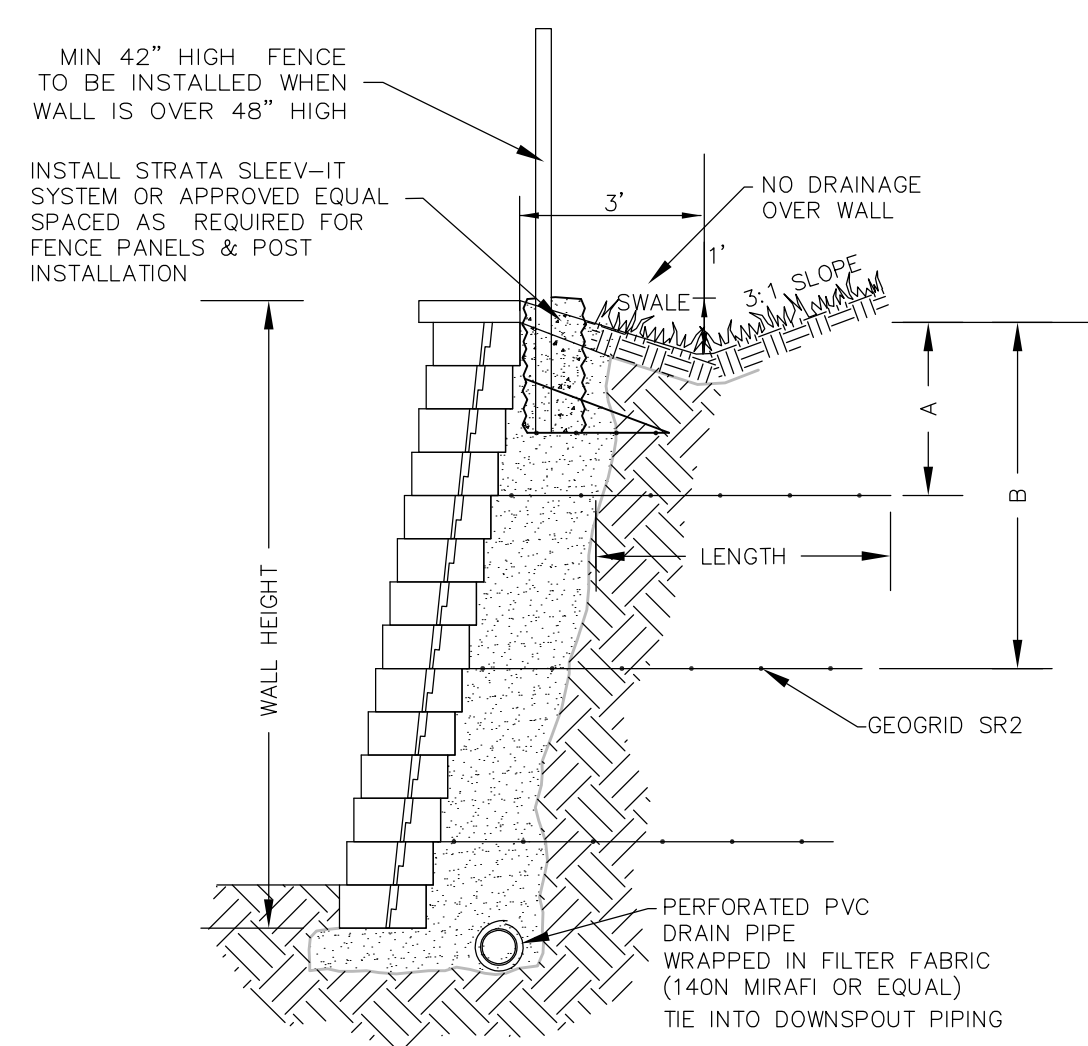


CURB RAMP DETAIL (TYPE 6)

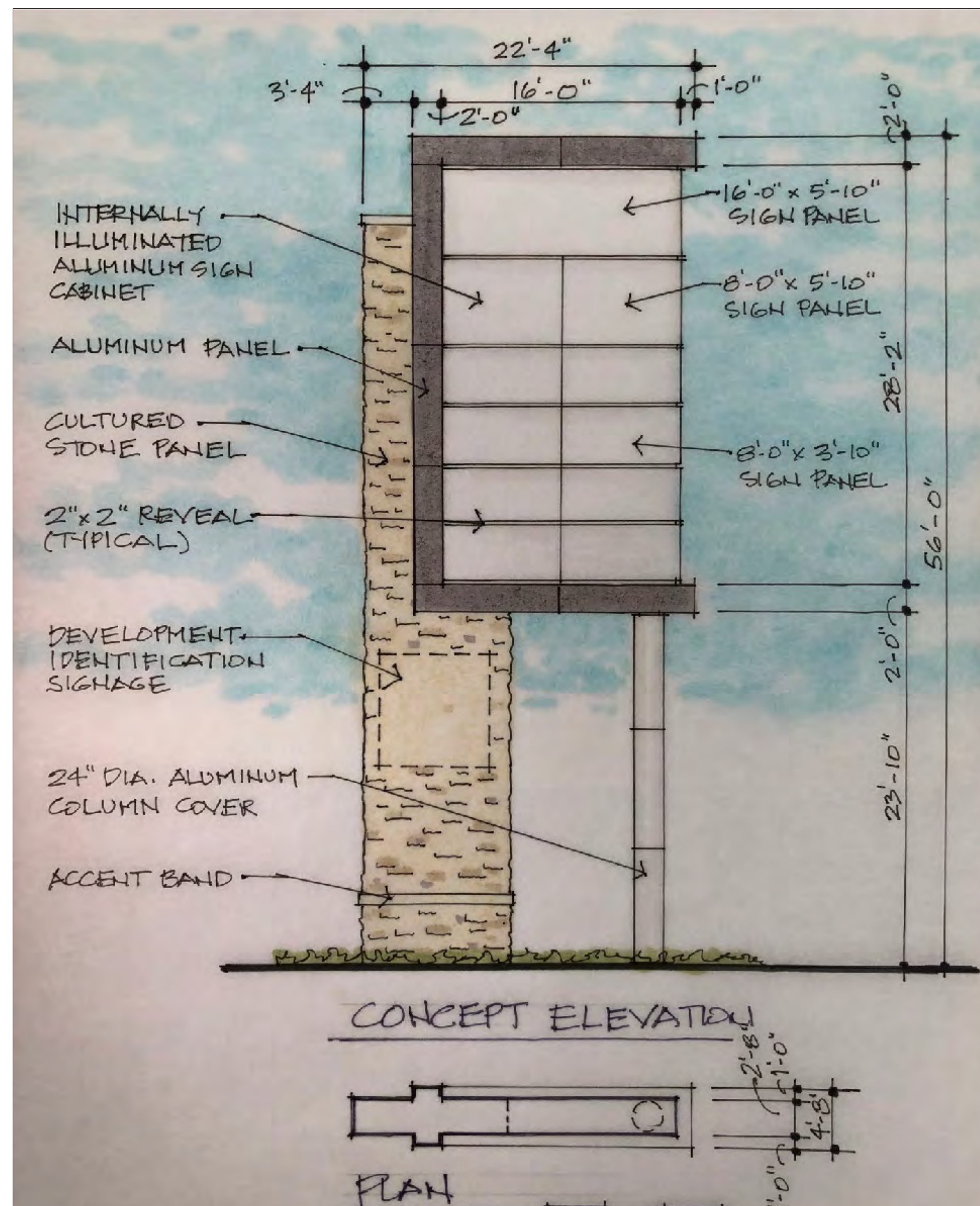


PARALLEL CURB RAMP - 6" VERTICAL CURB (TYPE 10)

9 CURB RAMP DETAIL
C7.0 SCALE : NTS



10 VERSA-LOK RETAINING WALL
C7.0 SCALE : NTS



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M.S.D. BASE MAP 17L/17K
LOC. NO. 17K430885
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ZIP CODE 63132

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DATE	REVISION
01/11/22	REVISED SKETCH/PRELIMINARY PLAT

SKETCH PLANS/PRELIMINARY PLAT FOR MARKET AT OLIVE
UNIVERSITY CITY, MO 63132

SITE DETAILS

SHEET TITLE: **C7.0**

JOB NUMBER: 3082
DRAWN BY: JRB
DATE: 11/19/21
CHECKED BY: JLW
DATE: 11/19/21

