

INTRODUCED BY: Councilmember Aleta Klein

DATE: January 23, 2023

BILL NO. 9499

ORDINANCE NO. 7215

AN ORDINANCE APPROVING A FINAL DEVELOPMENT PLAN FOR LOT B OF THE PROPOSED MARKET AT OLIVE DEVELOPMENT, PLAT 4.

WHEREAS, the Preliminary Development Plan was approved by the City Council of University City on November 28, 2022 by Resolution No. 2022-16, for the development project known as “Lot B, Market at Olive, Plat 4” in a Planned Development – Commercial (PD-C) District in the City of University City, and the City Council authorized the submittal of a Final Development Plan; and

WHEREAS, a Final Development Plan dated November 18, 2022, has been submitted for review and approval; and

WHEREAS, the review and approval of a Final Development Plan shall be in accordance with Section 400.870 “Final Development Plan Procedure” and Section 405.380 “Final Plat Submittal Requirements” of the University City Municipal Code with the adoption of an ordinance by City Council; and

WHEREAS, at its meeting on December 14, 2022, the University City Plan Commission considered and recommended to the City Council of University City approval of said Final Development Plan; and

WHEREAS, said Final Development Plan, including all required documents and information submitted therewith, is before the City Council for its consideration.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF UNIVERSITY CITY, MISSOURI, AS FOLLOWS:

Section 1. Attached, marked “Exhibit A” and made a part hereof is a Final Development Plan submitted for the “Lot B, Market at Olive, Plat 4” development.

Section 2. It is hereby found and determined that the Final Development Plan is in full compliance with said Section 400.870 of the University City Municipal Code.

Section 3. The Final Development Plan shall include the following additional conditions:

1. The buildings and property shall be developed, constructed, and maintained in compliance with the plans submitted and attached. The footprint and general layout are subject to the plans dated November 18, 2022. The height and mass shall be restricted to that shown on the Final Development Plan.
2. Off-street parking and loading requirements will be provided as required by Chapter VII of the University City Zoning Code and pursuant to a Conditional Use Permit for the site lowering the number of parking spaces from 74 to 62, as approved by the City Council on November 14, 2022.

3. A detailed construction traffic control and parking plan should be submitted to the Director of Planning & Development for approval. Said plan shall set forth details pertaining to worker parking during all phases of the proposed construction. It shall further detail solutions to public property maintenance issues such as street cleaning and traffic diversion. Said plan shall be finalized prior to the issuance of a building permit. It shall be the applicant's responsibility to obtain those approvals in written form in a timely manner prior to issuance of the building permit.
4. Bicycle racks shall be provided according to Section 400.2145 Off-Street Bicycle Parking Requirements of the University City Zoning Code
5. The Final Landscape Plan shall be as approved by the Department of Planning and Development prior to issuance of building permits.
6. There shall be no interference by pick-up or service delivery vehicles with pedestrian or vehicular traffic for Lot A or Lot B on the Common Ground 2 parcel, Market at Olive, Plat 4.
7. Pedestrian crossings shall be striped and yield signs provided at (1) the intersection of the east-west access drive and Woodson Road, (2) at the pedestrian crossing from the east-west access drive into Lot B, and (3) within Lot B.

Section 4. The City Clerk is hereby directed to endorse upon the Final Development Plan the approval of the City Council under the hand of the City Clerk and the seal of University City.

Section 5. This ordinance shall take effect and be in force from and after its passage as provided by law.

PASSED and ADOPTED this 13th day of February, 2023.



 MAYOR

ATTEST:



 CITY CLERK

CERTIFIED TO BE CORRECT AS TO FORM:

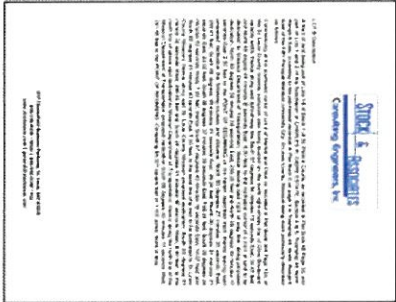
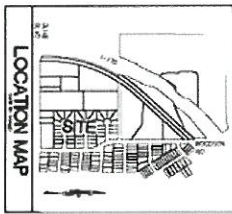
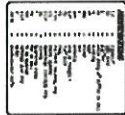


 CITY ATTORNEY



Exhibit A

MARKET AT OLIVE NORTH- LOT B
A TRACT OF LAND BEING LOT B OF MARKET AT OLIVE PLAT 4, RECORDED IN PLAT BOOK 300 PAGES 289-317
UNIVERSITY CITY, ST. LOUIS COUNTY, MISSOURI
FINAL DEVELOPMENT PLAN



- SITE INFORMATION**
- OWNER: UNIVERSITY CITY
 - DATE: 08/14/13
 - PROJECT: MARKET AT OLIVE NORTH
 - DEVELOPER: ST. LOUIS COUNTY
 - APPLICANT: UNIVERSITY CITY
 - APPROVED: 08/14/13
 - PROJECT NO.: 13-00000000
 - PROJECT NAME: MARKET AT OLIVE NORTH
 - PROJECT ADDRESS: 1177 OLIVE NORTH, UNIVERSITY CITY, MO 63104

- SHEET INDEX**
- C10: MARKET AT OLIVE NORTH- LOT B
 - C11: MARKET AT OLIVE NORTH- LOT C
 - C12: MARKET AT OLIVE NORTH- LOT D
 - C13: MARKET AT OLIVE NORTH- LOT E
 - C14: MARKET AT OLIVE NORTH- LOT F
 - C15: MARKET AT OLIVE NORTH- LOT G
 - C16: MARKET AT OLIVE NORTH- LOT H
 - C17: MARKET AT OLIVE NORTH- LOT I
 - C18: MARKET AT OLIVE NORTH- LOT J
 - C19: MARKET AT OLIVE NORTH- LOT K
 - C20: MARKET AT OLIVE NORTH- LOT L

ST. LOUIS COUNTY RESOLUTION

WHEREAS, the Board of Supervisors of St. Louis County has determined that the proposed development plan for Market at Olive North- Lot B is in the best interests of the County and its residents;

RESOLVED, that the Board of Supervisors hereby approves the proposed development plan for Market at Olive North- Lot B, subject to the following conditions:

- The applicant shall provide a copy of this resolution to the Missouri Department of Transportation (MoDOT) for its review and approval.
- The applicant shall provide a copy of this resolution to the Missouri Department of Health and Senior Services (MDHSS) for its review and approval.
- The applicant shall provide a copy of this resolution to the Missouri Department of Environmental Protection (MDEP) for its review and approval.
- The applicant shall provide a copy of this resolution to the Missouri Department of Natural Resources (MDNR) for its review and approval.
- The applicant shall provide a copy of this resolution to the Missouri Department of Public Safety (DPS) for its review and approval.
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- The applicant shall provide a copy of this resolution to the Missouri Department of Public Safety (DPS) for its review and approval.

Final Development Plan for MARKET AT OLIVE NORTH- LOT B
UNIVERSITY CITY, MISSOURI

ST. LOUIS COUNTY ENGINEER

MARKET AT OLIVE NORTH- LOT B

UNIVERSITY CITY, MISSOURI

ST. LOUIS COUNTY ENGINEER

MARKET AT OLIVE NORTH- LOT B

UNIVERSITY CITY, MISSOURI

ST. LOUIS COUNTY ENGINEER

MARKET AT OLIVE NORTH- LOT B

UNIVERSITY CITY, MISSOURI

Exhibit A

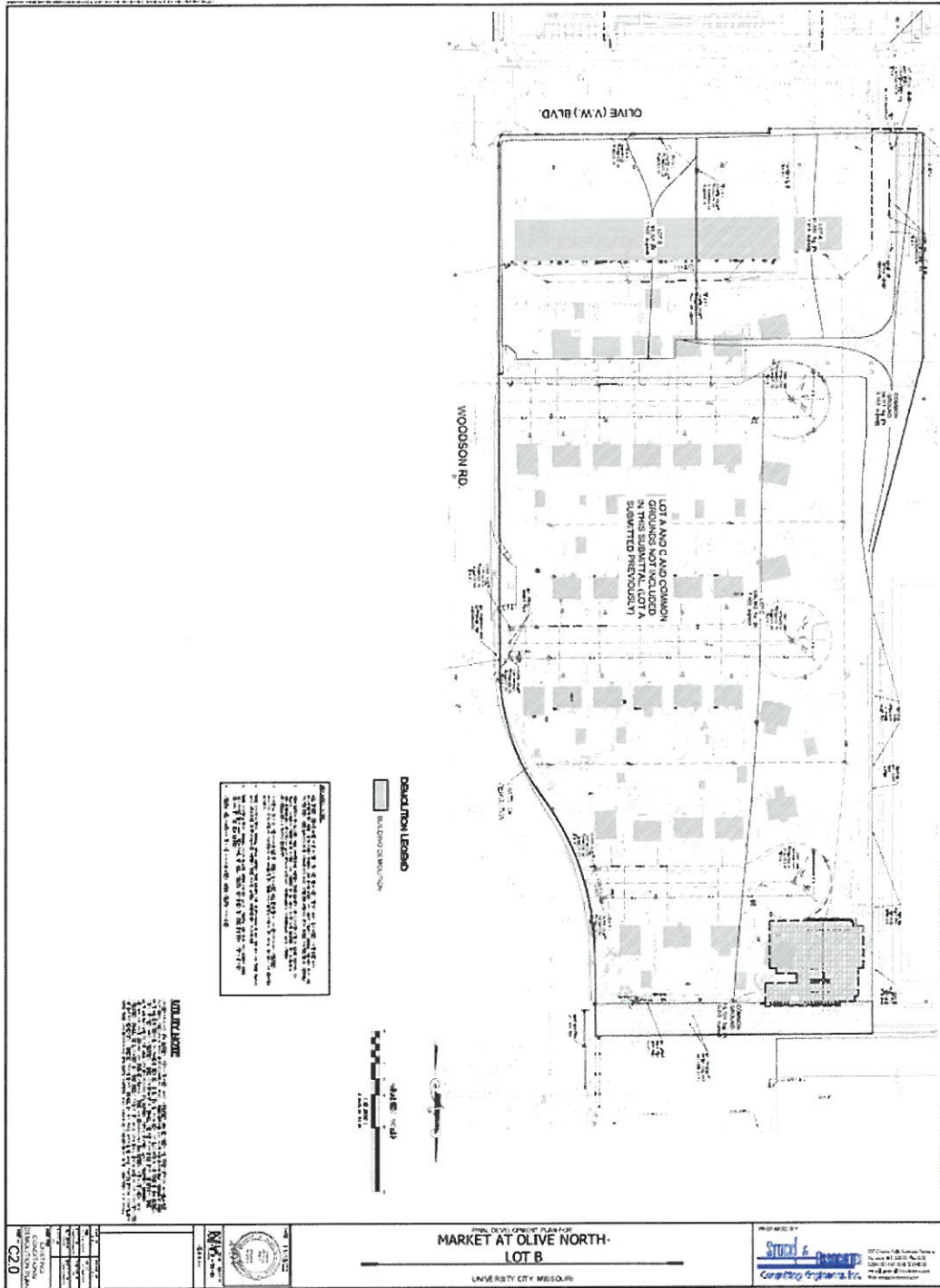


Exhibit A

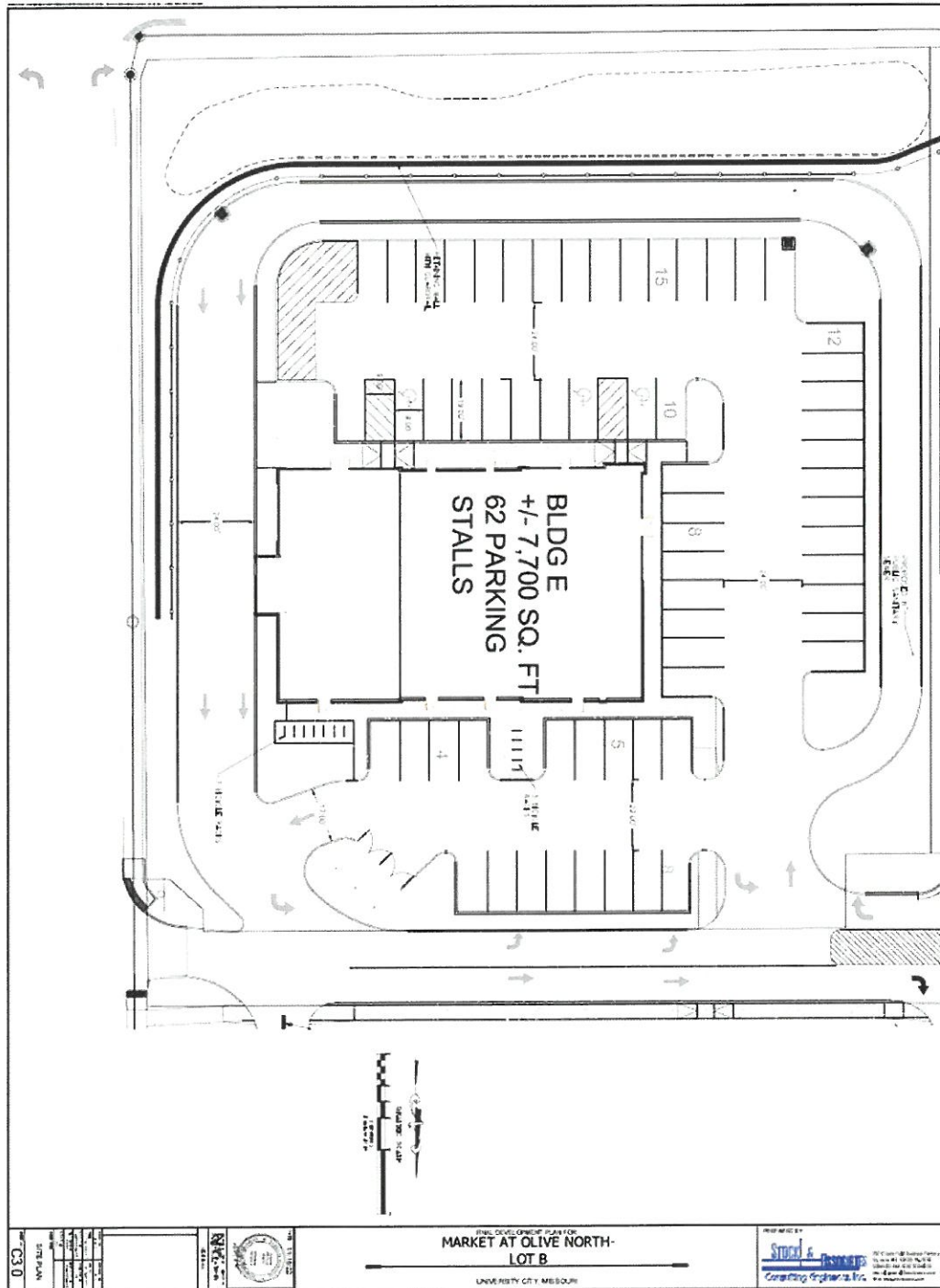
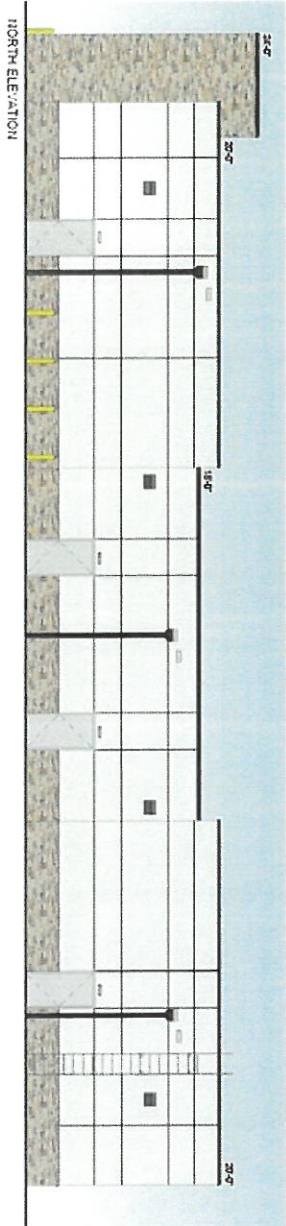
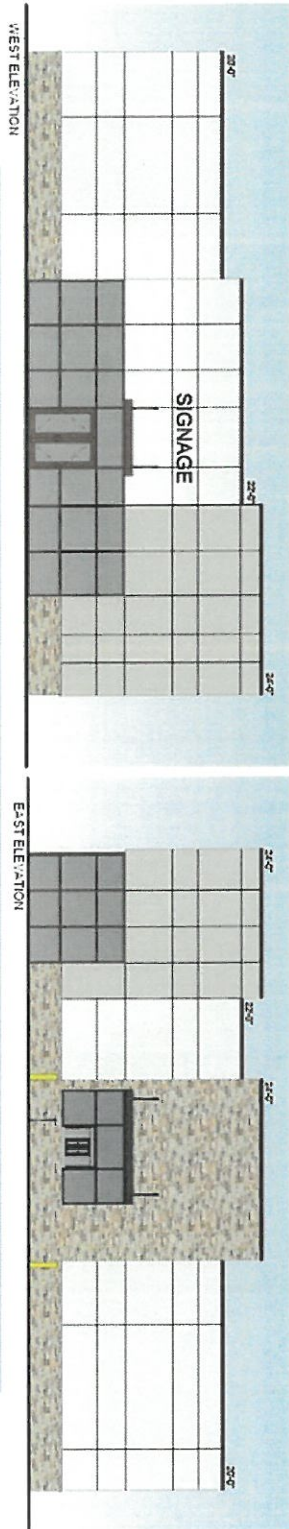
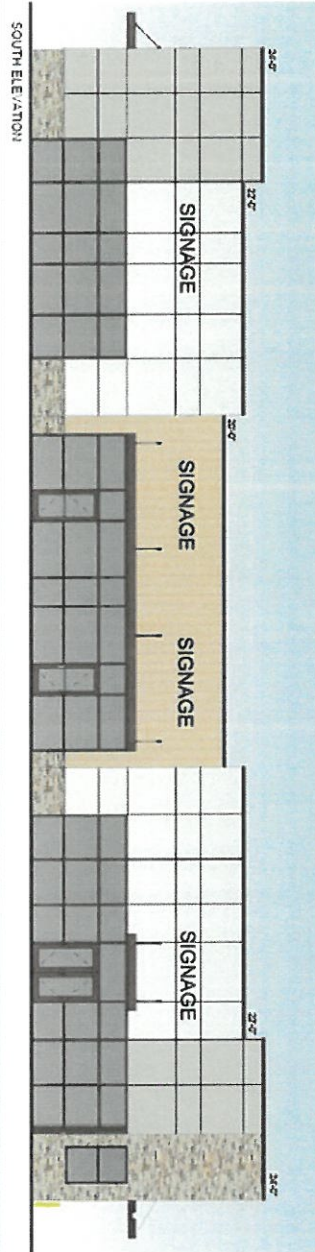


Exhibit A



BUILDING E

MARKET AT OLIVE
UNIVERSITY CITY, MO 63132

EXTERIOR
ELEVATIONS &
MATERIALS

27122407.00

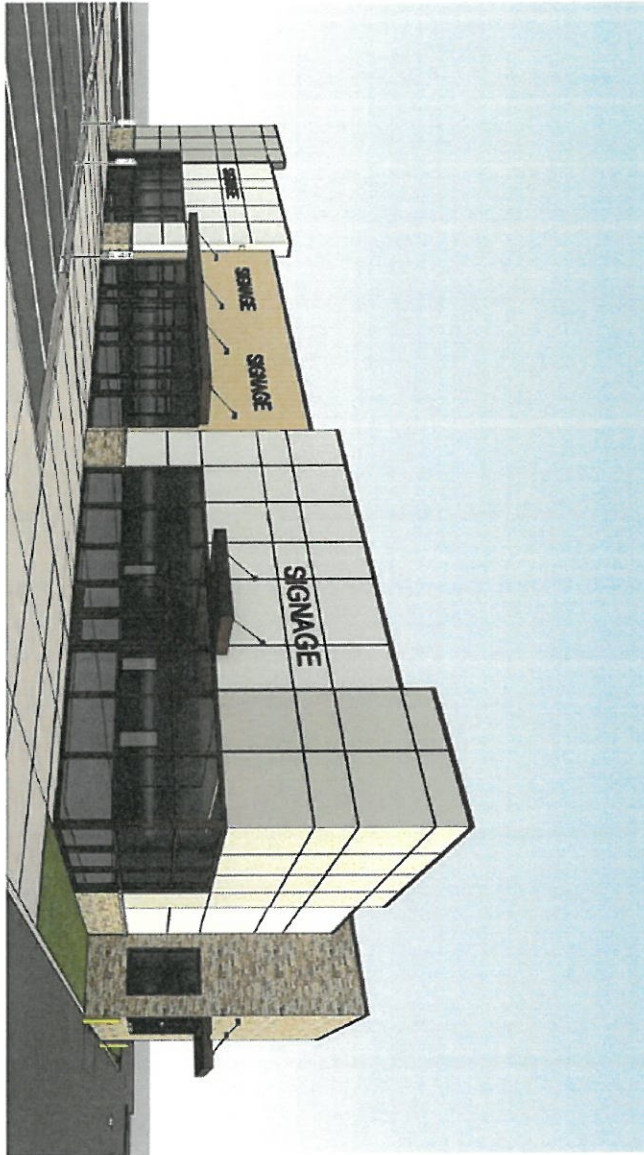
11/16/2022

SENECA
ARCHITECTURE & INTERIORS

HUTKIN
PROPERTIES
GROUP LLC

gray

Exhibit A



SOUTHEAST PERSPECTIVE

BUILDING E

MARKET AT QUINE
UNIVERSITY CITY, MO 63112

SOUTHEAST
PERSPECTIVE

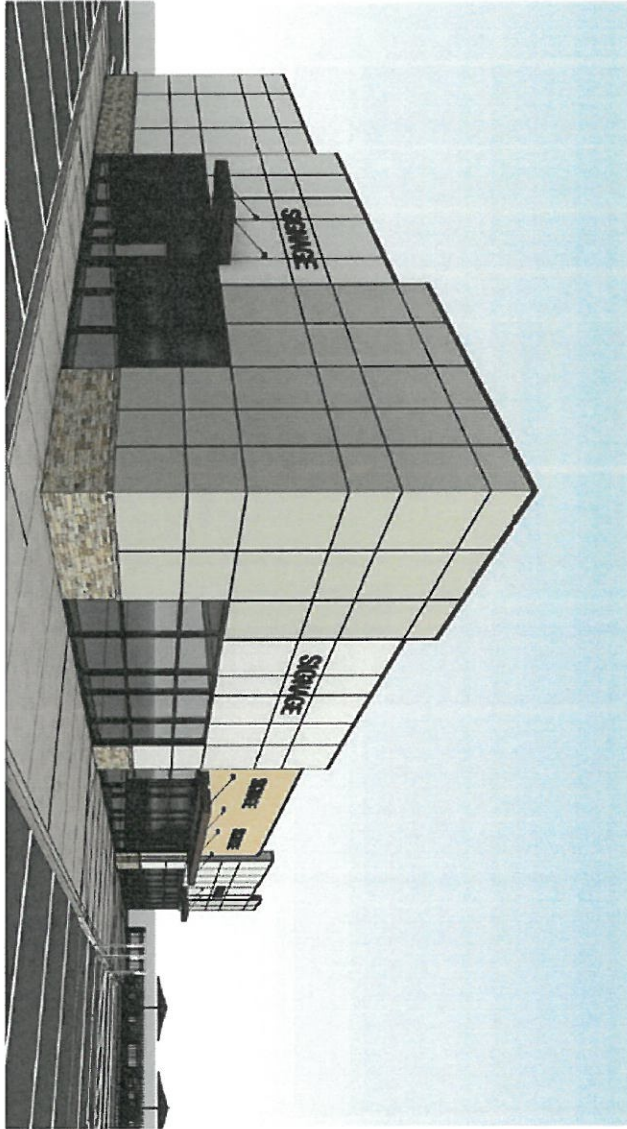
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11/15/2022

SENECA

HUTKIN
PROPERTIES
GROUP, LLC

STAY



SOUTHWEST PERSPECTIVE

BUILDING E

MARKET AT OLIVE
UNIVERSITY CITY, MO 63132

SOUTHWEST
PERSPECTIVE

27132407.00

11/15/2022

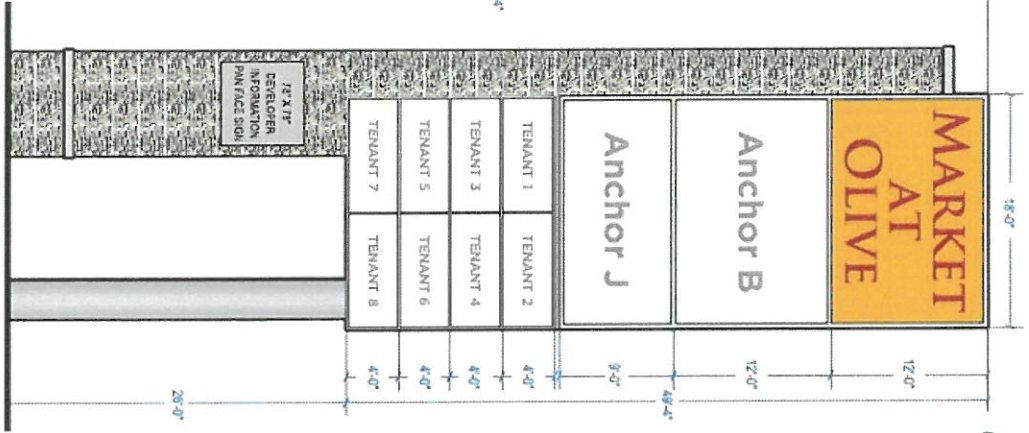
SENECA
PROPERTIES GROUP LLC

HUTKIN
PROPERTIES
GROUP LLC

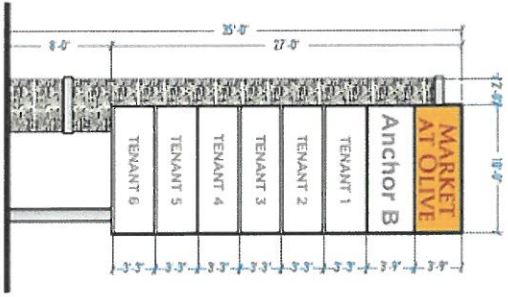
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Exhibit A

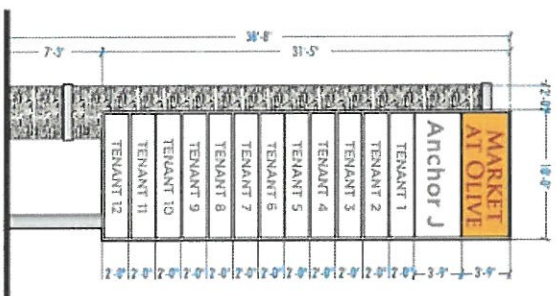
* THIS NOTE IS VISIBLE ON THE PRINT. THE DRAWING HAS NOT BEEN PRINTED AT SCALE. SELECT ACTUAL SIZE FROM YOUR PLOT PRINT. OPTION A 10/17/19/5/5 SIZE



1 HIGHWAY PYLON - OPTION A
 SCALE: 1/8" = 1'
 SIGN AREA: 49'-4" (5927) x 18'-0" (2167) = 127,872 / 144 = 888sf



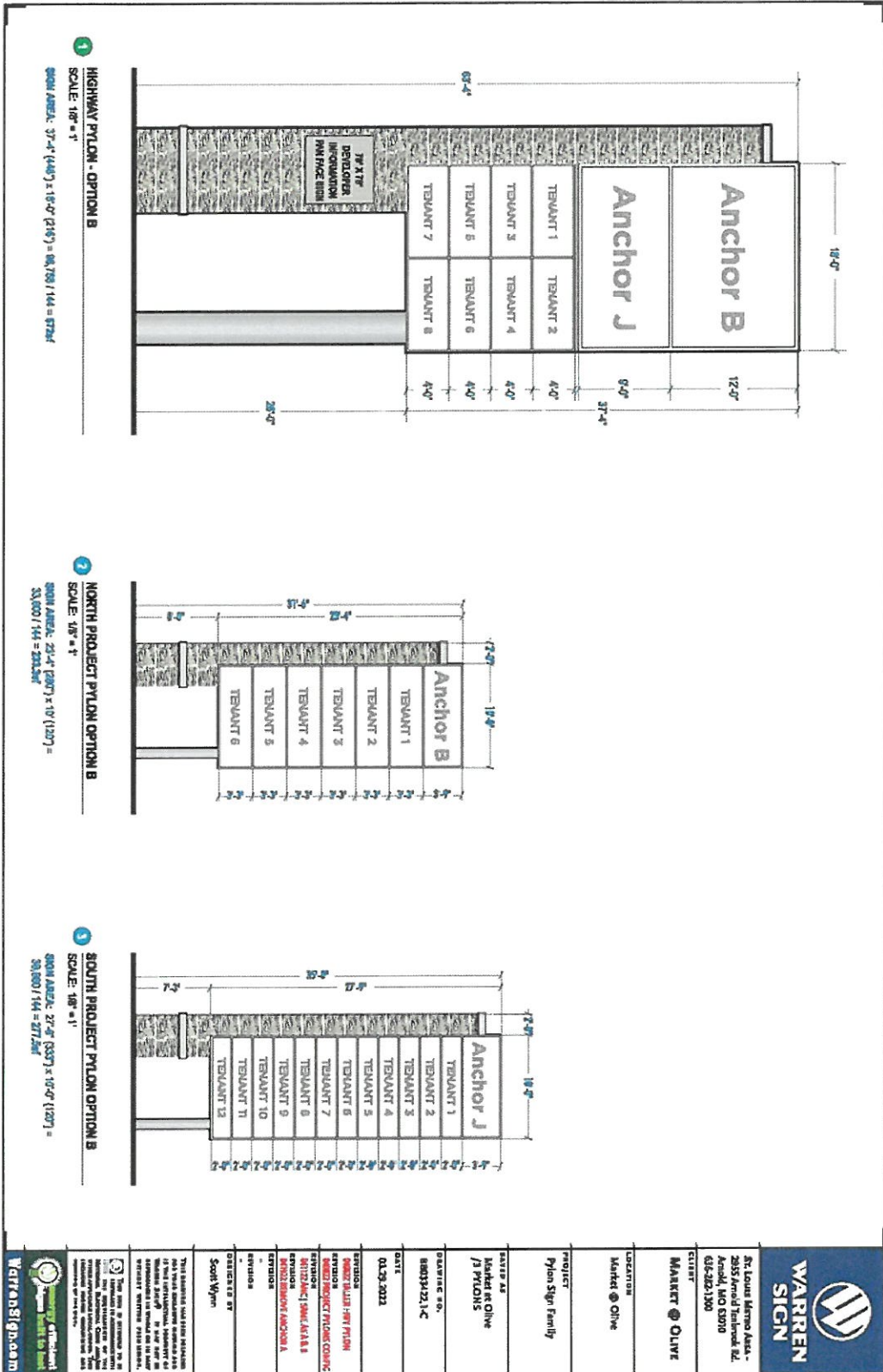
2 NORTH PROJECT PYLON - OPTION A
 SCALE: 1/8" = 1'
 SIGN AREA: 27' x 18' = 486sf



3 SOUTH PROJECT PYLON - OPTION A
 SCALE: 1/8" = 1'
 SIGN AREA: 31'-5" (377) x 18'-0" (2167) = 45,240 / 144 = 314.2sf

ST. LOUIS METRO AREA - 2353 Ferndale Enterprise Rd. Arnold, MO 63010 636.282.1350	CLIENT MARKET @ OLIVE
LOCATION Market @ Olive	PROJECT Pylon Sign Family
TARGET X1 Market @ Olive J/PYLONS	PROJECT NO. 88034721.1-B
DATE 01-29-2022	DESIGNER SCOTT WYNN INTERIOR DESIGN PROJECT PLYLONS CONSULTING
DESIGN DESIGNING ISHAE ASALA DESIGNER/DESIGNER TO SOUTH FRONT	CHECKED BY Scott Wynn
THIS SIGN IS MANUFACTURED BY AND FROM MATERIALS PROVIDED BY IT IS THE RESPONSIBILITY OF THE ARCHITECT/ENGINEER TO VERIFY THE DIMENSIONS AND WEIGHT OF THE SIGNER'S WEIGHT AND WINDS.	THIS SIGN IS MANUFACTURED BY AND FROM MATERIALS PROVIDED BY IT IS THE RESPONSIBILITY OF THE ARCHITECT/ENGINEER TO VERIFY THE DIMENSIONS AND WEIGHT OF THE SIGNER'S WEIGHT AND WINDS.
Warren Sign www.warensign.com	

Exhibit A



IF THIS SIGN IS VISIBLE ON THE FRONT, THE COMPANY HAS NOT BEEN PRINTED IN SCALE. SELECT APPLICABLE SIGN FROM TABLE FOR FRONT OPTION & VIEW OPTION SIGN.

WARREN SIGN

St. Louis Metro Area -
 2835 Arnold Parkway Rd.
 Arnold, MO 63010
 (636) 282-1500

CLIENT
MARKET @ OLIVE

LOCATION
 Market @ Olive

PROJECT
 Pylon Sign Family

DATE AS
 Issued At Olive
 PJ PLYONS

DRAWING NO.
 08013121-1-C

DATE
 01.29.2012

DESIGNER
 BRUCE BLUM - HNTB

PROJECT ARCHITECT/ENGINEER
 HNTB

DESIGNER
 KRISTINE SWEETMAN

REVISIONS
 REVISIONS
 ORDERED BY
 Scott Wynn

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