



Department of Community Development

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 862-6767, Fax: (314) 862-3168

STAFF REPORT

MEETING DATE: February 23, 2022
FILE NUMBER: REZ 22-04
COUNCIL DISTRICT: 1
Applicant: Charles Deutsch and Company
Location: 8630 Delmar Boulevard
Request: A Zoning Map Amendment from GC – General Commercial District, HRO – High Density Residential/ Office District, MR – Medium Residential District and SR – Single-family Residential District to Planned Development Mixed-Use (PD-M) District.
Existing Zoning: GC, HRO, MR and SR Districts
Proposed Zoning: Planned Development Mixed-Use (PD-M) District
Existing Land Use: Multi-Family, Commercial, Single Family
Proposed Land Use: Mixed-use: Multifamily and Commercial

Surrounding Zoning and Land Use

North: MR – Medium Residential, GC – General Commercial
East: GC – General Commercial
South: HRO – High Density Residential/ Office, SR – Single-family Residential.
West: MR – Medium Residential, SR – Single-family Residential.

COMPREHENSIVE PLAN CONFORMANCE

Yes No No reference

PLAN COMMISSION RECOMMENDATION

Approval Approval with Conditions in Resolution Denial

ATTACHMENTS

- A. Final Development Plan
- B. Landscape Plan
- C. F.A.R. Calculation
- D. Parking Summary
- E. Site Coverage Data and Plan
- F. Avenir Program Data

- G. SW Building Corner vs. previous plan
- H. Building Rendering

Applicant's Request

GC – General Commercial District, HRO – High Density Residential/ Office District, MR – Medium Residential District and SR – Single-family Residential District to Planned Development Mixed-Use (PD-M) District. It is important to note that this property was previously rezoned to PD-M with the passage of Ordinance Number 7152 on May 24, 2021. Approval of this request would repeal Ordinance No. 7152.

There are differences between the original rezoning and the one before the Commission this evening:

1. The current Application does not include the lot at 8678 Barby Lane. The previous Map Amendment included this lot for ancillary parking purposes.
2. The previous plan had 265 units. This new plan includes 262 units.
3. In this revised plan, the southwest corner of the building is 47'8" further from Kingdel Drive than the previous plan, as illustrated in one of this report's attachments.
4. The coffee shop associated with the development is no longer in a separate building on the northeast corner of the site on its own lot. It is now proposed to be included in the northeast corner of the main building.
5. The original plan was divided into three separate lots: one for the main development, one for the coffee shop and one for auxiliary parking. This revised plan shows the development on one (1) lot.

Other previous versions of the Avenir Plan that were not reviewed by the Commission included parking and an entrance onto Kingdel Drive. This revised plan shows neither of those components.

There are a variety of attachments that the Applicant has provided, including:

1. The Final Development Plan
2. A Landscape Plan
3. F.A.R. Calculations
4. A Parking Summary
5. Site Coverage Data and Plan
6. Avenir Program Data
7. SW Building Corner vs. previous plan
8. Building Rendering.

Previous Staff Reports associated with earlier requests may prove helpful for additional background on the request. It was my intent in this report to focus on the changes to the development plan since the previous map amendment was approved.

As with the original rezoning, a Conditional Use permit is necessary for two (2) components of this development:

1. A reduced setback for the northwest corner of the building, near the intersection of Kingdel Drive and Delmar Boulevard; and
2. To maintain a Floor Area Ratio (FAR) of 1.09.

The same request for these two (2) conditions is also before the Commission this evening, as is a Final Record Plat consolidating the 13 lots into one.

Comprehensive Plan

It is staff's opinion that the proposed development is consistent with the goals and objectives of the University City Comprehensive Plan Update of 2005. Applicable sections from the Plan Update that support this opinion include:

Chapter 3, of the Comprehensive Plan Update of 2005, under Land Use and Redevelopment, as a general policy, states, *"The City will strongly support development(s) that promote desirable planning concepts such as neighborhood-serving, mixed uses and transit-oriented development and enhance the pedestrian character of the City."*

Conclusion/Recommendation

Staff recommends approval of the Applicant's proposed Map Amendment, Final Development Plan and Landscape Plan.

GENERAL NOTES:

- 1. THIS SITE IS WITHIN THE FOLLOWING DISTRICTS AND UTILITY SERVICE AREAS: METROPOLITAN ST. LOUIS SEWER DISTRICT, UNIVERSITY CITY FIRE PROTECTION DISTRICT, UNIVERSITY CITY SCHOOL DISTRICT, MISSOURI AMERICAN WATER COMPANY, AMEREN UE, SEC COMPANY, SPIRE, CHARTER COMMUNICATIONS. 2. SANITARY SEWER CONSTRUCTION AND CONNECTIONS SHALL BE AS APPROVED BY THE METROPOLITAN ST. LOUIS SEWER DISTRICT AND IN ACCORDANCE WITH THE STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWERS AND DRAINAGE FACILITIES. 3. STORM WATER SYSTEM SHALL BE DESIGNED PURSUANT TO THE CITY OF UNIVERSITY CITY AND METROPOLITAN ST. LOUIS SEWER DISTRICT REQUIREMENTS AND DISCHARGE AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS. 4. NO SLOPES SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL), UNLESS JUSTIFIED BY GEOTECHNICAL REPORT WHICH HAS BEEN ACCEPTED/APPROVED BY THE CITY OF UNIVERSITY CITY. 5. THE LOCATION OF STORM AND SANITARY SEWER IMPROVEMENTS ARE APPROXIMATE ONLY. ACTUAL LOCATION SHALL BE DETERMINED BY FIELD CONDITIONS AND SHALL BE INDICATED ON THE IMPROVEMENT PLANS. 6. GRADING SHALL BE PER CITY OF UNIVERSITY CITY STANDARDS. SOURCE OF TOPOGRAPHY- FIELD SURVEY. 7. NEAREST MAJOR INTERSECTION IS DELMAR BLVD. AND I-170. 8. ALL SIDEWALKS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY ADA AND THE CITY OF UNIVERSITY CITY STANDARDS. 9. ALL PROPOSED IMPROVEMENTS WITHIN ST. LOUIS COUNTY RIGHT-OF-WAY SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS. 10. ALL GRADING AND DRAINAGE WITHIN ST. LOUIS COUNTY RIGHT-OF-WAY TO BE IN CONFORMANCE WITH ST. LOUIS COUNTY AND MSD STANDARDS. 11. NO SLOPE(S) WITHIN ST. LOUIS COUNTY RIGHT-OF-WAY SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL). 12. PRIOR TO SPECIAL USE PERMIT ISSUANCE BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC, A SPECIAL CASH ESCROW OR A SPECIAL ESCROW SUPPORTED BY AN IRREVOCABLE LETTER OF CREDIT, MUST BE ESTABLISHED WITH THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC TO GUARANTEE COMPLETION OF THE REQUIRED ROADWAY IMPROVEMENTS. 13. PROVIDE A SIDEWALK ACCORDING TO ADA STANDARDS ALONG DELMAR BLVD.

SITE INFORMATION

LOCATOR NUMBER: SEE TABLE BELOW
EXISTING ZONING: MR (LOTS 4-11), SR (LOTS 1-3, 14-17), HRO (LOT 13), GC (LOT 12)
PROPOSED ZONING: PD-M (PLANNED DEVELOPMENT MIXED USE)
PROPOSED USE: APARTMENT BUILDING, COFFEE SHOP
EXISTING PARCELS 1-17: 5.9711 ACRES
GROSS AREA OF SITE: 5.9711 ACRES TOTAL
R.O.W. TO BE VACATED: 0.3296 ACRES
R.O.W. TO BE DEDICATED: 0.0964 ACRES
PROPOSED LOT AREA (INCLUDING 0.2019 AC. DELMAR R.O.W. VACATION): 5.9711+0.3296-0.0964= 6.2043 ACRES TOTAL
PROPOSED LOT AREA (EXCLUDING 0.2019 AC. DELMAR R.O.W. VACATION): 5.9711+0.1277-0.0964= 6.0024 ACRES TOTAL
LOT DEVELOPMENT REQUIREMENTS: FRONT YARD SETBACK=30', SIDE YARD SETBACK=5', REAR YARD SETBACK=30'
FLOOD MAP: NO FLOODPLAIN IS PRESENT ON THIS PARCEL
FEPA PANEL 29189C0211K DATED: FEB. 4, 2015
PARKING SPACES REQUIRED: 469 SPACES TOTAL
APARTMENT COMPLEX (262 UNIT): 404 SPACES
COFFEE SHOP: 17 SPACES
FOR MPAL: 40 SPACES
FOR BRENTMOOR: 8 SPACES
SURFACE PARKING PROVIDED: 125 SPACES
GARAGE PARKING PROVIDED: 396 SPACES
TOTAL PARKING PROVIDED: 521 SPACES
SEE ARCHITECTURAL PLANS FOR DETAILED PARKING CALCULATIONS

LINE TABLE with columns: NO., BEARING, DISTANCE. Rows L1 through L9.

CURVE TABLE with columns: NO., RADIUS, LENGTH, CHORD. Rows C1 through C7.

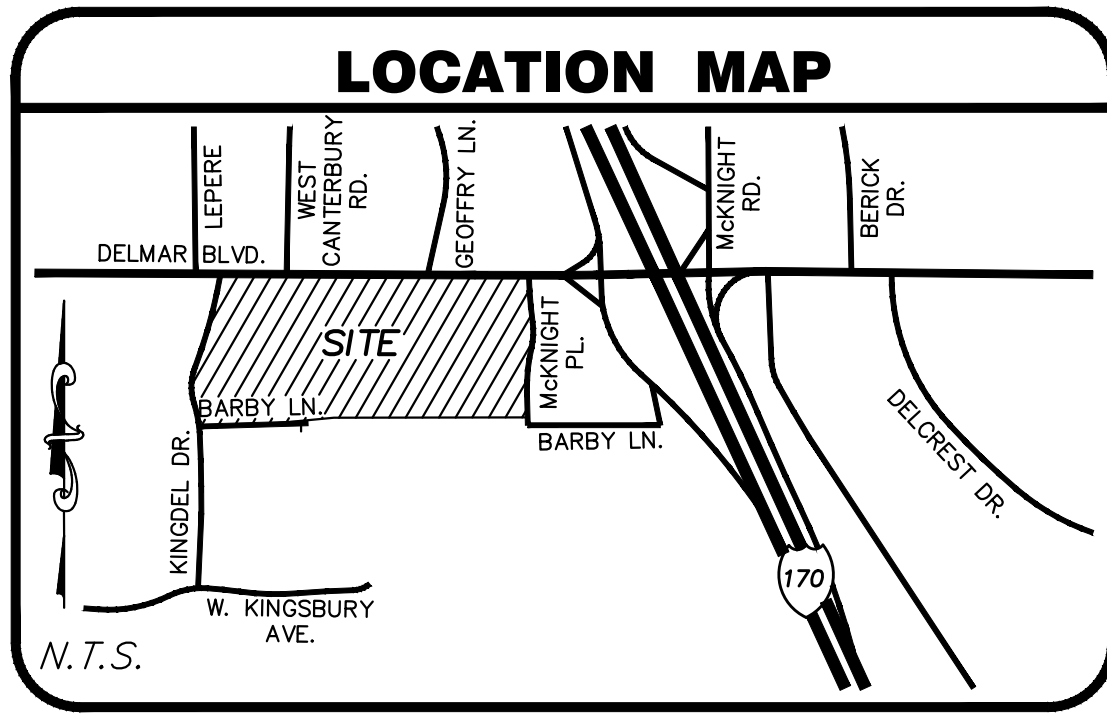
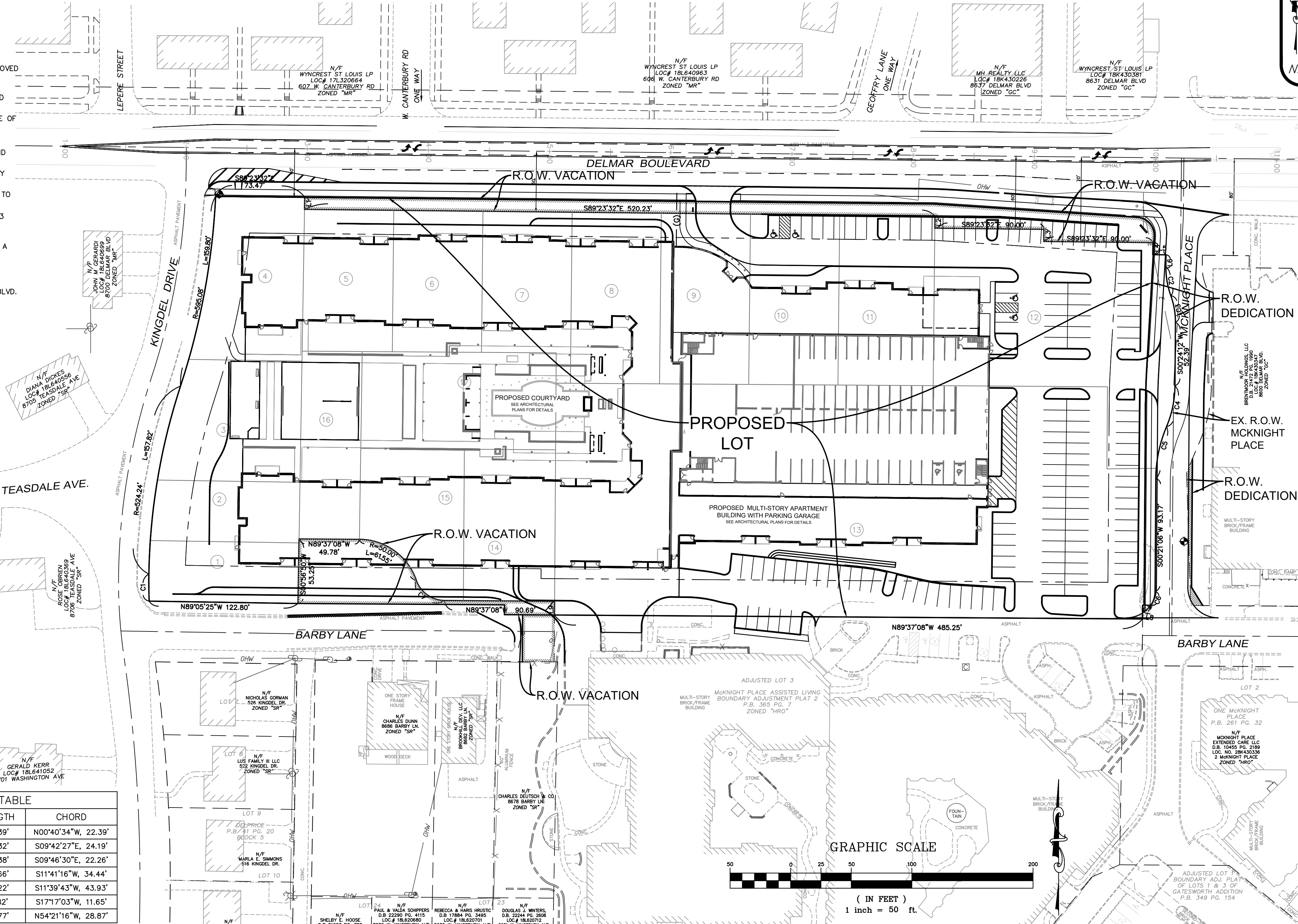
TABLE A - PARCEL INFORMATION with columns: PARCEL #, OWNER N/F, RECORDED, ASSESSOR ID, ADDRESS, AREA. Rows 1 through 17.

PROPERTY DESCRIPTION (PARCELS 1-17):

A TRACT OF LAND BEING ALL OF LOTS 1-5 OF DELPRICE, RECORDED IN PLAT BOOK 41 PAGE 20 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS, ALL OF LOTS 14 AND 15 OF BARBY LANE, RECORDED IN PLAT BOOK 61 PAGE 30 OF SAID RECORDS, ALL OF ADJUSTED LOT 4 OF MCKNIGHT PLACE ASSISTED LIVING BOUNDARY ADJUSTMENT PLAT 2, RECORDED IN PLAT BOOK 365 PAGE 7 OF SAID RECORDS, AND SEVERAL TRACTS OF LAND LOCATED IN SECTION 8, TOWNSHIP 45 NORTH, RANGE 6 EAST, ALL LOCATED IN SECTION 8, TOWNSHIP 45 NORTH, RANGE 6 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF UNIVERSITY CITY, ST. LOUIS COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF ABOVE SAID LOT 1 OF DELPRICE, SAID CORNER BEING THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF KINGDEL DRIVE (50 FEET WIDE) AND THE SOUTH RIGHT-OF-WAY LINE OF DELMAR BOULEVARD (80 FEET WIDE); THENCE ALONG THE SOUTH RIGHT-OF-WAY LINE OF DELMAR BOULEVARD (WIDTH VARIES) THE FOLLOWING COURSES AND DISTANCES: SOUTH 89°23'32" EAST, 73.47 FEET TO THE NORTHEAST CORNER OF SAID LOT 1; ALONG THE EAST LINE OF SAID LOT 1, SOUTH 00°36'50" WEST, 10.00 FEET; SOUTH 89°23'32" EAST, 520.23 FEET; SOUTH 00°36'50" WEST, 10.00 FEET; SOUTH 89°23'32" EAST, 90.00 FEET; SOUTH 00°36'28" WEST, 10.00 FEET; SOUTH 89°23'32" EAST, 10.98 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF MCKNIGHT PLACE (WIDTH VARIES); THENCE LEAVING SAID SOUTH RIGHT-OF-WAY LINE AND ALONG SAID WEST RIGHT-OF-WAY LINE OF MCKNIGHT PLACE THE FOLLOWING COURSES, DISTANCES AND CURVES: SOUTH 00°32'17" WEST, 9.93 FEET TO A POINT OF CURVATURE; THENCE ALONG A CURVE TO THE LEFT WITH A RADIUS OF 68.00 FEET, WHOSE CHORD BEARS SOUTH 09°42'27" EAST, 24.19 FEET, AN ARC DISTANCE OF 24.32 FEET TO A POINT OF REVERSE CURVATURE; ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 63.00 FEET, WHOSE CHORD BEARS SOUTH 09°46'30" EAST, 22.26 FEET, AN ARC DISTANCE OF 22.38 FEET TO A POINT OF TANGENCY; SOUTH 00°24'12" WEST, 52.39 FEET TO A POINT OF CURVATURE; ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 68.00 FEET, WHOSE CHORD BEARS SOUTH 11°19'43" WEST, 34.44 FEET, AN ARC DISTANCE OF 34.66 FEET TO A POINT OF REVERSE CURVATURE; ALONG A CURVE TO THE LEFT WITH A RADIUS OF 112.00 FEET, WHOSE CHORD BEARS SOUTH 11°39'43" WEST, 43.93 FEET, AN ARC DISTANCE OF 44.22 FEET TO A POINT OF TANGENCY; SOUTH 00°21'06" WEST, 9.31 FEET TO A POINT OF CURVATURE; AND ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 20.00 FEET, WHOSE CHORD BEARS SOUTH 17°17'03" WEST, 11.65 FEET, AN ARC DISTANCE OF 11.82 FEET TO THE NORTH RIGHT-OF-WAY LINE OF BARBY LANE (50 FEET WIDE); THENCE LEAVING SAID WEST RIGHT-OF-WAY LINE AND ALONG SAID NORTH RIGHT-OF-WAY LINE OF BARBY LANE, SAID LINE BEING NON-TANGENT TO THE PREVIOUS COURSE, NORTH 89°37'08" WEST, 6.78 FEET TO A POINT; THENCE LEAVING SAID NORTH RIGHT-OF-WAY LINE, SOUTH 00°22'52" WEST, 11.36 FEET TO THE NORTHEAST CORNER OF ADJUSTED LOT 3 OF ABOVE SAID MCKNIGHT PLACE ASSISTED LIVING BOUNDARY ADJUSTMENT PLAT 2; THENCE ALONG THE NORTH LINE OF SAID ADJUSTED LOT 3, SAID LINE ALSO BEING THE SOUTH LINE OF ABOVE SAID ADJUSTED LOT 4, NORTH 89°37'08" WEST, 485.25 FEET TO THE SOUTHWEST CORNER OF SAID ADJUSTED LOT 4; THENCE LEAVING LAST SAID LINE AND ALONG THE WEST LINE OF SAID ADJUSTED LOT 4, NORTH 00°22'52" WEST, 11.36 FEET TO THE SOUTHWEST CORNER OF SAID ADJUSTED LOT 14, SAID CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF BARBY LANE (50 FEET WIDE); THENCE LEAVING LAST SAID WEST LINE AND ALONG THE NORTH AND WEST RIGHT-OF-WAY LINES OF SAID BARBY LANE THE FOLLOWING COURSES, DISTANCES AND CURVES: NORTH 89°37'08" WEST, 90.69 FEET TO A POINT OF CURVATURE; ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 25.00 FEET, WHOSE CHORD BEARS NORTH 54°21'16" WEST, 28.87 FEET, AN ARC DISTANCE OF 30.77 FEET TO A POINT OF REVERSE CURVATURE; ALONG A CURVE TO THE LEFT WITH A RADIUS OF 50.00 FEET, WHOSE CHORD BEARS NORTH 54°21'16" WEST, 57.74 FEET, AN ARC DISTANCE OF 61.55 FEET TO A POINT OF TANGENCY; NORTH 89°37'08" WEST, 49.78 FEET TO A POINT ON THE EAST LINE OF LOT 4 OF ABOVE SAID DELPRICE; SOUTH 00°56'50" WEST, 53.25 FEET TO THE SOUTHWEST CORNER OF LOT 5 OF SAID DELPRICE; AND NORTH 89°05'25" WEST, 122.80 FEET TO THE SOUTHWEST CORNER OF SAID LOT 5, SAID CORNER ALSO BEING ON SAID EAST RIGHT-OF-WAY LINE OF KINGDEL DRIVE; THENCE LEAVING SAID NORTH AND WEST RIGHT-OF-WAY LINES OF BARBY LANE AND ALONG SAID EAST RIGHT-OF-WAY LINE OF KINGDEL DRIVE THE FOLLOWING COURSES: ALONG A CURVE TO THE RIGHT BEING NON-TANGENTIAL TO THE PREVIOUS COURSE, WITH A RADIUS OF 397.57 FEET, WHOSE CHORD BEARS NORTH 09°40'34" WEST, 22.39 FEET, AN ARC DISTANCE OF 22.39 FEET TO A POINT OF COMPOUND CURVATURE; ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 524.24 FEET, WHOSE CHORD BEARS NORTH 09°33'42" EAST, 157.23 FEET, AN ARC DISTANCE OF 157.82 FEET TO A POINT OF REVERSE CURVATURE; AND ALONG A CURVE TO THE LEFT WITH A RADIUS OF 595.08 FEET, WHOSE CHORD BEARS NORTH 10°29'36" EAST, 159.32 FEET, AN ARC DISTANCE OF 159.80 FEET TO THE POINT OF BEGINNING AND CONTAINS 260,100 SQUARE FEET OR 5.971 ACRES, MORE OR LESS ACCORDING TO SURVEY PERFORMED BY THE STERLING COMPANY DURING THE MONTHS OF SEPTEMBER AND OCTOBER, 2019 UNDER ORDER NUMBER 19-09-308.

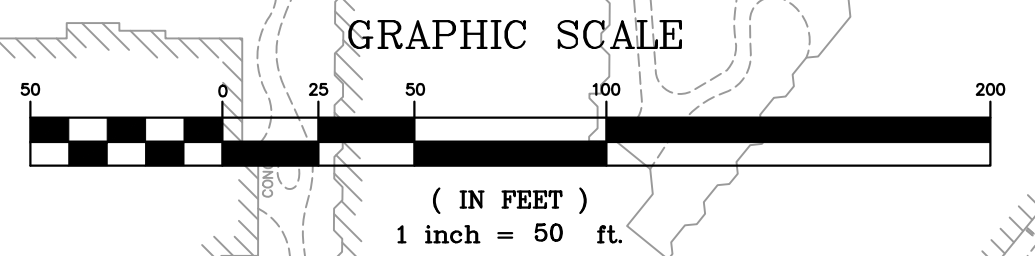
AVENIR

SEVERAL TRACTS OF LAND LOCATED IN SECTION 8, TOWNSHIP 45 NORTH, RANGE 6 EAST CITY OF UNIVERSITY CITY, ST. LOUIS COUNTY, MISSOURI FINAL DEVELOPMENT PLAN



PROJECT ZIP CODE 63124

LEGEND with columns for EXISTING and PROPOSED symbols for contours, elevations, buildings, fences, sewers, manholes, etc.



MISSOURI ONE CALL SYSTEM logo and text: CALL BEFORE YOU DIG! 1-800-DIG-RITE

SHEET INDEX table with columns: No., Description. Rows 1.1 COVER SHEET, 2.1 SITE PLAN, 2.2 GRADING PLAN, 3.1-3.2 SITE SECTIONS. Includes job number 19-09-308, date 2/15/2022, and sheet 1.1 of 1.

ISSUE REMARKS/DATE table with one row: 1 2-15-2022 INITIAL SUBMITTAL

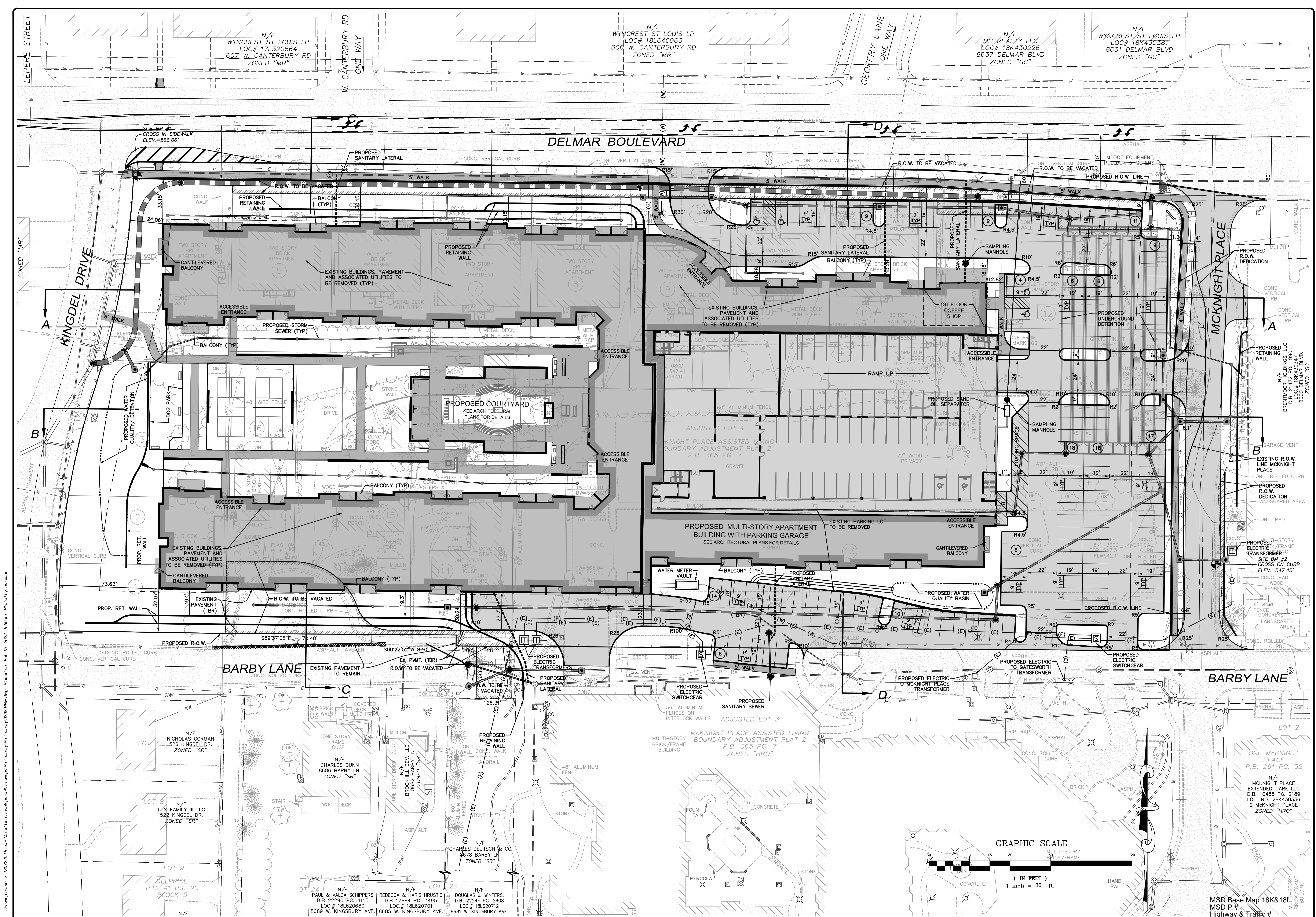
GATECO DEVELOPMENT One McKnight Place St. Louis, MO 63124 Ph: (314) 372-2279

THE STERLING CO. ENGINEERS & SURVEYORS 5055 New Baumgartner Road St. Louis, Missouri 63120 Ph: 314-487-0440 Fax: 314-487-8944 www.sterling-eng-sur.com Corporate Certificate of Authority #001948

Avenir University City, Missouri FINAL DEVELOPMENT PLAN COVER SHEET

Professional Engineer seal for Rodney Arnold, License No. PE 2002016612, Missouri State seal.

FINAL DEVELOPMENT PLAN Date: 2/15/2022 RODNEY ARNOLD License No. PE 2002016612 Professional Engineer Job Number: 19-09-308 Date: 2/15/2022 Designed: RA Sheet 1.1 Drawn: BM Checked: RA FDP



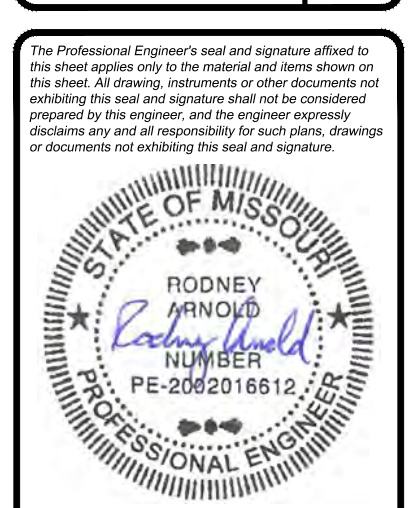
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ISSUE	REMARKS/DATE
1	2-15-2022 INITIAL SUBMITTAL

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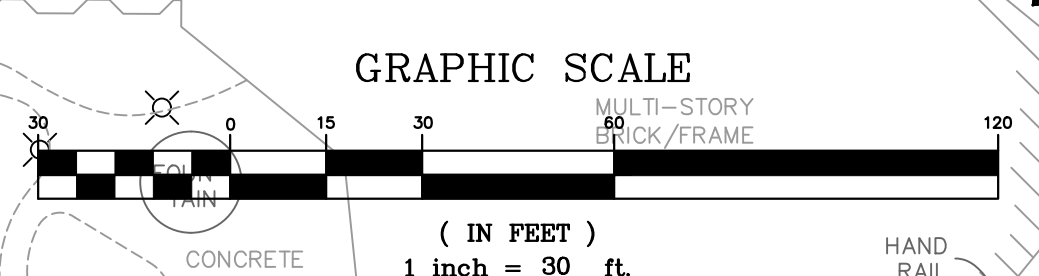
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Avenir
 University City, Missouri
 FINAL DEVELOPMENT PLAN
 SITE PLAN

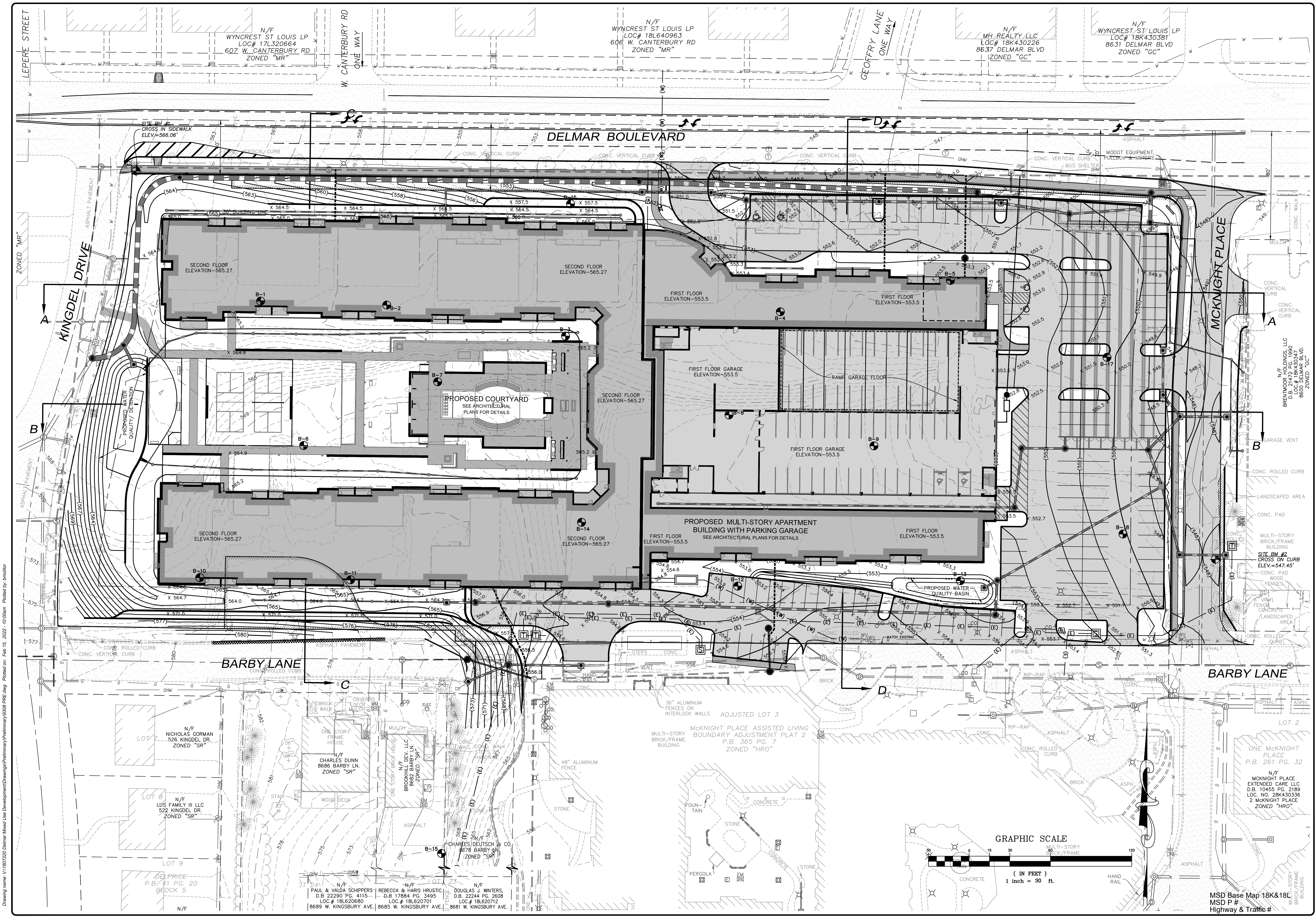


FINAL DEVELOPMENT PLAN
 Date: 2/15/2022
 RODNEY ARNOLD
 License No. PE 2002016612
 Professional Engineer

Job Number	19-09-308
Date	2/15/2022
Designed: RA	Sheet 2.1
Drawn: BM	FDP
Checked: RA	



MSD Base Map 18K&18L
 Highway & Traffic #



Drawing name: V11807220 Delmar Mixed Use Development Drawings/Preliminary/8308 PRE.dwg Plotted on: Feb 15, 2022 - 10:00am Plotted by: timothy

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1	2-15-2022 INITIAL SUBMITTAL

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Avenir
University City, Missouri
FINAL DEVELOPMENT PLAN
GRADING PLAN

The Professional Engineer seal and signature shown on this sheet apply only to the material and items shown on the sheet. All changes, instructions or other documents not embodying the seal and signature shall not be considered approved by the engineer, and the engineer hereby disclaims any and all responsibility for such plans, drawings or documents not embodying the seal and signature.

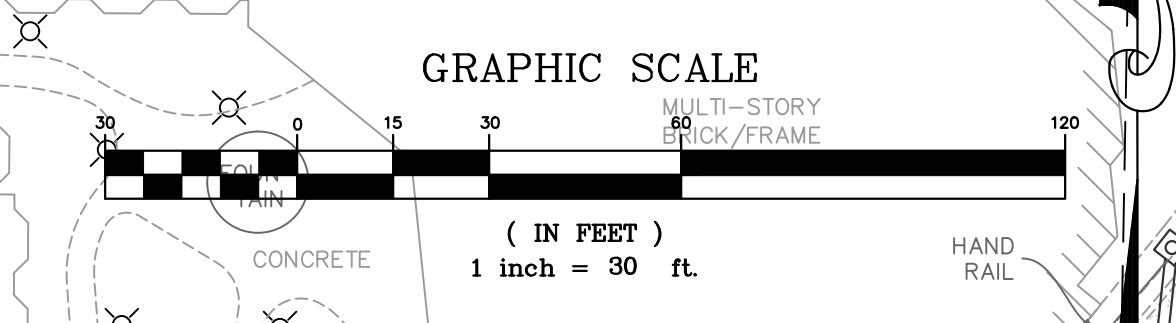
STATE OF MISSOURI
RODNEY ARNOLD
NUMBER
PE-2002016612
PROFESSIONAL ENGINEER

FINAL DEVELOPMENT PLAN
Date: 2/15/2022
RODNEY ARNOLD
License No. PE 2002016612
Professional Engineer

Job Number
19-09-308

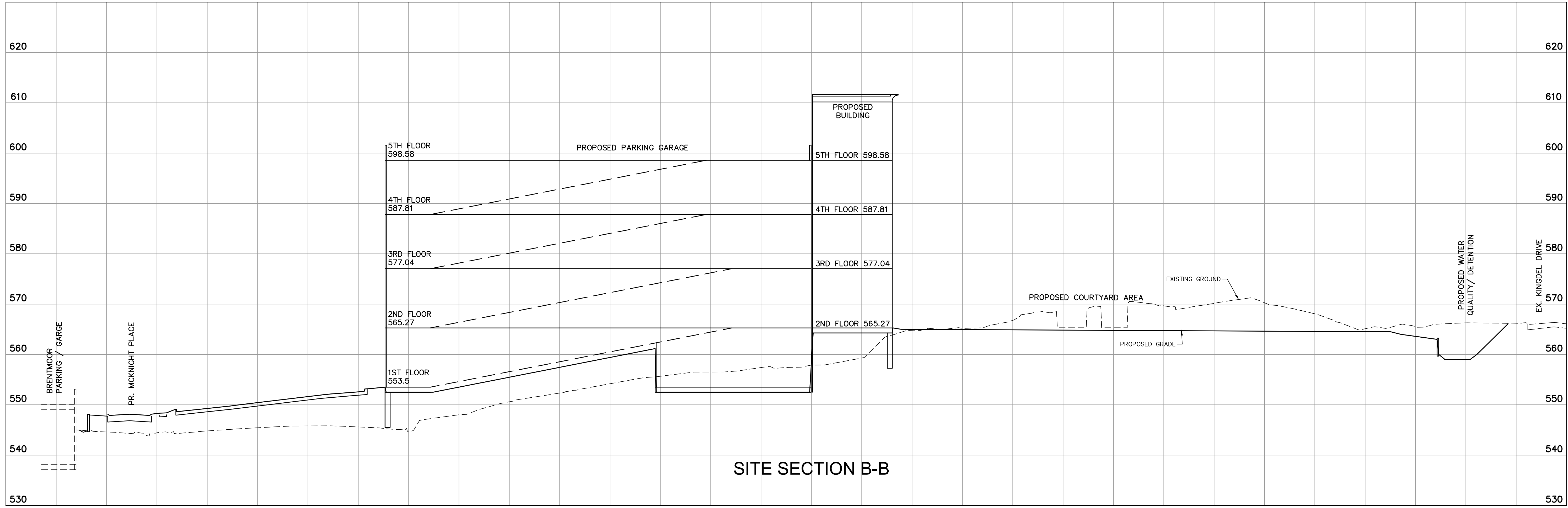
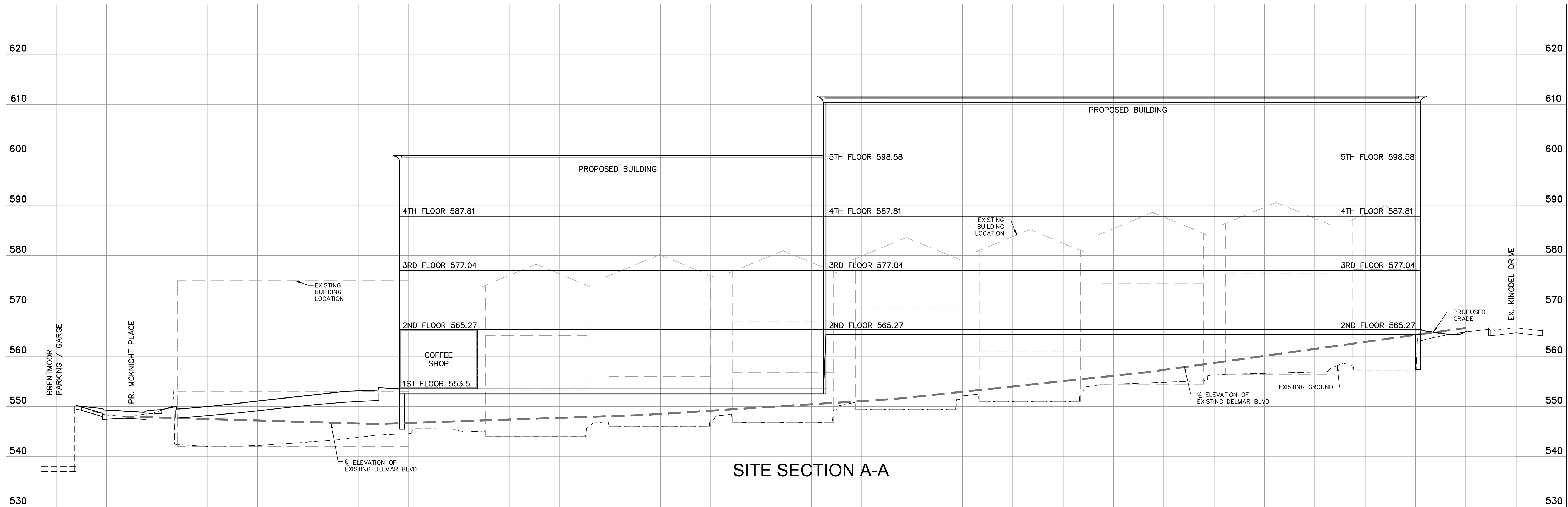
Date
2/15/2022

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Checked: RA FDP



MSD Base Map 18K&18L
MSD P #
Highway & Traffic #

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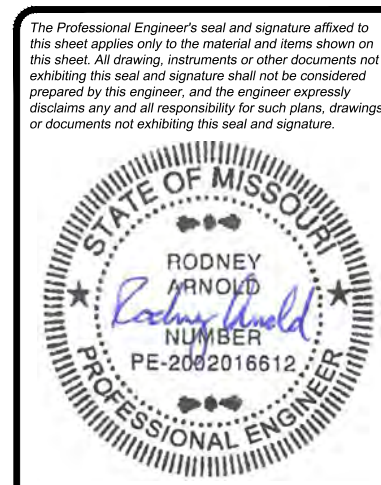
MSD Base Map 18K&18L
Highway & Traffic #

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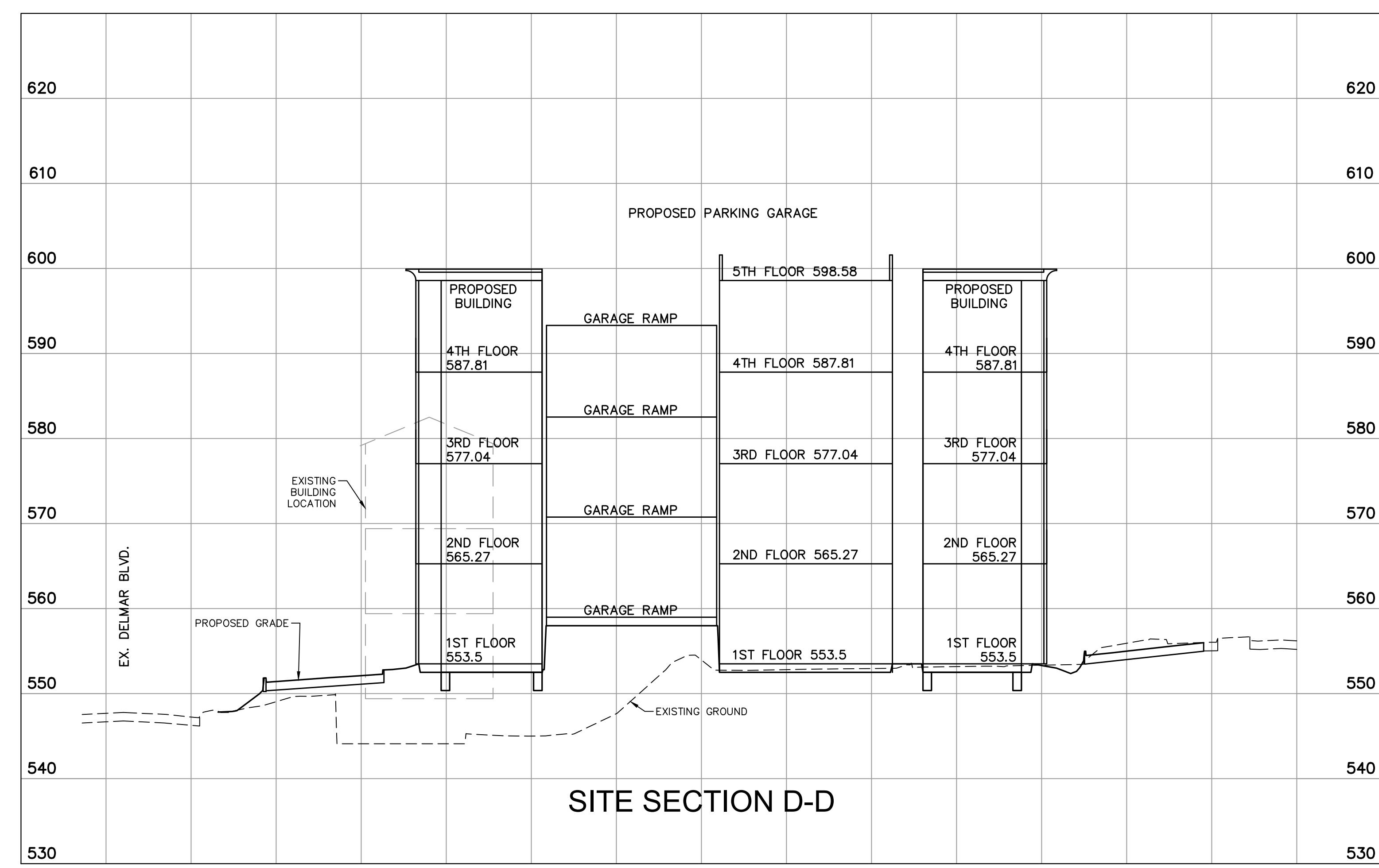
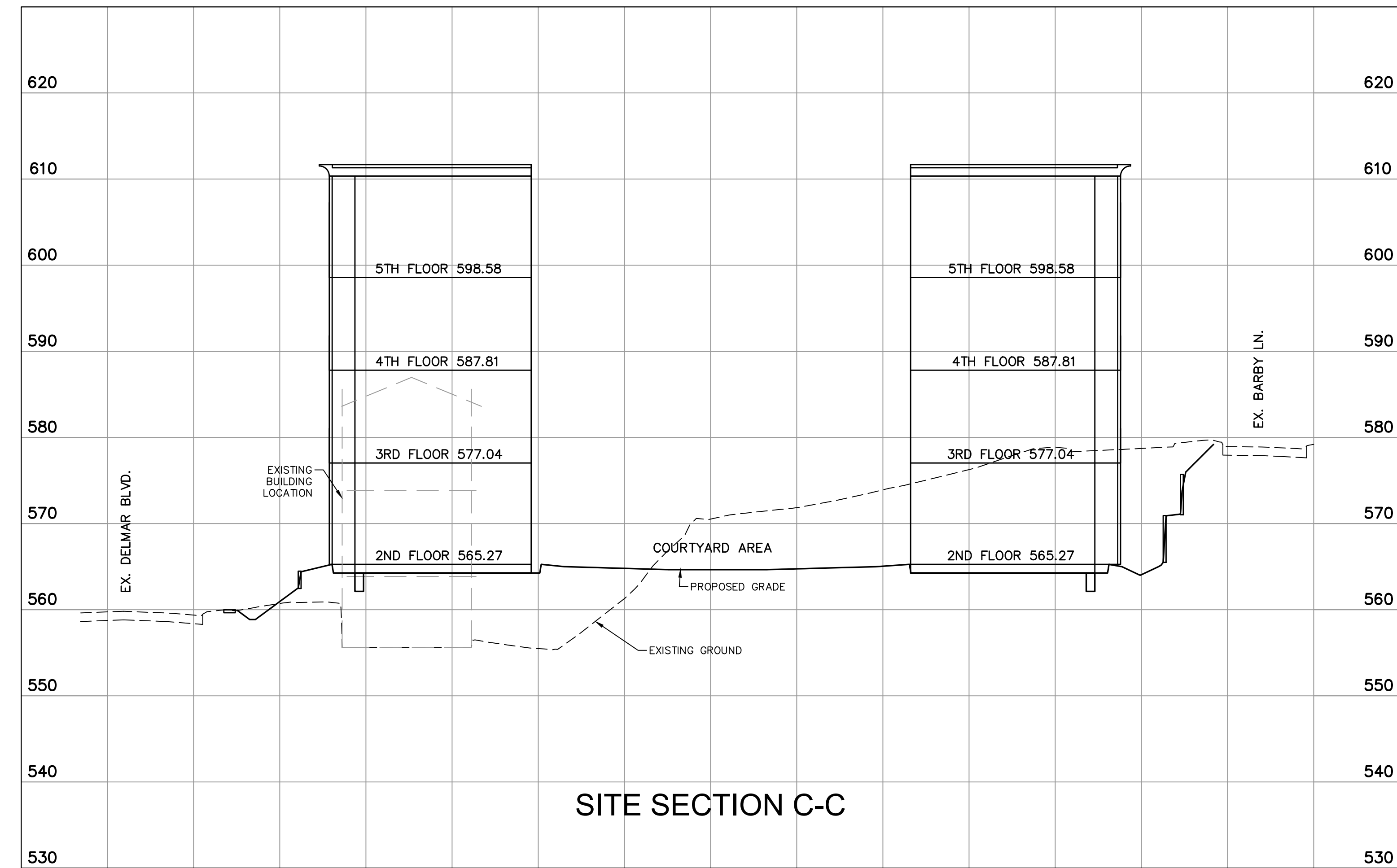
Avenir
University City, Missouri
FINAL DEVELOPMENT PLAN
SITE SECTIONS



FINAL DEVELOPMENT PLAN
Date: 2/15/2022
RODNEY ARNOLD
License No. PE 2002016612
Professional Engineer

Job Number	19-09-308
Date	2/15/2022
Designed: RA	Sheet
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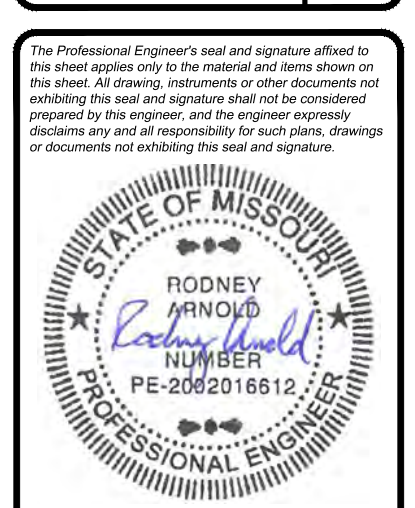


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Avenir
 University City, Missouri
FINAL DEVELOPMENT PLAN
SITE SECTIONS



FINAL DEVELOPMENT PLAN
 Date: 2/15/2022
 RODNEY ARNOLD
 License No. PE 2002016612
 Professional Engineer

Job Number	19-09-308
Date	2/15/2022
Designed: RA	Sheet
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Checked: RA	FDP

MSD Base Map 18K&18L
 MSD P #
 Highway & Traffic #

GENERAL NOTES:

1. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS PERFORMING WORK ON THE SITE.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO ACCOMPLISH THIS WORK. THE CONTRACTOR SHALL COVER THE COST OF ALL PERMITS AS A PART OF HIS BID.
3. THE CONTRACTOR SHALL VERIFY ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE.
4. THE CONTRACTOR SHALL LOCATE, MARK, AND VERIFY ALL EXISTING AND NEWLY INSTALLED UTILITIES, BOTH HORIZONTAL AND VERTICAL PRIOR TO BEGINNING WORK TO ENSURE CLEARANCE OF ANY SITE WORK AND SHALL IMMEDIATELY REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT AND OWNERS REPRESENTATIVE.
5. DO NOT DISTURB ANY UTILITIES WITHOUT THE PERMISSION OF THE OWNERS REPRESENTATIVE.
6. USE OF EXPLOSIVES AND BURNING IS NOT PERMITTED ON THE JOB SITE.
7. SIGNS, LIGHTS, AND BARRICADES SHALL BE INSTALLED AT LOCATIONS AS NECESSARY TO MAINTAIN A SAFE WORK SITE. CONTRACTOR SHALL FOLLOW THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
8. SITUATION AND EROSION CONTROL DEVICES SHALL BE INSTALLED, AS REQUIRED, SEE CIVIL PLANS. PRIOR TO ANY GRADING OPERATIONS AND SHALL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS UNTIL SUFFICIENT VEGETATION HAS BEEN ESTABLISHED ON THE SITE TO PREVENT EROSION.
9. THE CONTRACTOR SHALL KEEP ALL EXISTING ROADWAYS AND SIDEWALKS CLEAN AND PAVEMENT THROUGHOUT CONSTRUCTION.
10. ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE LATEST OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS.
11. CONTRACTOR SHALL PROVIDE SAMPLES AND MOCK UPS OF ALL MATERIALS INCLUDED IN THE PROJECT AT THE REQUEST OF THE LANDSCAPE ARCHITECT AND OWNERS REPRESENTATIVE. SEE PLANS AND DETAILS.
12. ALL MATERIAL TYPES, COLORS, FINISHES, AND PROCESSES SHALL BE SELECTED AND APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNERS REPRESENTATIVE. SUFFICIENT TO COMPLETE THE CONSTRUCTION SHOWN ON THE DRAWINGS.
13. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE CONSTRUCTION SHOWN ON THE DRAWINGS.
14. ALL MATERIAL SHALL CONFORM TO THE ASTM GUIDELINES.
15. NO MATERIAL SUBSTITUTIONS WILL BE ACCEPTABLE WITHOUT WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
16. ALL DETAILS ILLUSTRATED ARE SUBJECT TO REVIEW BY THE PROJECT ENGINEER PRIOR TO CONSTRUCTION.
17. LANDSCAPE ARCHITECT SHALL INSPECT ALL STONE AND OTHER MATERIAL FOR ACCEPTANCE PRIOR TO INSTALLATION.
18. ALL AREAS THAT HAVE BEEN DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE RESTORED TO A NEAT CONDITION AT THE END OF EACH WORK DAY.
19. CONTRACTOR SHALL REMOVE ALL EXCESS SOIL, CONTAMINATED SOILS, ROCK, CLOUDS AND DEBRIS AS IT ACCUMULATES, ON A DAILY BASIS.
20. ALL QUESTIONS CONCERNING PLANS PREPARED BY THE LANDSCAPE ARCHITECT SHALL BE ADDRESSED IN WRITING TO THE LANDSCAPE ARCHITECT AND OWNERS REPRESENTATIVE.

TREE PROTECTION NOTES:

1. A TREE PROTECTION ZONE WILL BE ESTABLISHED AROUND EACH TREE OR ANY VEGETATION TO BE PRESERVED. THE TREE PROTECTION ZONE SHALL BE AN AREA DEFINED BY THE RADIUS EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE (1) LINEAR FOOT FOR EACH CALIPER INCH AT DBH. (A TREE WITH A 1.0 INCH CALIPER WILL HAVE A 1.0 FOOT RADIUS ROOT PROTECTION ZONE)
2. TREE PROTECTION FENCE SHALL BE INSTALLED AROUND ALL EXISTING TREES OR VEGETATION TO REMAIN ON THE SITE PRIOR TO ANY SITE PREPARATION OR CONSTRUCTION WORK AND MAINTAINED THROUGHOUT THE ENTIRE PROJECT. (SEE DETAIL)
3. SILT FENCING OR SOIL DIKES SHALL BE INSTALLED PRIOR TO ANY SITE PREPARATION OR CONSTRUCTION WORK AND MAINTAINED THROUGHOUT THE ENTIRE PROJECT TO PREVENT THE BUILDUP OF SEDIMENT WITHIN THE TREE PROTECTION ZONE. (SEE CIVIL DRAWINGS)
4. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK ON THE JOB SITE UNTIL THE TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
5. VEHICULAR PARKING, EQUIPMENT STORAGE, MATERIAL STORAGE, WASHOUT ACTIVITIES, FENCING, FLAGGING, FLAGGING MATERIAL, REMOVAL OF SOIL, OR ANY OTHER ACTIVITY SHALL BE STRICTLY PROHIBITED WITHIN THE TREE PROTECTION ZONE.
6. PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC, AND CONSTRUCTION EQUIPMENT SHALL BE PERFORMED BY A LICENSED ARBORIST UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT AND SHALL CONFORM TO ALL I.S.A. TREE PRUNING STANDARDS
7. NO WIRES, NAILS OR OTHER MATERIALS MAY BE ATTACHED TO ANY TREES ON SITE.
8. TREES MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. MAINTENANCE MAY INCLUDE WATERING THE ROOT PROTECTION ZONE AND/OR WASHING FOLIAGE DRINKED BY CONSTRUCTION ACTIVITIES.
9. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO TREES BY CONSTRUCTION ACTIVITY.
10. IF CONSTRUCTION MUST OCCUR WITHIN TREE PROTECTION AREA OR STRUCTURAL ROOT ZONE WILL BE DISTURBED, CONTACT LANDSCAPE ARCHITECT FOR APPROVAL AND DIRECTION. SPECIAL CONSTRUCTION METHODS MUST BE IMPLEMENTED.

PLANTING NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS AND LAWS PERTAINING TO THE INSPECTION OF PLANT MATERIAL FOR DISEASE AND INSECT INFESTATION.
2. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS. QUANTITIES IN PLANT SCHEDULE ARE FOR REFERENCE ONLY.
3. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANISZ60 1, 2004 FOR SIZE, SHAPE AND QUALITY OF PLANT AND ROOT BALL OR CONTAINER.
4. CONTRACTOR SHALL VERIFY THE PLANT MATERIAL IS PROPERLY LABELED, IS OF PROPER SIZE, AND HAS A WELL DEVELOPED BRANCH AND ROOT STRUCTURE, AND IS IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN.
5. DO NOT PRUNE PLANT MATERIAL PRIOR TO DELIVERY.
6. ALL SELECTED PLANT MATERIAL SHALL BE IMMEDIATELY REMOVED FROM THE JOB SITE AND REPLACED WITH COMPLYING PLANT MATERIAL.
7. NO PLANT OR CULTIVAR SUBSTITUTIONS WILL BE ACCEPTABLE WITHOUT WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
8. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINERS GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND.
9. LANDSCAPE ARCHITECT SHALL INSPECT PLANT MATERIAL FOR ACCEPTANCE PRIOR TO PLANTING.
10. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
11. LOCATIONS OF NEW PLANT MATERIAL SHALL BE STAKED OR SET OUT BY THE LANDSCAPE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
12. REFER TO PLANTING DETAILS AND/OR SPECIFICATIONS FOR INFORMATION RELATING TO PLANTING PIT DIMENSIONS AND EXTERIOR AND COMPOSITION OF BACKFILL MATERIAL.
13. TREES SHALL BEAR THE SAME RELATIONSHIP TO TREE PIT FINISH GRADE AS TO THE ORIGINAL GRADE, PRIOR TO DIGGING.
14. ACER RUBRUM, AND OTHER TREES SUBJECT TO GUNSCAD SHALL BE WRAPPED WITH NURSERY TREE WRAPPING PAPER, TAN IN COLOR, TAN SHINY FOSTAL TAPE SHALL BE TAPE AFTER THE WRAP TOP AND BOTTOM. DO NOT APPLY MANUFACTURERS TRADEMARKS FACING OUTWARD.
15. THE CONTRACTOR SHALL REMOVE ALL PLASTIC MATERIALS FROM AROUND THE ROOT BALLS OF THE PLANTS AFTER POSITIONING IN THE PLANT PITS. REMOVE BURDLE, ROPE, AND WIRE FROM AROUND THE TRUNKS AND FROM A MINIMUM OF THE TOP THIRD (1/3) OF THE ROOT BALL.
16. LANDSCAPE CONTRACTOR SHALL KILL AND REMOVE ALL EXISTING VEGETATION LOCATED IN PLANTING AREAS USING PRESCRIBED METHODS PRIOR TO PLANT INSTALLATION.
17. SOIL PREPARATION, FERTILIZATION, PLANTING, MULCHING, AND STAKING SHALL COMPLY WITH LANDSCAPE SPECIFICATIONS AND DETAILS.
18. ALL SOILS FOR PLANTING AREAS AND BERMS SHALL BE SUBJECT TO SOILS TESTING AND INSPECTION BY THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL SUPPLY SOURCE LOCATION OF SOILS AND SOIL TESTING REPORT AS SPECIFIED.
19. SOIL SHALL BE SILTY LOAM CONTAINING NO TOXIC CHEMICALS OR ELEMENTS WHICH MAY INHIBIT OR RETARD NORMAL PLANT GROWTH.
20. CONTRACTOR SHALL SUPPLY A SOIL TEST BY APPROVED STATE LAB TO DETERMINE SOIL FERTILITY. THE RESULTS OF THIS SOIL STUDY WILL SERVE AS THE RECOMMENDATIONS FOR ANY NECESSARY SOIL AMENDMENTS. SOIL SURVEY RESULTS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO SOIL PLACEMENT. ALL SOIL AMENDMENTS SHALL CONFORM TO INDUSTRY STANDARDS.
21. MULCH SHALL BE TRIPLE GROUND HARDWOOD, APPLY THREE (3) LAYER TO ALL PLANTING BEDS, A SIX (6) FOOT DIAMETER MULCH RING TO ALL TREES PLANTED IN LAWN AREA. DO NOT ALLOW MULCH TO COME IN CONTACT WITH THE TREE TRUNK OR PLANT GROW.
22. ALL TREES SHALL RECEIVE A COMMERCIAL TREE PROOF TRUNK GUARD, 4 INCH DIAMETER x 48 INCH TALL OF RIGID PLASTIC WITH 1/2" AIR LEAKDOWN.
23. ALL TREE PITS SHALL BE AMENDED WITH CERTIFIED COMPOST FROM A COMMERCIAL FACILITY.
24. ALL PLANTING BEDS AND AREAS WHERE BERMS MEET LAWN SHALL HAVE A GRADE CUT EDGE UNLESS OTHERWISE SPECIFIED OR INDICATED ON THE PLANS.
25. ALL AREAS THAT HAVE BEEN DISTURBED BY PLANTING ACTIVITY SHALL BE RESTORED TO A NEAT CONDITION.
26. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY THAT ARE NOT SHOWN TO BE PLANTED OR BUILT UPON SHALL BE SEDED, AS SPECIFIED.
27. THE CONTRACTOR SHALL WATER ALL PLANT MATERIALS TWICE WITHIN THE FIRST 24 HOURS FOLLOWING PLANTING AND SHALL BE RESPONSIBLE FOR SUPPLYING AN ADEQUATE WATER SUPPLY TO ALL NEWLY INSTALLED PLANTS IN ORDER TO INSURE ESTABLISHMENT.
28. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT & OWNERS REPRESENTATIVE UPON THE COMPLETION OF PLANTING ACTIVITIES. THE LANDSCAPE ARCHITECT & OWNERS REPRESENTATIVE SHALL PERFORM AN INSPECTION OF WORK AND CREATE A PUNCH LIST OF ADDITIONAL WORK REQUIRED. PLANTS ON A WATCH LIST & PLANTS REQUIRING REPLACEMENT INCLUDING THE SCHEDULE OF PLANT REPLACEMENTS.
29. LANDSCAPE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE TO THE OWNER THAT ALL PLANT MATERIAL WILL MAINTAIN GOOD COLOR AND HEALTHY GROWTH FOR THE SPECIFIED GUARANTEED PERIOD OF ONE YEAR, UNLESS OTHER WERE STATED IN THE SPECIFICATIONS. THE ONE YEAR WARRANTY PERIOD SHALL BEGIN UPON THE COMPLETION OF PUNCH LIST ITEMS.

IRRIGATION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, AND PAYING THE ACCOMPANYING FEES FOR, ALL PERMITS AND INSPECTIONS REQUIRED BY ANY AND ALL APPLICABLE GOVERNING AGENCIES FOR THE COMPLETION OF THE WORK.
2. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER CONTRACTORS PERFORMING WORK ON THE SITE.
3. THE CONTRACTOR SHALL VERIFY ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE.
4. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL PROPERTY LINES, RIGHT-OF-WAYS, AND EASEMENTS PRIOR TO BEGINNING ANY WORK AND SHALL CONFIRM THESE LOCATIONS WITH THE OWNERS REPRESENTATIVE.
5. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING AND NEWLY INSTALLED PERMANENT UTILITIES PRIOR TO BEGINNING WORK. SHALL IMMEDIATELY REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT AND OWNERS REPRESENTATIVE. ANY NECESSARY ADJUSTMENTS TO THE IRRIGATION SYSTEM TO ACCOMMODATE THE INFRASTRUCTURE.
6. THE CONTRACTOR SHALL SUPPLY A COMPLETE IRRIGATION PLAN AND SCHEDULE AS A PART OF THIS WORK. TO BE REVIEWED AND APPROVED BY OWNERS REPRESENTATIVE PRIOR TO BEGINNING WORK.
7. COMPLETED IRRIGATION SYSTEM SHALL INSURE FULL, 100% COVERAGE (MINIMUM HEAD TO HEAD) IN ALL AREAS TO RECEIVE IRRIGATION. IF COVERAGE IS INSUFFICIENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING SPRINKLER HEADS AND ASSOCIATED COMPONENTS AS REQUIRED TO ACHIEVE SUCH COVERAGE AT NO ADDITIONAL EXPENSE TO THE OWNER.
8. THE CONTRACTOR SHALL FURNISH ALL TEMPORARY SUPPORT, ADEQUATE PROTECTION AND MAINTENANCE OF ALL UNDERGROUND OR SURFACE UTILITY STRUCTURES, DRAINS, SEWERS, AND OTHER OBSTRUCTIONS ENCOUNTERED DURING THE PROGRESS OF WORK, WHETHER THESE UTILITIES ARE SHOWN ON THE DRAWINGS OR NOT. SUCH WORK SHALL BE CONSIDERED INCIDENTAL TO THE SCOPE OF THE PROJECT AND NO SEPARATE COMPENSATION SHALL BE PROVIDED FOR SUCH.
9. THE CONTRACTOR SHALL STAKE OUT THE LINES TO BE TRENCHED AND MEET WITH OWNERS REPRESENTATIVE TO OBTAIN APPROVAL PRIOR TO BEGINNING EXCAVATION WORK.
10. THE CONTRACTOR SHALL NOT TRENCH WITHIN THE DRIP LINE OF ANY EXISTING TREE NOR SHALL ANY EQUIPMENT BE PARKED OR MATERIAL BE STOCK PILED WITHIN THE DRIP LINE OF EXISTING TREES, INCLUDING EXCAVATED SOIL.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING THE SETTLING OF ANY & ALL TRENCHES AND SPRINKLER HEADS FOR A PERIOD OF ONE YEAR.
12. ALL CONSTRUCTION AND MATERIALS SHALL MEET ALL APPLICABLE ANSI, AWWA, & ASTM STANDARDS AND SPECIFICATIONS.
13. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING THE SYSTEM IN COMPLETE ACCORDANCE WITH ALL LOCAL CODES, ORDINANCES & LAWS AND THE LAWS & CODES OF ANY PUBLIC AGENCY HAVING JURISDICTION UPON THIS WORK.
14. THE CONTRACTOR SHALL INSTAL ALL SPRINKLER HEADS, VALVES, & OTHER SYSTEM COMPONENTS ACCORDING TO MANUFACTURERS SPECIFICATIONS WITH REGARD TO DEPTH & DISTANCE BETWEEN HEADS. ANY MODIFICATION MADE TO CONFORM TO SAID CODES, LAWS, ORDINANCES AND SPECIFICATIONS SHALL BE COMPLETED AT THE CONTRACTORS EXPENSE WITH NO ADDITIONAL COMPENSATION.
15. ALL AREAS THAT HAVE BEEN DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE RESTORED TO A NEAT CONDITION.
16. SEE MECHANICAL PLANS FOR THE LOCATION OF BACKFLOW PREVENTOR AND IRRIGATION CONTROL VALVE. FINAL LOCATION SUBJECT TO APPROVAL BY BUILDING ARCHITECT AND OWNERS REPRESENTATIVE.
17. THE CONTRACTOR SHALL WINTERIZE THE IRRIGATION SYSTEM THE FIRST YEAR FOLLOWING INSTALLATION AND SHALL REVIEW THIS PROCEDURE AND ANY OTHER TYPICAL MAINTENANCE PROCEDURES WITH THE OWNERS REPRESENTATIVE AND THE OWNERS MAINTENANCE STAFF.

LAWN NOTES: (SEE SPECIFICATIONS FOR THOROUGH GUIDELINES)

1. THE LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS PERFORMING WORK ON THE SITE.
2. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE.
3. THE LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK AND SHALL IMMEDIATELY REPORT ANY CONFLICTS TO THE OWNERS REPRESENTATIVE.
4. ALL DISTURBED AREAS, FILLS AND EMBANKMENTS OF THE SITE THAT ARE NOT SHOWN TO BE PLANTED, SODDED, PAVED, OR BUILT UPON SHALL BE SEDED AND FERTILIZED.
5. LAWN SEEDING AND FERTILIZATION SHALL BE DONE BETWEEN THE PERIOD OF AUGUST 15 AND SEPTEMBER 30 OR FEBRUARY 15 AND MAY 1, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
6. IF CONSTRUCTION IS COMPLETED BETWEEN MAY 1 AND AUGUST 15 OR SEPTEMBER 30 & FEBRUARY 15 A COVER CROP SHALL BE SOWN IN THE LAWN AREAS UNTIL THE LAWN CAN BE SEDED. SEE ABOVE FOR ALLOWABLE SEEDING SCHEDULE. COVER CROP SHALL BE SELECTED BY THE LANDSCAPE ARCHITECT.
7. REMOVE AND DISPOSE OF ALL EXISTING GRASSES & WEEDY VEGETATION IN AREAS TO BE SEDED. DO NOT TURN OVER INTO AREAS TO BE SEDED.
8. TILL LAWN AREA TO 6 INCHES IN DEPTH; DO NOT TILL WITHIN THE DRIP LINE EXISTING TREES. REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
9. WHEN SEEDING BENEATH THE CANOPY OF EXISTING TREES, DO NOT MECHANICALLY TILL. INSTEAD, CORE AERATE THE AREA TO BE SEDED IF THE SOIL IS COMPACTED. BEGIN CORE AERATION 10 FEET FEET) OUT FROM TRUNK OF EXISTING TREE.
10. SPREAD TOPSOIL & INITIAL SOIL AMENDMENTS EVENLY AND TILL INTO TOP 4" OF SOIL. DO NOT TILL UNDER THE CANOPY OF EXISTING TREES. DO NOT ADD MORE CANOPY OF EXISTING TREES. FILL BENEATH TREES MUST BE A LIGHT GARDEN SOIL MIX.)
11. APPLY AGRICULTURAL LIME, FERTILIZER AND Gypsum UNIFORMLY AND MIX WITH CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
13. SEED ON A FRESHLY PREPARED SEEDBED, RAKE LIGHTLY AND ROLL SEED LIGHTLY TO ENSURE A GOOD CONTACT WITH THE SOIL. WATER WITH A FINE SPRAY.
14. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH. SEE SPECS FOR ACCEPTABLE MULCH GUIDELINES.
15. INSPECT ALL SEEDBED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, RE-ESTABLISH FOLLOWING ORIGINAL LINE. FERTILIZER AND SEEDING RATES.
16. CONTRACTOR SHALL WATER AND MAINTAIN ALL LAWN AREAS UNTIL AN ACCEPTABLE STAND OF GRASSES HAS BEEN ESTABLISHED.
17. ONCE AN ACCEPTABLE STAND OF GRASSES HAS BEEN ESTABLISHED, THE CONTRACTOR SHALL REPAIR ALL DAMAGED AREAS AND MONITOR THE LAWN AREAS UNTIL GRASS REACHES A HEIGHT OF 4 INCHES TALL.
18. AT THE TIME THE GRASS REACHES A HEIGHT OF 4 INCHES TALL, THE CONTRACTOR SHALL MOW THE GRASS TO THE HEIGHT OF 3 INCHES AT THIS TIME THE LAWN SHALL BE INSPECTED BY THE OWNERS REPRESENTATIVE AND IF FOUND TO BE ACCEPTABLE THE LAWN MAINTENANCE SHALL BE TURNED OVER TO THE OWNER.
19. AN ACCEPTABLE STAND OF GRASSES SHALL BE 92% COVERAGE OR BETTER.
20. NO GRASS SEED VARIETY SUBSTITUTIONS WILL BE ACCEPTABLE WITHOUT WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
21. ALL AREAS THAT HAVE BEEN DISTURBED BY SEEDING ACTIVITY SHALL BE RESTORED TO A NEAT CONDITION.
22. THE CONTRACTOR SHALL WATER ALL LAWN AREAS FOLLOWING SEEDING AND SHALL BE RESPONSIBLE FOR SUPPLYING AN ADEQUATE WATER SUPPLY TO ALL NEWLY SEEDBED LAWN AREAS IN ORDER TO INSURE ESTABLISHMENT.

AVENIR University City, Missouri GATECO DEVELOPMENT

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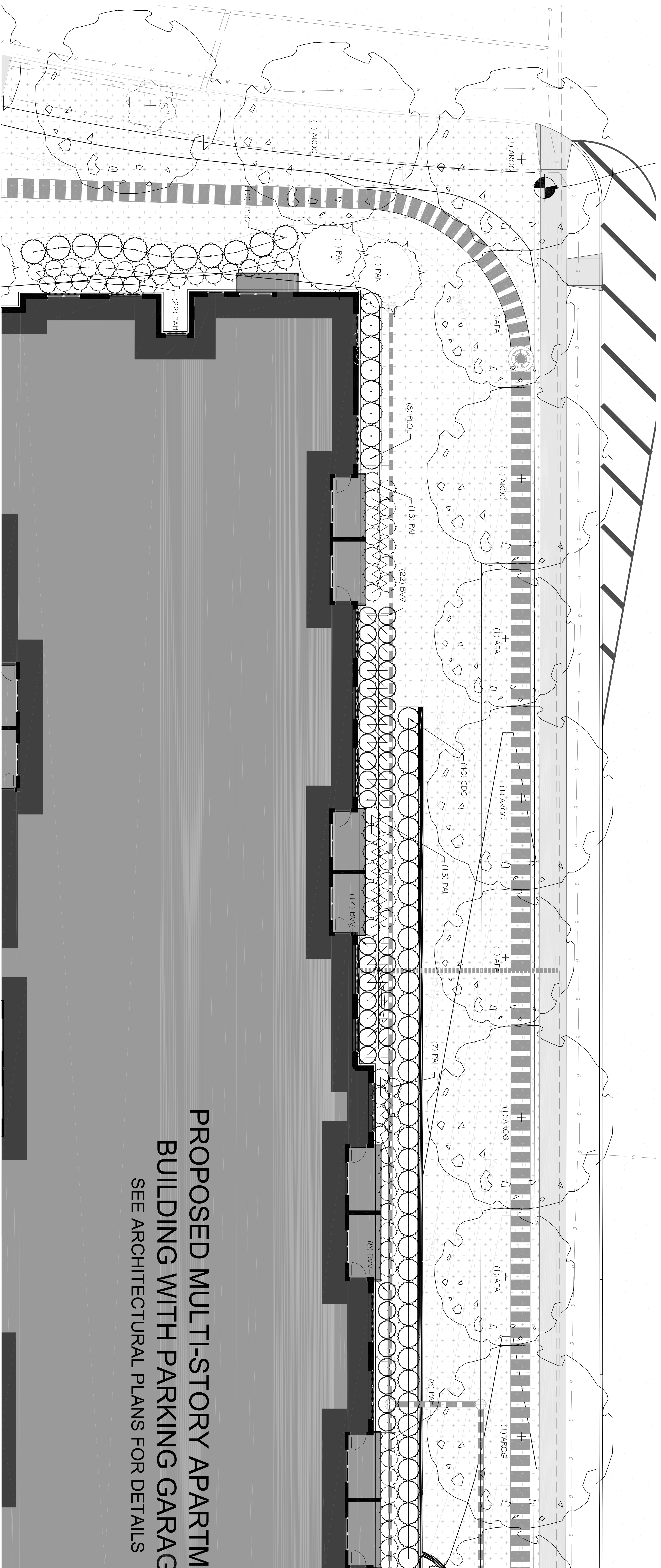
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DATE	01.21.2022
SCALE	AS INDICATED

Landscape Notes

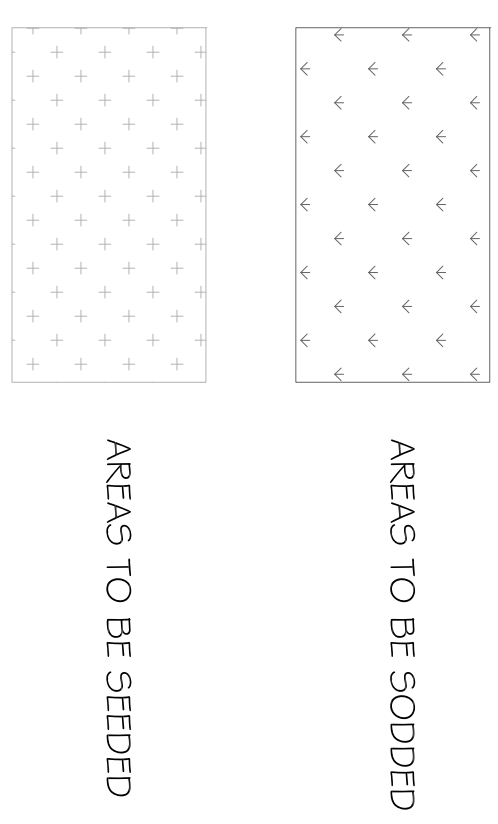
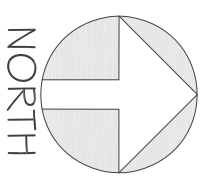
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PLANTING PLAN

SCALE: 1/8" = 1'-0"



**PROPOSED MULTI-STORY APARTM
BUILDING WITH PARKING GARAG
SEE ARCHITECTURAL PLANS FOR DETAILS**

PLANT SCHEDULE SHEET L 1.03

SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
TREES					
AFA	4	ACER x FREEMANNI ARXSTRONG	ARXSTRONG MAPLE	14'-16' HT., 3" CALIPER, B&B	
AROG	6	ACER RUBRUM OCTOBER GLORY	RED MAPLE	14'-16' HT., 2.5" CALIPER, B&B	UMBRED UP 6'
EVERGREENS					
BVV	58	BUXUS VARDAR VALLEY	BOXWOOD	5 GALLON	
CD	40	COTONEASTER DAMMERI CORAL BEAUTY	BEARBERRY COTONEASTER	5 GALLON	
JF9G	10	JUNIFERUS x FITZGERALDA SEA GREEN	SEA GREEN JUNIFER	5 GALLON	
PAN	3	PICEA ABIES	NORWAY SPRUCE	10'-12' HT., B&B	
PLOL	8	PRUNUS LAUROCERASUS OTTO LYTKEN	CHERRY LAUREL	7 GALLON	
GRASSES					
FAH	63	PENNISETUM ALOPECUROIDES HAMELIN	DWARF FOUNTAIN GRASS	1 GALLON	

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University City, Missouri
GATECO DEVELOPMENT**

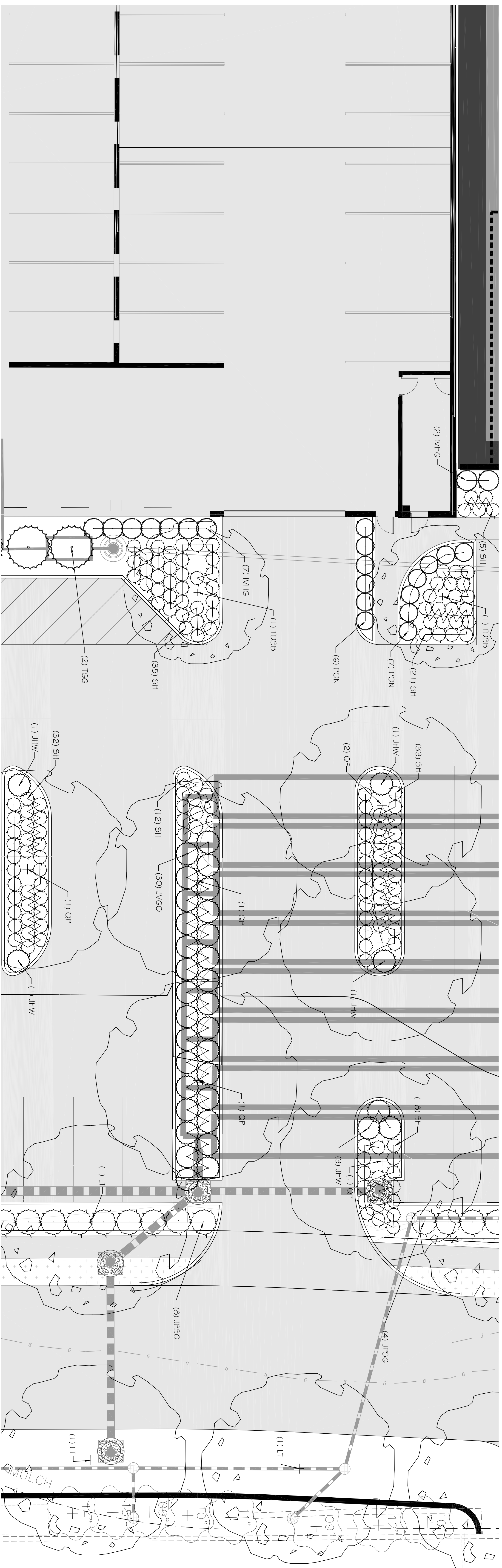
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GNP Sht		02.11.2022	

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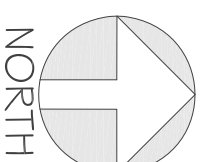
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Planting Plan

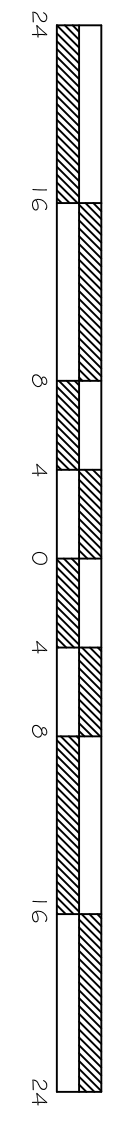
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PLANTING PLAN



SCALE: 1/8" = 1'-0"



AREAS TO BE SODDED



AREAS TO BE SEEDED



SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
TREES					
LT	3	LIRIODENDRON TUJIFERA	TULIP POPLAR	1.2'-1.4' HT., 2" CALIFER, B4B	
QP	6	QUERCUS PHELLOS	WILLOW OAK	1.2'-1.4' HT., 2" CALIFER, B4B	
TD5B	2	TAXODIUM DISTICHUM SHAWNEE BRAVE	BALD CYPRESS	1.0'-1.2' HT., 2" CALIFER, B4B	
EVERGREENS					
JHW	7	JUNIPERUS HORIZONTALIS WILTONII	CREeping JUNIFER	5 GALLON	
JF5G	12	JUNIPERUS FITZGERARA SEA GREEN	SEA GREEN JUNIFER	5 GALLON	
JVGO	30	JUNIPERUS VIRGINIANA GREY OWL	GREY OWL JUNIFER	5 GALLON	
TGG	3	THULIA GREEN GIANT	GREEN GIANT ARBOVITAE	6'-7' HT., B4B	
SHRUBS					
WHG	9	TEA VIRGINICA HENRY'S GARNET	VIRGINIA SWEETSPIRE	5 GALLON	
PON	13	PHYSCOCARPUS OPULIFOLIUS NANUS	DWARF NINEBARK	5 GALLON	
GRASSES					
SH	156	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	1 GALLON	

Project No:	1182020
No Description	Date
GMP Sht	02.11.2022

AVENIR
University City, Missouri
GATECO DEVELOPMENT

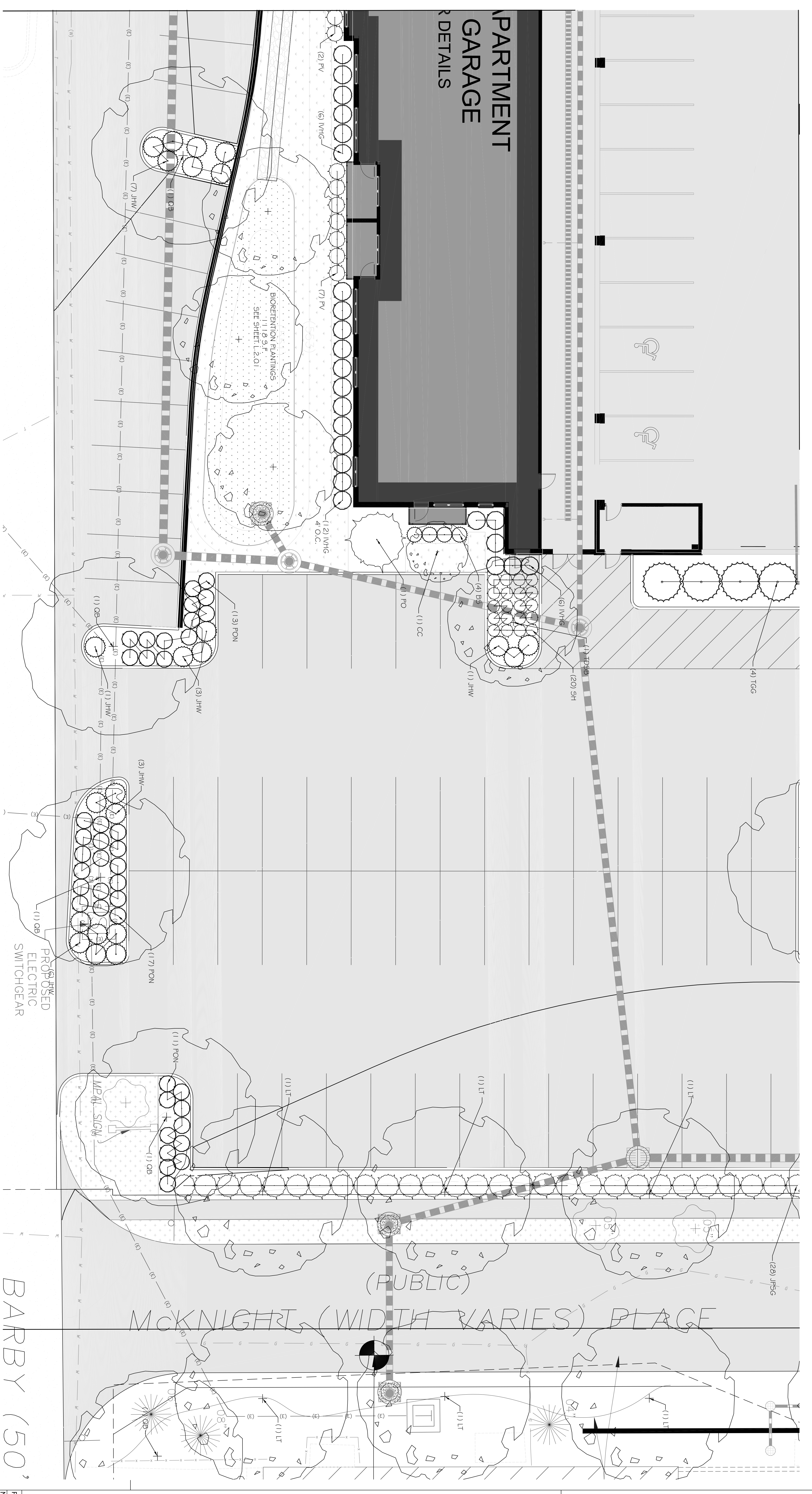
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DATE: 01.21.2022
SCALE: AS INDICATED

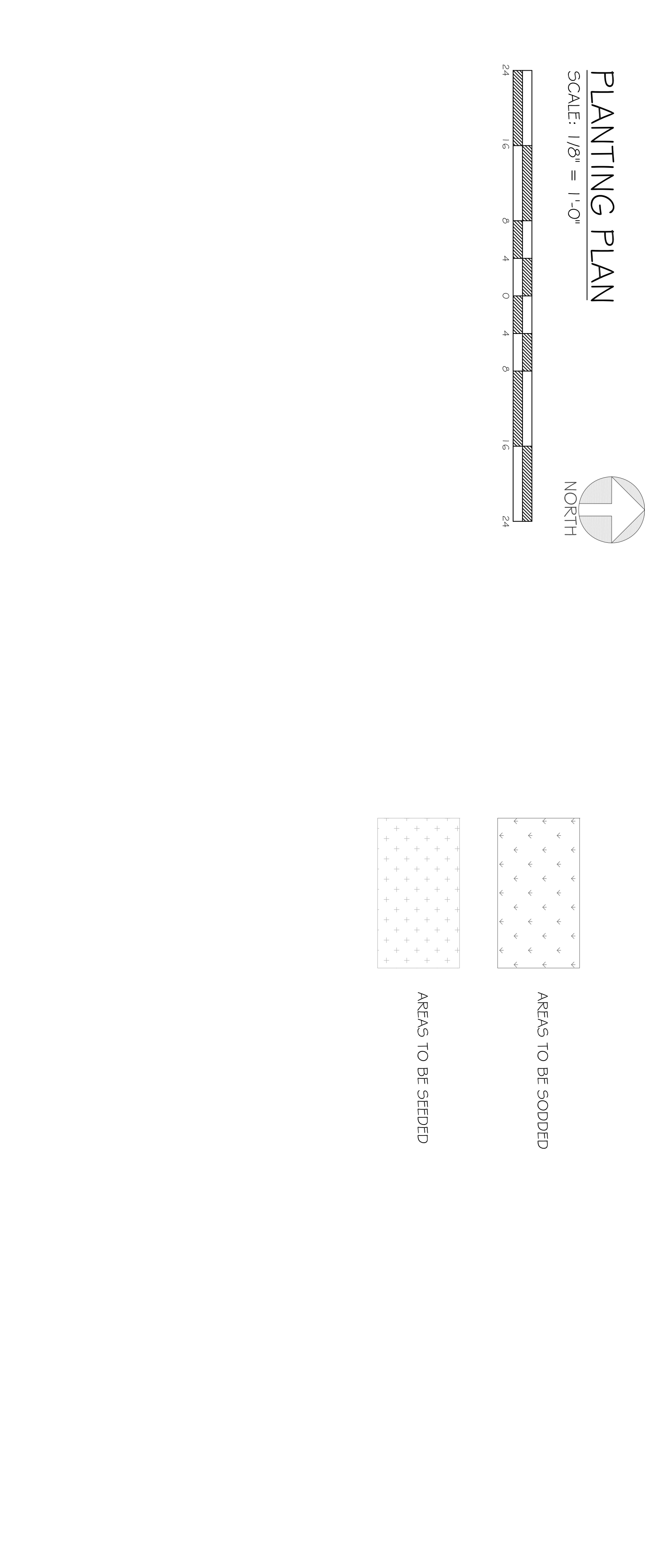
Planting Plan

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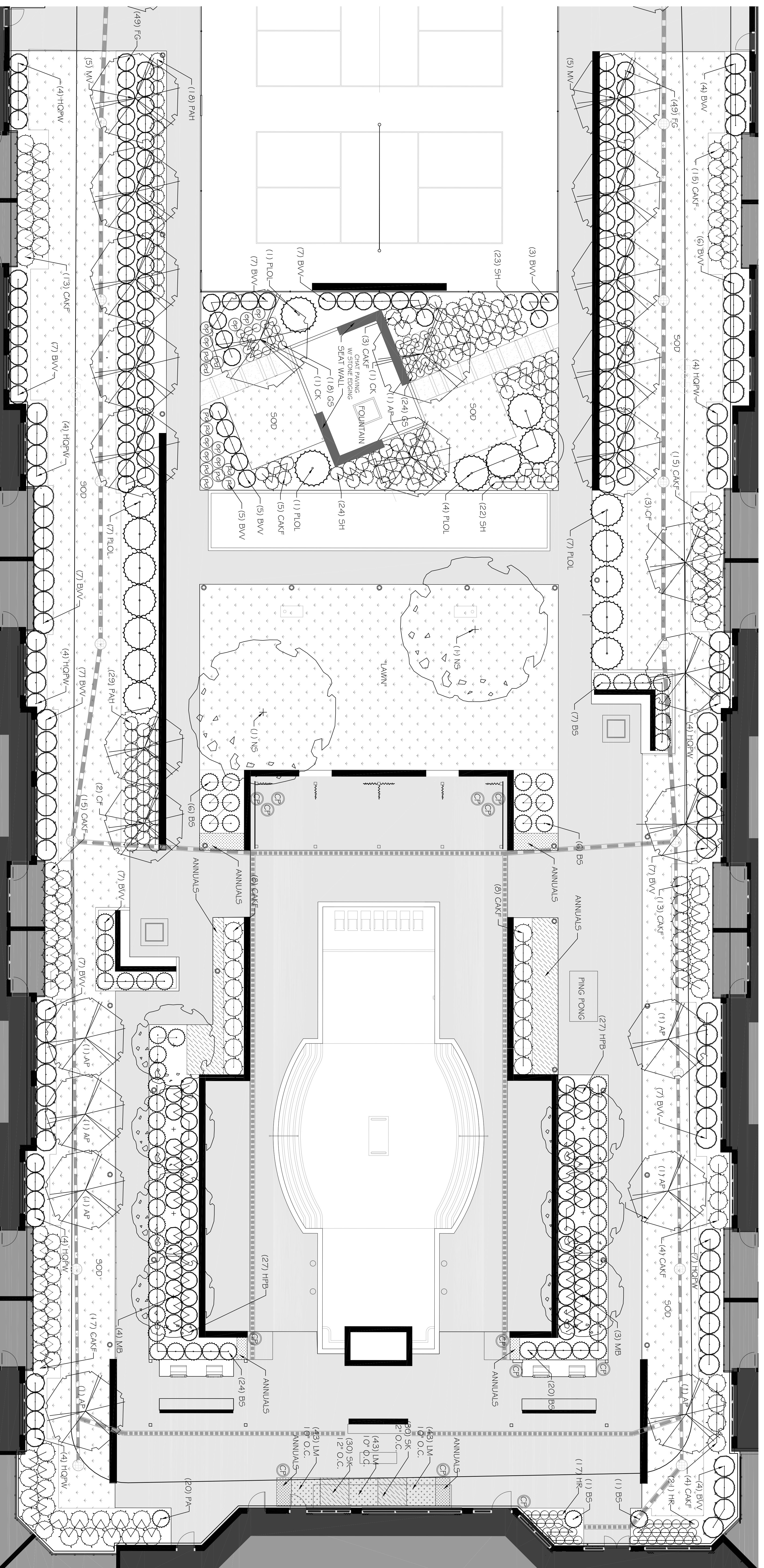


PLANT SCHEDULE SHEET L 1.09

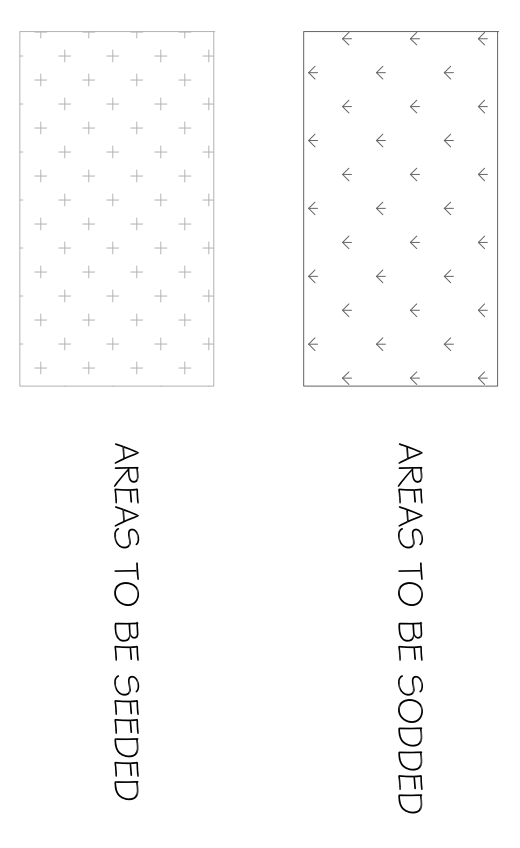
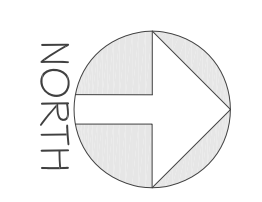
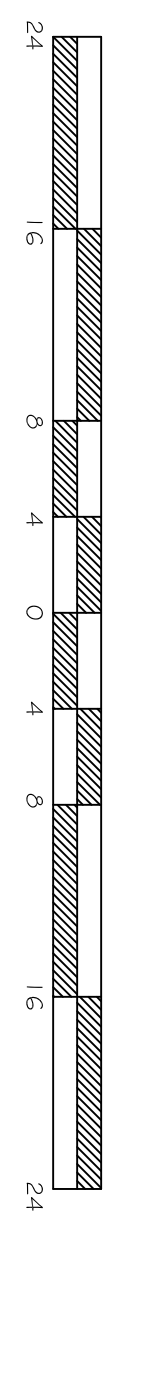
SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
TREES					
CC	1	CERCIS CANADENSIS	REDBUD	7-8' HT., 1.5" CALIPER, BAB	SINGLE TRUNK
LT	6	LIRIODENDRON TULIPIFERA	TULIP POPLAR	12-14' HT., 2" CALIPER, BAB	
QB	5	QUERCUS BICOLO	SWAMP WHITE OAK	12-14' HT., 2" CALIPER, BAB	
GP	3	QUERCUS PHellos	WILLOW OAK	12-14' HT., 2" CALIPER, BAB	
TDBB	1	TAXODIUM DISTICHUM SHAWANNEE BRAVE	BAUD CYPRESS	10-12' HT., 2" CALIPER, BAB	
EVERGREENS					
BS	4	BUXUS SEMPERVIRENS	BOWWOOD	5 GALLON	
JHW	26	JUNIPERUS HORIZONTALIS WILTONII	GREENING JUNIPER	2 GALLON	
JPSG	27	JUNIPERUS FITZGERANA SEA GREEN	SEA GREEN JUNIPER	5 GALLON	
FLOI	6	FRUNUS LAUROCARAGUS OTTO LUYEN	CHERRY LAUREL	7 GALLON	
PO	1	PICEA OMORIKO	SEBBIAN SPRUCE	7-8' HT. BAB	
TGG	4	THUJA GREEN GIANT	GREEN GIANT ARBORVITAE	7-8' HT. BAB	
SHRUBS					
IVHG	24	ITEA VIRGINICA HENRY'S GARNET	VIRGINIA SWEETSPHIRE	5 GALLON	
PON	41	PHYSOCARPUS OPULIFOLIUS NANUS	DWARF NINEBARK	5 GALLON	
GRASSES					
PA	38	PENNISETUM ALOPECUROIDES 'HAMMILL'	DWARF MOUNTAIN GRASS	1 GALLON	
PV	9	PANICUM VIRGATUM	SWITCH GRASS	1 GALLON	
SH	20	SPOROBOLUS HETEROLEPIS	RAIRIE DRIFTSEED	1 GALLON	



Project No: 1182020 Date: 02/11/2022 No Description: GMP Set:		Project: Avenir Location: University City, Missouri Client: GATECO DEVELOPMENT	
<p style="text-align: center;">Planting Plan</p> <p style="text-align: center;">L 1.09</p>			
<p style="font-size: small;">Nancy Nafe MO License # 200017706 Nafe & Associates 1011 Chestnut Avenue St. Louis, MO 63101 Phone: (314) 435-1111 Fax: (314) 435-1112 Email: info@nafe.com</p>		<p style="text-align: center;">Nafe & Associates Landscape Architects LLC Nancy Nafe RLA, ISA, LEED AP P.O. Box 191284 St. Louis, MO 63119</p>	



PLANTING PLAN
SCALE: 1" = 8'-0"



SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
PLANT SCHEDULE SHEET L.1.10					
TREES					
AP	6	ACER PALMATUM	JAPANESE MAPLE	5-6' HT., 1.5" CALIPER, B&B	SPECIMAN
CF	5	CORNUS FLORIDA	CHEROKEE BRAVE	7-8' HT., 2" CALIPER, B&B	
CK	2	CORNUS KOUSA	KOUSA DOGWOOD	7-8' HT., 2" CALIPER, B&B	
MB	7	MAGNOLIA BUTTERFLIES	BUTTERFLY MAGNOLIA	10'-12' HT., 2" CALIPER, B&B	LIMBED UP 6'
MV	10	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	8'-10' HT. B&B, 1.5" CALIPER PER STEM	3 STEM
NS	2	NYSSA SYLVATICA	BLACK GUM	10'-12' HT., 2" CALIPER, B&B	LIMBED UP 6'
EVERGREENS					
BS	76	BUXUS SINCA WINTER GENI	WINTER GENI BOXWOOD	5 GALLON	
BV	74	BUXUS SEMPERVIRENS VARDAR VALLEY	VARDAR VALLEY BOXWOOD	5 GALLON	
JVT	10	JUNIPERUS VIRGINIANA TAYLOR	TAYLOR JUNIPER	4-5' HT. B&B	
FLOL	20	FRAXINUS LAUREFOLIUS OTTO LUTTEN	CHERRY LAUREL	7 GALLON	
FG	96	FOTHERGILLIA GARDENII	DWARF FOTHERGILLIA	5 GALLON	
HPB	54	HYDRANGEA PANICULATA BOBO	DWARF HYDRANGEA	5 GALLON	
HQPW	35	HYDRANGEA QUERCIFOLIA TEE WEE	DWARF OAK LEAF HYDRANGEA	5 GALLON	
GRASSES					
CKF	110	CALLAMAGROSIS ACUTIFLORA	FEATHER REED GRASS	1 GALLON	
LM	129	LIRIOPE MUISCARI	LILY TURF	PLUG	10' O.C.
PA	38	PERNISETUM ALOPECUROIDES HAWELN	DWARF FOUNTAIN GRASS	1 GALLON	
SH	69	SPOROBOLUS HETEROLEPIS	PRAIRIE PROPOSED	1 GALLON	
PERENNIALS					
EP	9	ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GALLON	
G5	42	GERANIUM SAUVANUM MAX FREE	BLOODY CRANESBILL	1 GALLON	
HR	38	HEUCHERA RICHARDSONII	ALUM ROOT	1 GALLON	
PD	10	PRUNELLA DIGITALIS	BEARD TONGUE	1 GALLON	
SK	60	SEDUM KAMTSCHATICUM	ORANGE STONECROP	QUART	
ANNUALS	96		TO BE DETERMINED	QUART	

**Nafe & Associates
Landscape Architects LLC**
Nancy Nafe RLA, ISA, Leed AP
P.O. Box 191284
St. Louis, MO 63119

AVENIR
University City, Missouri
GATECO DEVELOPMENT

Project No: 1182020
Date: 02.11.2022

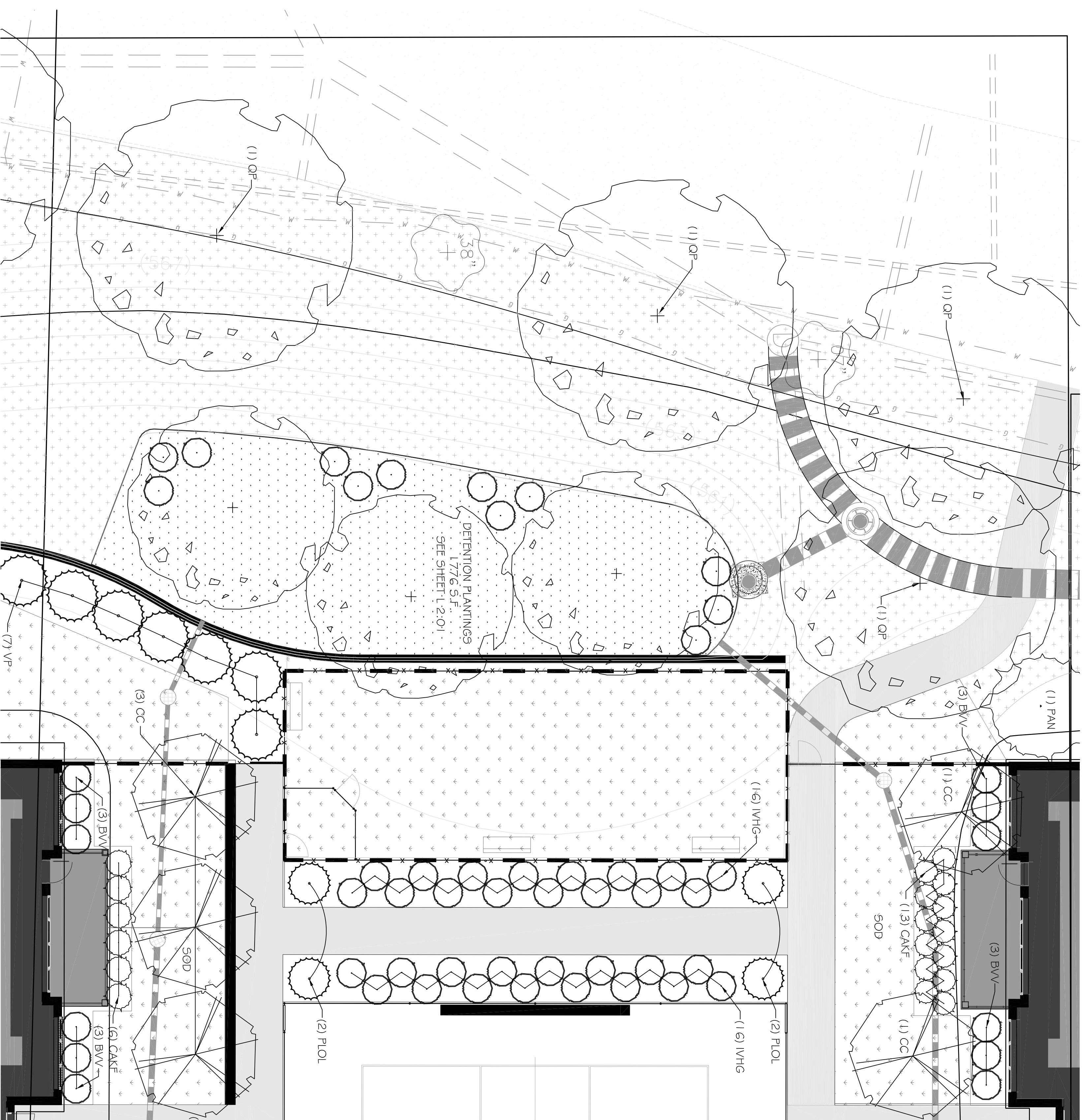
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2	Revised	
3	Revised	
4	Revised	
5	Revised	

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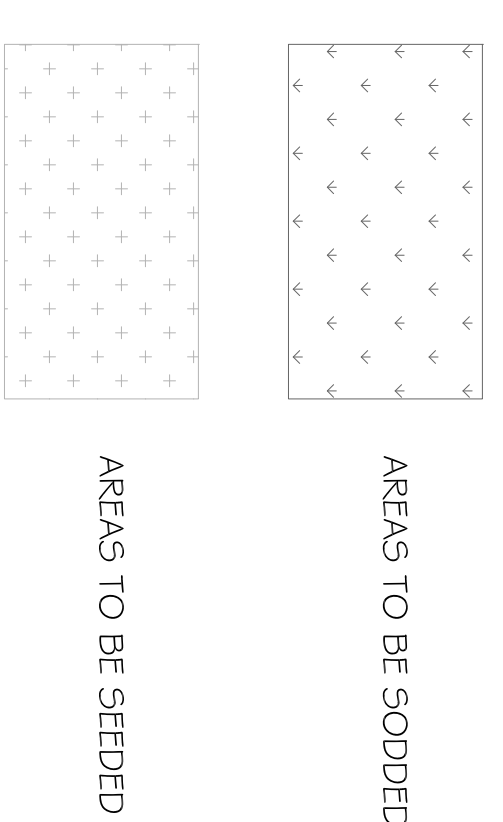
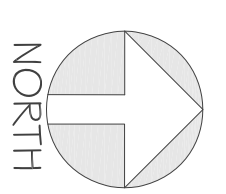
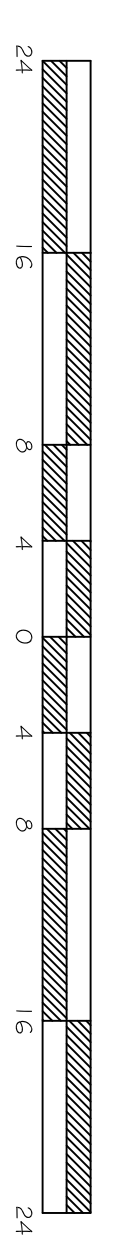
DATE: 01.21.2022
SCALE: AS INDICATED

Planting Plan

L.1.10



PLANTING PLAN
SCALE: 1" = 8'-0"



SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
TREES					
CC	5	CERCIS CANADENSIS	REDBUD	7'-8" HT. 1.5" CALIFER. B&B	SINGLE TRUNK
OP	4	QUERCUS PHELLOS	WILLOW OAK	12'-14" HT. 2" CALIFER. B&B	
EVERGREENS					
BVV	12	BUXUS SEMPERVIRENS VARDAR VALLEY*	VARDAR VALLEY BOXWOOD	5 GALLON	
PAN	1	PICEA ABIES	NORWAY SPRUCE	10'-12" HT. B&B	
PLOL	4	PRUNUS LAUROCEASUS OTTO LUTTEN	CHERRY LAUREL	7 GALLON	
SHRUBS					
IVHG	32	ITEA VIRGINICA HENRY'S GARNET	VIRGINIA SWEETSPICE	5 GALLON	
VP	7	VIBURNUM PEAGENSE	PEAQUE VIBURNUM	5 GALLON	
GRASSES					
CAF	19	CALLAMAGROSTIS ACUTIFLORA	FEATHER REED GRASS	1 GALLON	
GS	900	CAREX STRICTA	TUSSOCK SEDGE	DEEP CELL PLUG	

PLANT SCHEDULE SHEET L.1.11

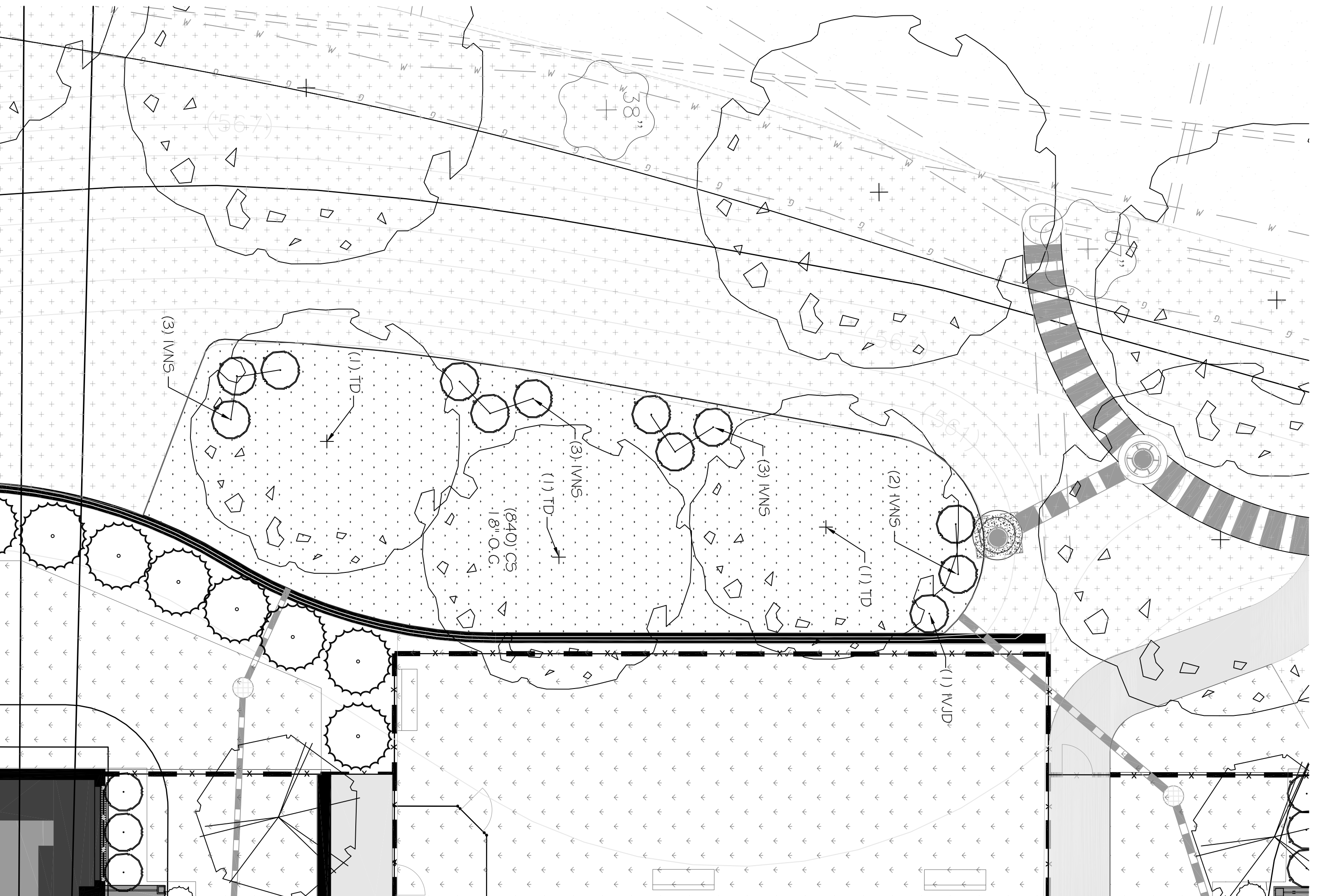
AVENIR
University City, Missouri
GATECO DEVELOPMENT

Project No: 1182020
Date: 02.11.2022
No Description
GMP Set

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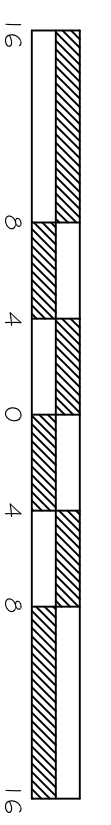
Nancy Nafe
1400 Limestone #2000117186
MO, St. Louis, MO 63103
Nancy Nafe RLA, ISA, Leed AP
P.O. Box 191284
St. Louis, MO 63119
DATE: 01.21.2022
SCALE: AS INDICATED

Planting Plan



BIORETENTION PLANTING PLANS

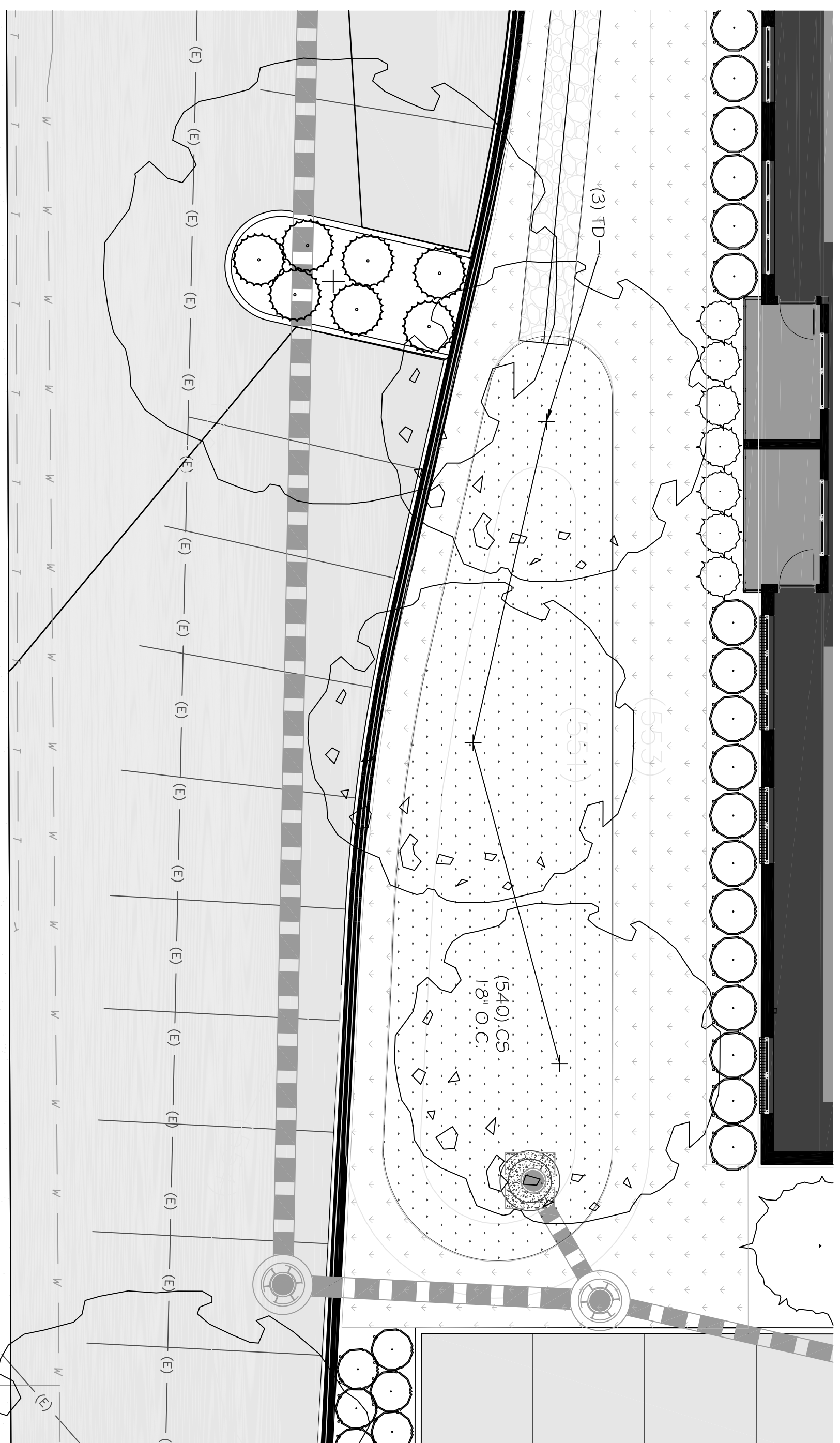
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BIORETENTION PLANT SCHEDULE					
SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE / CONTAINER	SPACING
CS	1380	CAREX STRICTA	TUSSOCK SEDGE	DEEP CELL PLUG	18" O.C.
VD	1	ILEX VERTICILLATA 'JIM DANDY'	MALE WINTERBERRY	12'-1.8" HT. 12'-1.8" SPREAD. 5 GALLON	AS SHOWN
IWS	11	ILEX VERTICILLATA 'NAVAJ' RED SPRITE	DWARF WINTERBERRY	12'-1.8" HT. 12'-1.8" SPREAD. 5 GALLON	42" O.C.
TD	6	TAXODIUM DISTICHUM	BALD CYPRESS	2" CALIBER. 10'-12" HT. BAB	AS SHOWN

PLANTING, WATER AND MULCH REQUIREMENTS					
WATER AVAILABILITY	REQUIRED PLANTING PERIOD	MINIMUM CONTAINER SIZE	WATER REQUIREMENT FIRST 3 WEEKS*	WATER REQUIREMENT AFTER 3 WEEKS*	MAXIMUM MULCH DEPTH**
NO ABILITY TO WATER AFTER	LATE FEBRUARY - APRIL ONLY	2.25x3.75" or LARGER	WATER EACH PLUG IMMEDIATELY**		1.5" FOR PLUGS
MANUAL WATERING WITH STANDARD SPRINKLER	LATE FEBRUARY - EARLY JUNE SEPTEMBER - OCTOBER	4.5" x 5" (QUART) or LARGER IN SUMMER & FALL	1" (60 MINUTES) EVERY 4 DAYS	1" (60 MINUTES) EVERY 7 DAYS UNTIL PLANTS ARE ESTABLISHED ...	1.5" FOR PLUGS 2.5" FOR QUARTS
AUTOMATIC IRRIGATION: (GET TO WATER MORE FREQUENTLY THAN NORMAL DURING FIRST TWO MONTHS AFTER PLANTING)	LATE FEBRUARY - EARLY OCTOBER	2.25" x 3.75" (PLUG) OR LARGER IN SPRING 4.5" x 5" (QUART) OR LARGER IN SUMMER & FALL	1" (60 MINUTES) EVERY 4 DAYS IN SPRING & FALL 1" (60 MINUTES) EVERY 3 DAYS IN SUMMER	1" (60 MINUTES) EVERY 7 DAYS UNTIL PLANTS ARE ESTABLISHED ...	1.5" FOR PLUGS 2.5" FOR QUARTS

- * THIS WATER AMOUNT INCLUDES NATURAL RAINFALL. IF YOU GET 1/2 INCH OF NATURAL RAIN THEN YOU WILL NEED TO ADD 1/2 INCH OF WATER TO MEET THE 1 INCH REQUIREMENT.
- ** REQUIRES TRANSPORT OF WATER TO THE PLANTING SITE IN LARGE CONTAINERS AND POURING ENOUGH WATER ONTO EACH PLANT (AFTER PLANTING) TO MOISTEN THE ENTIRE PLANTING PIT.
- *** PLANTS ARE ESTABLISHED WHEN ROOTS HAVE GROWN OUT OF THE CONTAINER SOIL AND INTO THE NATIVE SOIL BY 3 - 5 INCHES. THIS NORMALLY TAKES 3 - 4 MONTHS FOR MOST PERENNIALS AND GRASSES AND UP TO 6 - 7 MONTHS FOR TREES AND SHRUBS.
- **** SHREDED LEAF COMPOST IS RECOMMENDED FOR USE WITH PERENNIALS AND GRASSES. SHREDED BARK MULCH IS RECOMMENDED FOR TREE AND SHRUB PLANTINGS AT A DEPTH OF 3 INCHES.



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AVENIR University City, Missouri

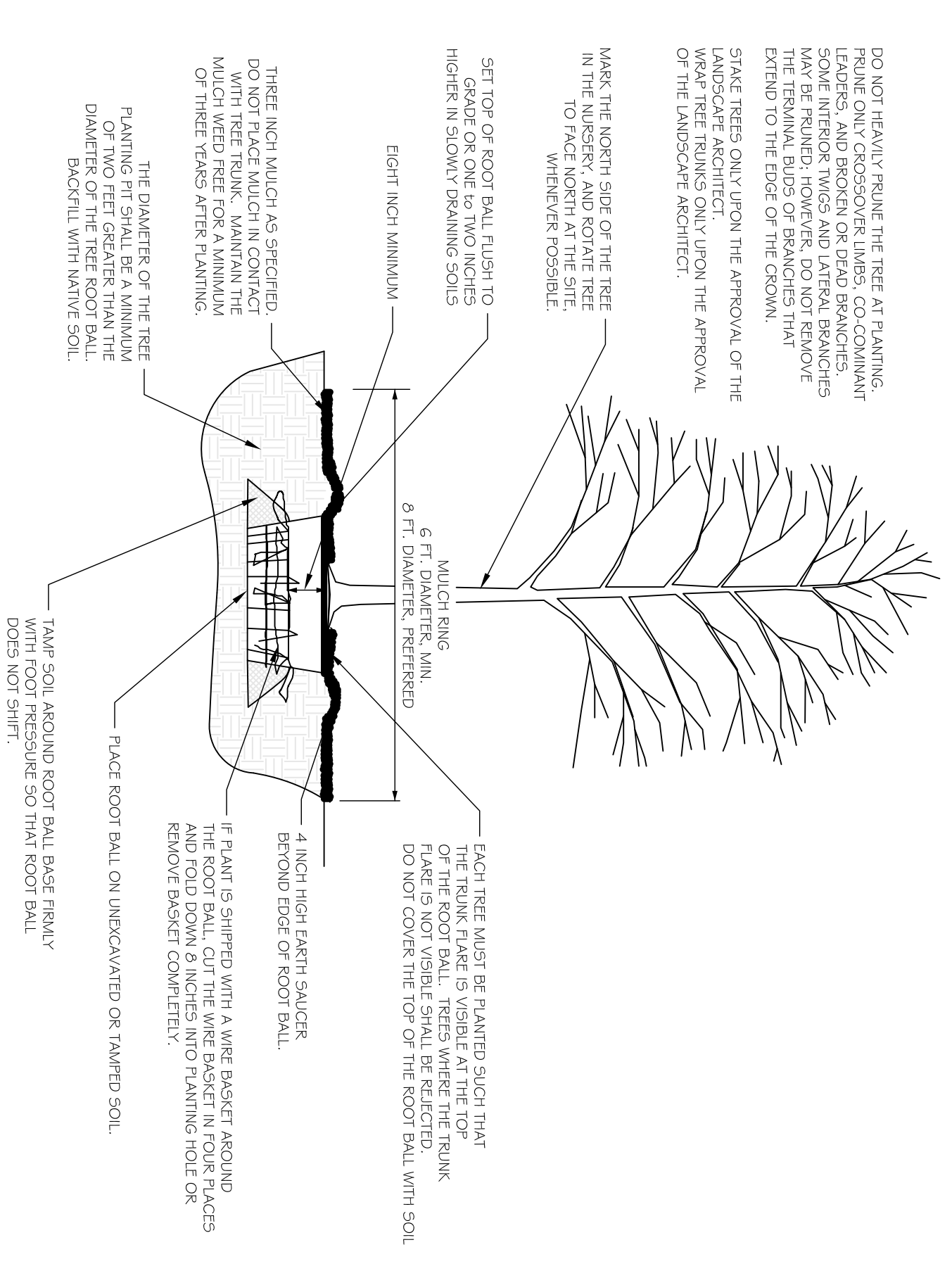
GATECO DEVELOPMENT

Project No:	1182020	Date	
No. Description		Date	
1 GMP Set		02.11.2022	

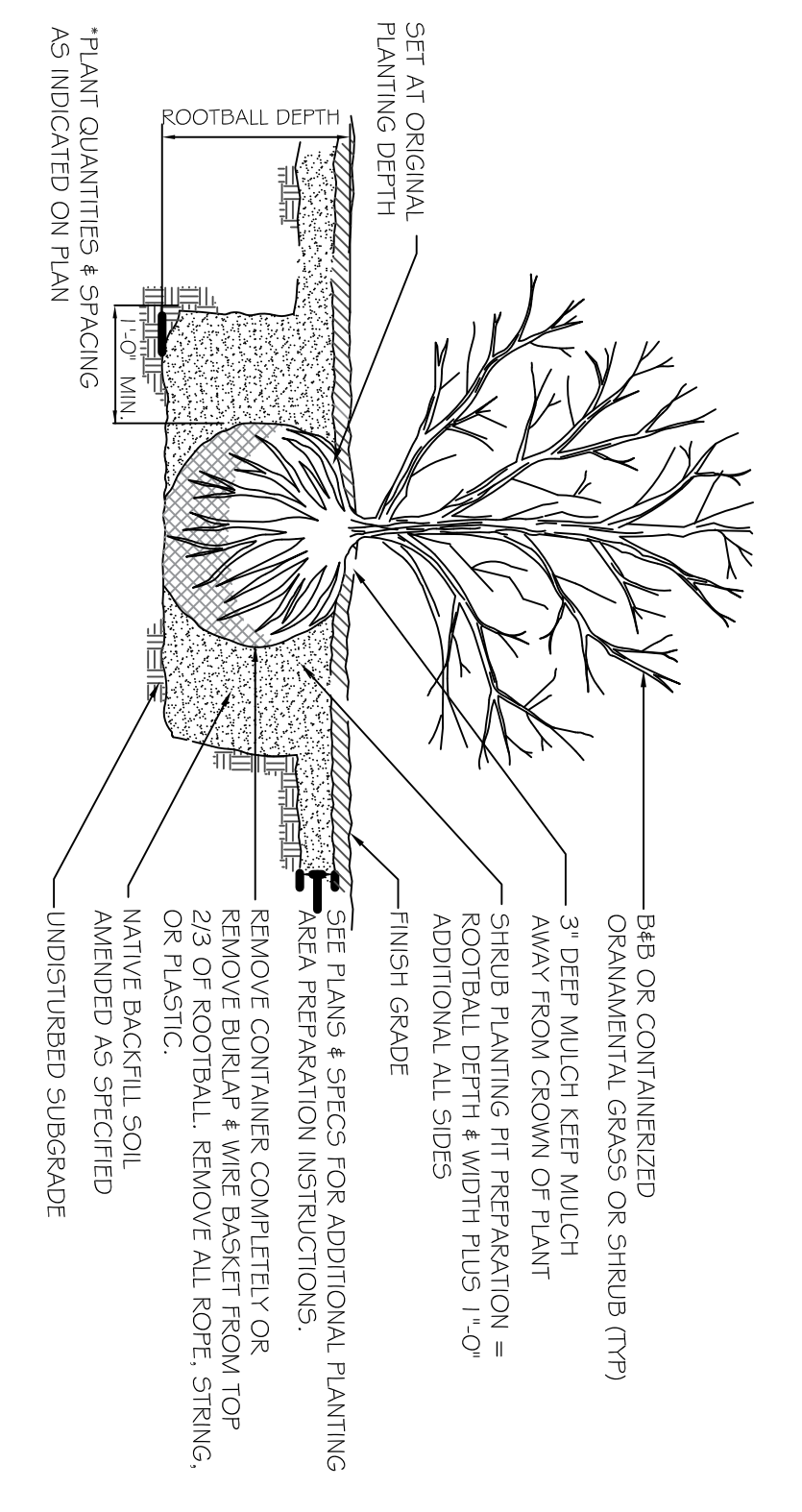
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SCALE	AS INDICATED

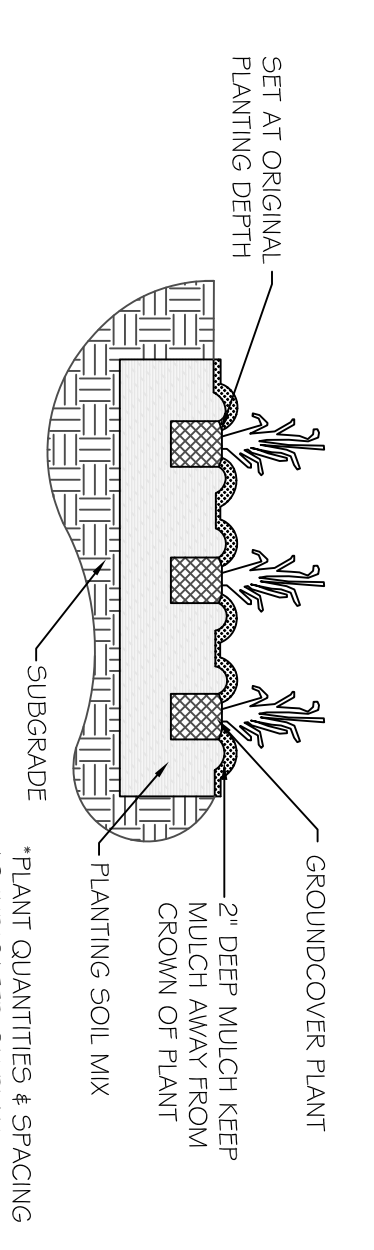
Nancy Nafe Landscape Architect MO License #200017266 1015 Chestnut Avenue St. Louis, MO 63101 Phone: 314.241.1111 www.nafelandscapearchitects.com	
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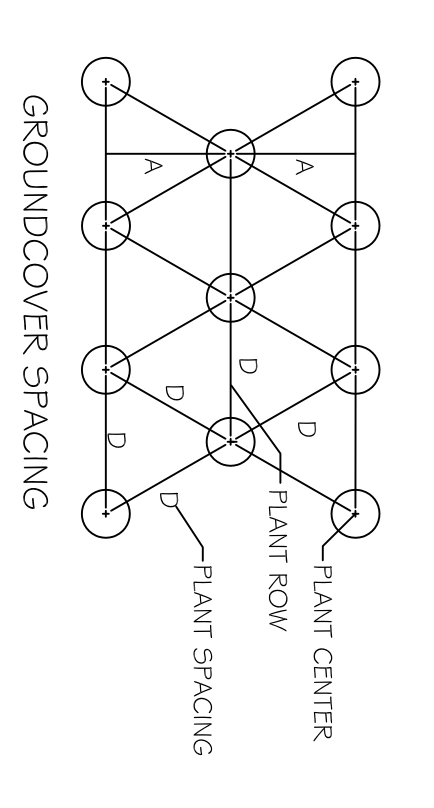
A TREE PLANTING DETAIL
NTS



B SHRUB & ORNAMENTAL GRASS PLANTING DETAIL
NTS

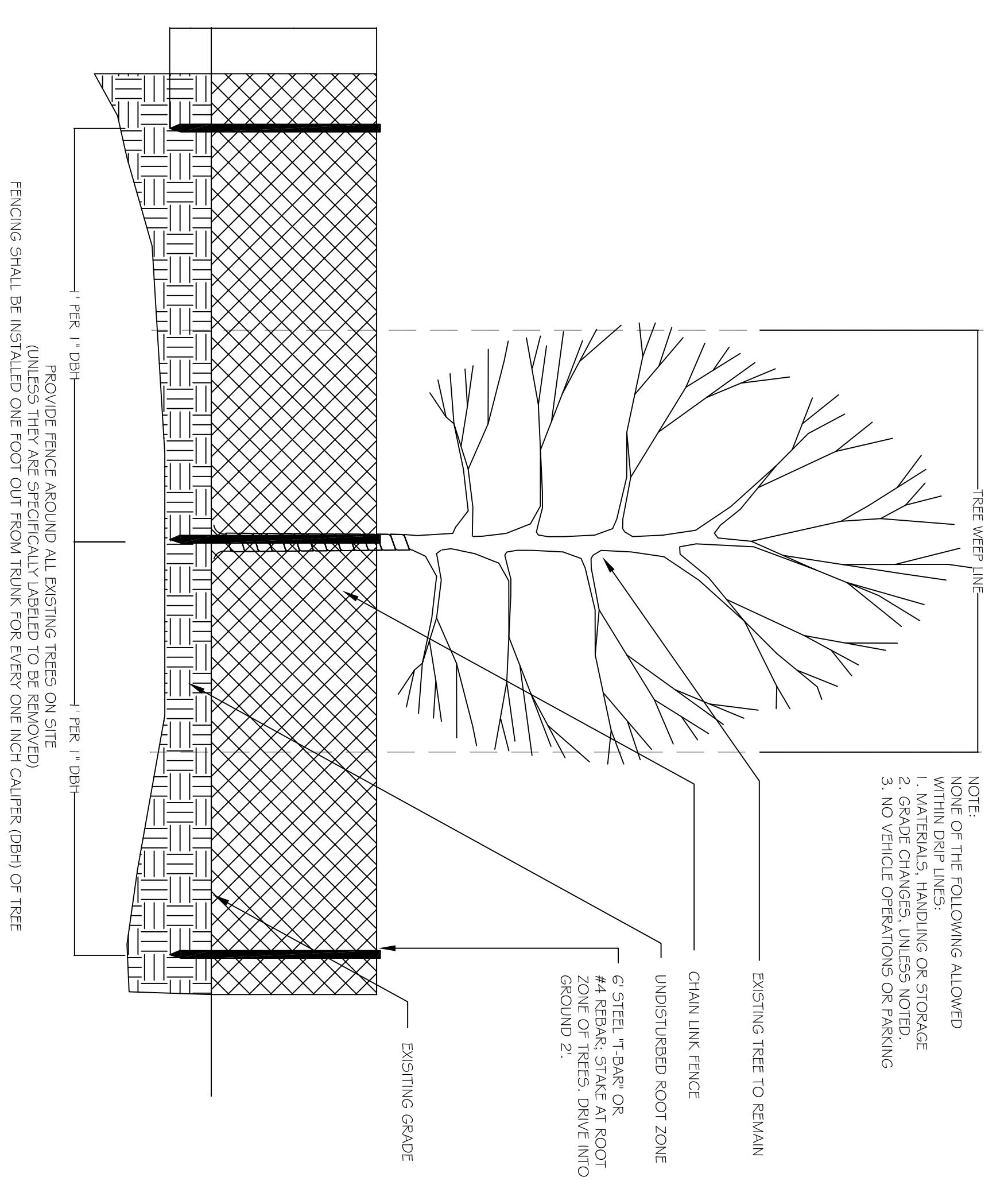


C GROUNDCOVER PLANTING DETAIL
NTS



D SPADE CUT EDGE DETAIL
NTS

E TREE PROTECTION DETAIL
NOT TO SCALE



NOTE: OF THE FOLLOWING ALLOWED WITHIN TREE LINES:
1. MATERIALS, HANDLING OR STORAGE
2. NO EXCESSIVE TRAFFIC OR EQUIPMENT
3. NO VEHICLE OPERATIONS OR PARKING

SPACING - D _P	ROW X	PLANTS PER SQ. FT.
30"	26"	.180
24"	20.5"	.23
18"	15.5"	.43
15"	13"	.64
12"	10.4"	1.00
9"	7.5"	1.75
6"	5.2"	4.0

NOTE: PLANT QUANTITIES WERE DETERMINED BY PLANTS PER SQ. FT. REQUIRED SPACING

REMOVE SPENT FLOWERS PRIOR TO PLANTING. LOOSEN ROOT MASSES AT BOTTOM OF ROOTBALL. COVERED WITH LANDSCAPE BRD WITH SURFACE MULCH.

AVENIR
University City, Missouri
GATECO DEVELOPMENT

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Project No: 1182020
Date: 02.11.2022
Scale: AS INDICATED

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Planting
Details
L 4.01

Nine Sunnen Drive
Saint Louis, MO 63143
P 314 646 0400
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GRAY DESIGN GROUP

2022

February 15

Zack Deutsch
Gateco Development
One McKnight Place
Saint Louis, Missouri, 63124

Regarding

Avenir Apartments

Dear Zack:

Please see the information below regarding the current FAR calculations for the Avenir Apartments project.

Total Development Area: = 270,259.37 sf
Total Building Area: 306,607 sf
Unit Area: 239,499 sf
Corridor Area: 44,797 sf
Tenant Amenity Space Area: 8,603 sf

Units Only: 239,499 sf
 $239,499 / 270,259.37 \text{ sf} = \underline{0.886180 \text{ net FAR}}$

Units + Corridors: 284,295 sf
 $(239,499 + 44,797) / 270,259.37 \text{ sf} = \underline{1.051935 \text{ net FAR}}$

Units + Corridors + Tenant Amenity Spaces: 292,898 sf
 $(239,499 + 44,797 + 8,603) / 270,259.37 \text{ sf} = \underline{1.083768 \text{ net FAR}}$

Leasing Offices & Mail Room: 1,602 sf
Tenant & Bike Storage: 5,500 sf

Not included in numbers above: open air garage, mechanical areas, janitor closets, building storage, or pool equipment.

Thank you,
Amanda Holguin, Project Manager

gray®

Avenir Apartments

Proj. # 119311

PARKING SUMMARY

02.15.2022

Parking Required

	Parking Factor	Dwelling Units	Parking Required		
Apartment: One Bedroom	1.5	185	278		
Apartment: Two Bedroom	2.0	69	138		
Apartment: Three Bedroom	2.0	8	16		
Apartment: Visitor Parking	(see formula below)		17		
			449		
		10% Transport. Reduct.	-45		
Total Tenant + Visitor Parking Required			404		
Coffee Shop Parking Required (see formula below)			17		
McKnight Place Assisted Living Required			40		
Brentmoor Parking Required			8		
			469	Total Parking Required	

Total Parking Provided

	Standard	Compact	EV Charging	Van Accessible	Accessible	Total Provided
Apartment Garage: Level 1	68	0	0	2	0	70
Apartment Garage: Level 2	87	0	2	0	2	91
Apartment Garage: Level 3	87	0	2	0	2	91
Apartment Garage: Level 4	87	0	2	0	2	91
Apartment Garage: Level 5	51	0	0	0	2	53
Surface Parking	109	0	0	1	3	113
Surface Parking Net MPAL	12	0	0	0	0	12
Total New Parking Provided	501	0	6	3	11	521
Percentage	96.2%	0.0%	1.2%	0.6%	2.1%	100.0%

Apartment Parking Ratios

Parking Ratio Spaces / Unit	1.94			
Parking Ratio Spaces / Bedroom	1.47			

Apartment: Visitor Parking Requires Formula

1 visitor space per 6 units for the first 30	30 units	5	visitor spaces	
1 visitor space for each additional 20 units (roundup)	234 units	12	visitor spaces	
		17	Total Visitor Spaces	

Coffee Shop Required Parking Formula

Coffee Shop Area = 1300 SF 1 space/75sf Req'd = 18, minus 10% Transport. Reduct. = 17 Total Spaces

EXCESS PARKING

(Total Provided - Total Tenant Req'd - Coffee Req'd - Total MPAL Req'd - Brentwood Req'd) =					52
521	404	17	40	8	



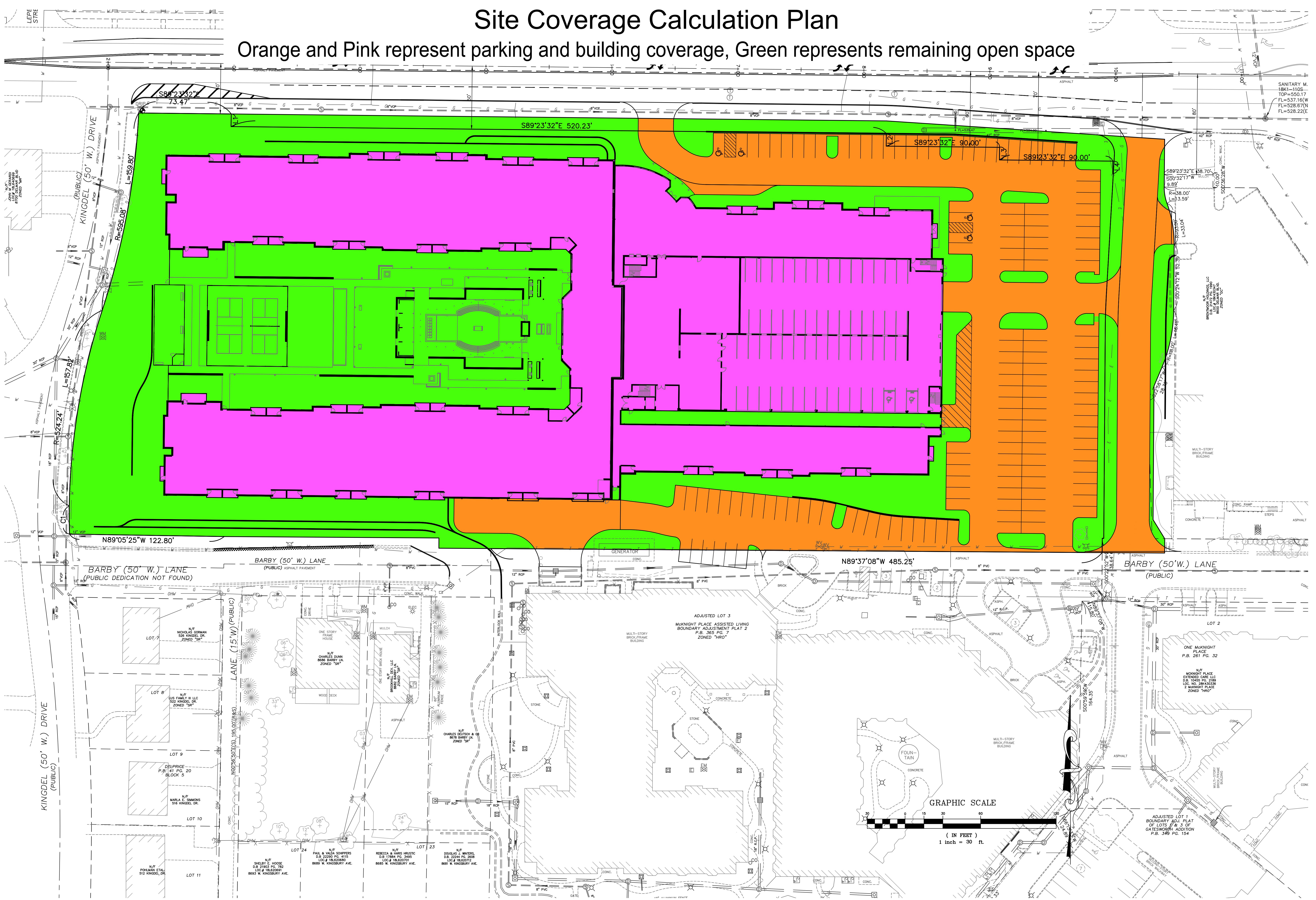
THE **STERLING** **CO.**
ENGINEERS AND SURVEYORS

Delmar Apartments
Site Coverage Table
2/8/2022

	Lot Total (SF)	Pavement (SF)	% Pavement	Building (SF)	% Building	Coverage Total (SF)	% Coverage
Apartment and Parking Areas	270,259.37	57,856.35	21.41%	111,013.84	41.08%	168,870.19	62.48%
McKnight Place Right-of-Way	14,801.46	9,660.36	65.27%	0.00	0.00%	9,660.36	65.27%
Development							
Total	285,060.83	67,516.71	23.69%	111,013.84	38.94%	178,530.55	62.63%

Site Coverage Calculation Plan

Orange and Pink represent parking and building coverage, Green represents remaining open space



Avenir Apartments

Avenir Apartments							
Proj. # 119311		Program Data Current				02.15.2022	
Type	Description	Count	Average Unit Areas			Total Unit Area	Total GLA (w/ balc.)
			Unit Area	Balc. Area	Unit GLA		
1BR - SML	One Bedroom, One Bath	15	637	47	684	9,555	10,257
1BR - STD	One Bedroom, One Bath	91	739	74	813	67,254	74,022
1BR - LG	One Bedroom, One Bath	62	864	77	942	53,582	58,382
1BR - CNR	One Bedroom, One Bath	15	933	154	1,087	13,994	16,301
1BR-CNR MOD	One Bedroom, One Bath	2	1,111	278	1,389	2,222	2,778
2BR - STD	Two Bedroom, Two Bath	48	1,097	72	1,169	52,657	56,102
2BR - LG	Two Bedroom, Two Bath	16	1,274	73	1,347	20,386	21,549
2BR - LG MOD	Two Bedroom, Two Bath	3	1,320	257	1,577	3,961	4,732
2BR - CNR	Two Bedroom, Two Bath	2	1,536	222	1,758	3,071	3,516
3BR	Three Bedroom, Two & 1/2 Bath	8	1,614	159	1,773	12,910	14,182
TOTAL UNITS:		262				(NLA)	(GLA)
TOTAL LEASABLE AREA: (NLA / GLA)						239,592	261,821
			AVG. NET UNIT SIZE:			914.47 Sq. Ft.	
			AVG. GROSS UNIT SIZE:			999.32 Sq. Ft.	
TOTAL ONE BEDROOM UNITS:					185	70.6%	
TOTAL TWO BEDROOM UNITS:					69	26.3%	
TOTAL THREE BEDROOM UNITS:					8	3.1%	
TOTAL BEDROOMS:					347		
Site Information							
LAND AREA: (estimated)		6.20 Acres					
UNIT DENSITY:		42.3 Units per acre					
GROSS SQUARE FEET		Total Building Area	Garage		Total		
Level 1		31320	20626		51946		
Level 2		73903	31242		105145		
Level 3		73489	31242		104731		
Level 4		73489	31242		104731		
Level 5		54408	18554		72962		
		306,607	132,906		439,513		
TOTAL GROSS SQUARE FEET						439,513	
Tenant Parking							
TOTAL TENANT (GARAGE + SURFACE) PARKING PROVIDED					509 Tenant Spaces		
PARKING RATIO					1.94 Spaces / Unit		
PARKING RATIO					1.47 Spaces / Bedroom		



DELMAR BLVD

KINGDEL DR.

TEASDALE AVE.

BARBY LANE

47.8'

