



Historic Preservation Commission
6801 Delmar Boulevard · University City, Missouri 63130 · 314-505-8500 · Fax: 314-862-3168

MEETING OF THE HISTORIC PRESERVATION COMMISSION
VIA VIDEOCONFERENCE
Thursday, February 16, 2023
5:15 p.m.

IMPORTANT NOTICE REGARDING
PUBLIC ACCESS TO THE HPC MEETING & PARTICIPATION

HPC will Meet Electronically on February 16, 2023

On March 20, 2020, City Manager Gregory Rose declared a State of Emergency for the City of University City due to the COVID-19 Pandemic. Due to the current order restricting gatherings and the ongoing efforts to limit the spread of the COVID-19 virus, the February 16, 2023 meeting will be conducted via videoconference.

Observe and/or Listen to the Meeting (your options to join the meeting are below):

Webinar via the link below:

<https://us02web.zoom.us/j/88523136627?pwd=R2JGdjZZcDV3VTBvejBNeERSdVNkZz09>

Passcode: 858709

Or One tap mobile:

US: +13126266799,,88523136627#,,,,*858709# or +16469313860,,88523136627#,,,,*858709#

Or Telephone:

Dial(for higher quality, dial a number based on your current location):

US: +1 312 626 6799 or +1 646 931 3860 or +1 929 205 6099 or +1 301 715 8592 or +1 305 224 1968
or +1 309 205 3325 or +1 689 278 1000 or +1 719 359 4580 or +1 253 205 0468 or +1 253 215 8782 or
+1 346 248 7799 or +1 360 209 5623 or +1 386 347 5053 or +1 507 473 4847 or +1 564 217 2000 or
+1 669 444 9171 or +1 669 900 6833

Webinar ID: 885 2313 6627

Passcode: 858709

International numbers available: <https://us02web.zoom.us/j/kcwyASbvXY>

Citizen Participation

Those who wish to provide a comment during the “Public Comment” portion of the agenda may provide written comments or request video participation invites to the Director of Planning and Development ahead of the meeting. Please specify which case and portion of the agenda you wish to comment.

ALL written comments or video participation invites must be received **no later than 12:00 p.m. the day of the meeting**. Comments may be sent via email to: jwagner@ucitymo.org or mailed to the City Hall – 6801 Delmar Blvd. – Attention John Wagner, Director of Planning and Development. Such comments will be provided to the Historic Preservation Commission prior to the meeting. Comments will be made a part of the official record and made accessible to the public online following the meeting.

Please note, when submitting your comments or invites, a **name and address must be provided**. Please also note if your comment is on an agenda or non-agenda item, and a name and address are not provided, the provided comment will not be recorded in the official record.

The City apologizes for any inconvenience the meeting format change may pose to individuals, but it is extremely important that extra measures be taken to protect employees, residents board/commission members and elected officials during these challenging times.

AGENDA

HISTORIC PRESERVATION COMMISSION

1. Roll Call
2. Public Comments – (Limited to 3 minutes for individual’s comments, 5 minutes for representatives of groups or organizations.)

ALL written comments or video participation invites must be received no later than 12:00 p.m. the day of the meeting. Comments may be sent via email to: jwagner@ucitymo.org or mailed to the City Hall – 6801 Delmar Blvd. – Attention John Wagner, Director of Planning and Development. Such comments will be provided to the Historic Preservation Commission prior to the meeting. Comments will be made a part of the official record and made accessible to the public online following the meeting.

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3. Old Business

- a. None

4. New Business

- a. **File Number:** HPC 23-01
Address: 6880 Washington Avenue
Applicant: Jeff White, Christner Architects
Property Owner: Center for Creative Arts (COCA)
Request: University City Civic Complex: Design Review for Conformance with District Standards

VOTE REQUIRED

- b. **File Number:** HPC 23-02
Address: 6900 Delmar Boulevard, 6901 Washington Avenue, 560 Trinity Avenue
Applicant: Stacey Wehe, AIA, Managing Principal, Christner Architects
Property Owner: RDI Real Estate, LLC, Grace United Methodist Church, Washington University – St. Louis
Request: University City Civic Complex: Design Review for Conformance with District Standards

VOTE REQUIRED

5. Other Business

- a. None

6. Reports

- a. Council Liaison Report

8. Adjournment



Department of Community Development

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 862-6767, Fax: (314) 862-3168

HISTORIC PRESERVATION COMMISSION MEETING

STAFF COVER SHEET – HPC 23-01

MEETING DATE: February, 16, 2023

APPLICATION TYPE: Design Review for Conformance with District Standards

LOCATION: 6880 Washington Avenue

HISTORIC DISTRICT: University City Civic Complex Historic District

PROJECT DESCRIPTION: Full roof replacement

APPLICANT: Jeff White, Christner Architects

PROPERTY OWNER: Center for Creative Arts (COCA)

COUNCIL WARD: 1

EXISTING ZONING: PA – Public Activity District

EXISTING LAND USE: Institutional - COCA

SURROUNDING ZONING AND LAND USE:

| | | |
|--------|---|--------------------------------|
| North: | PA – Public Activity District | Institutional (Private School) |
| East: | HR – High-Density Residential District | Parking lot |
| South: | HR – High-Density Residential District | Multi-Family Residential |
| West: | SR – Single Family Residential District | Single-Family Residential |

COMPREHENSIVE PLAN CONFORMANCE

Yes No No reference

ZONING ORDINANCE CONFORMANCE

Yes No No reference

PERTINENT CODE §400.1740 University City Civic Complex Historic District

SECTION(S): §400.1760(A)(1): *In reviewing an application for a proposed undertaking that involves a color change or alteration that affects the external appearance of any building, structure or part thereof or any appurtenance related thereto or that affects the interior spaces designated above, the Commission shall approve such proposed undertaking only if it is satisfied that the historical and general architectural character of the building, structure or appurtenance will be properly preserved.*

Prepared by: John Wagner, Ph.D., Director of Planning and Development

HISTORIC PRESERVATION COMMISSION OF UNIVERSITY CITY

APPLICATION FOR REVIEW

In University City Historic Districts, and for University City Landmarks, a review is required for new construction and for certain alterations which are specified in the regulations for the district or landmark. A Review shall not be required for ordinary maintenance or repairs when materials to be used are similar to or compatible with those originally used when the buildings within the historic district were built. The materials submitted with this application will be reviewed by the Historic Preservation Commission for compliance with the standards for each historic district or landmark.

The Historic Preservation Commission encourages property owners to seek preliminary guidance of the Commission at the beginning of any renovation project to avert unnecessary expense and scheduling problems that might surface at the end of the review process. Please call the Planner at 314-505-8501 for meeting times of the Commission and to be placed on the agenda.

In addition to this review, Building Permits are required for new construction, structural changes, fences and certain other activities. Property owners are advised to check with the Building Commissioner's Office to determine if a Building Permit is needed.

ADDRESS OF PROPERTY

**6880 Washington Ave
University City, Missouri**

NAME OF HISTORIC DISTRICT

**B – B’Nai Amoona Synagogue (COCA)
National_H
University City Civic Complex**

GENERAL INFORMATION

Owner: Center for Creative Arts Phone: 314.725.6555
6880 Washington Ave
University City, MO 63130

Applicant: Jeff White, Christner Architects. Phone: 314.210.9911

Address: 621 North Skinker
University City, Missouri

Signature of applicant: Date 2/9/23

TYPE OF REVIEW REQUESTED

- X Design Review for Conformance with District Standards
- X Preliminary Review/Consultation
- ___ Permit to Demolish
- ___ Designation of Historic Landmark or District
- ___ Other: _____

DESCRIPTION OF PROPOSED PROJECT: Please include or attach sufficient information for the Commission to judge your proposed work; insufficient information may cause a delay in approval. Also, please include a brief explanation of the reason for the proposed change and a specific list of the exact proposed changes in detail on the following page.

List of Proposed Changes:

1. Replace Existing Roof, Gutter, and downspouts
2. Repace Courtyard Clerestory windows.
3. Interior work relating to de-coupling stormwater from sanitary lines to alleviate flooding issues in the existing building.
4. See proposal narrative attached.

SUBMITTAL REQUIREMENTS: Submit at least 21 days prior to regularly scheduled meeting.
Required: Photographs of the area, building or buildings to be affected by your project.

Submit, as appropriate, 12 copies of:

| | | |
|--|--|--|
| <input checked="" type="checkbox"/> Plans | <input type="checkbox"/> Specifications | <input checked="" type="checkbox"/> Site Plans |
| <input type="checkbox"/> Materials Samples | <input type="checkbox"/> Manufacturer's Literature | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Drawings of installation details | | |

Photocopies and reductions are acceptable.

SUBMIT TO: Department of Community Development, 4TH Floor
6801 Delmar Blvd.
University City, MO 63130
(314) 862-3168 (FAX)

FOR FURTHER ASSISTANCE CALL: Planner (314) 505-8501

COMMENTS: _____

Please note: This application form must be submitted with the plans for the building permit application.

CENTER FOR THE CREATIVE ARTS (COCA) PRESENTATION NARRATIVE FOR HISTORIC PRESERVATION BOARD

Description of the need to be addressed:

The west wing of COCA (the original iconic and historic Modernist building designed by Eric Mendelsohn in 1946) is overdue for a full roof replacement. The existing roof of this building has been patched and repaired numerous times and is now at risk of a catastrophic failure. In addition, this roof does not include adequate insulation for modern energy codes. A new roof will significantly improve the ability of COCA to maintain the integrity of this historic modern structure and it will protect the people, property, and spaces inside from any deleterious impacts of storm water leakage.



(Existing Roof and Clerestory Windows at Courtyard)

Additionally, the roof replacement provides an opportunity for COCA to improve how stormwater is managed holistically on site. Currently, stormwater and sanitary waste from this roof are combined into a single line that backs up during rain deluges, causing flooding in some basement areas. Reroofing provides an added opportunity to re-distribute water flows in ways that will significantly reduce the potential for basement flooding.

Also, we propose to replace the existing gutters (which were added subsequent to the original design) with gutters and downspouts closer to those that were included in the original design, and which match the profile of the concrete overhang, instead of a residential style ogee profile.



(Existing Courtyard Gutter and Downspout to be replaced)

Finally, this also requires the replacement of the interior courtyard clerestory windows. The roof replacement is an unusually complex project due to the idiosyncrasies of the original design. The original building was designed with

This communication is intended only for the addressee(s). Please notify us if received by someone other than the addressee. Addressee, please notify us of any omissions or inaccuracies. If we do not hear from you within seven days this communication will be assumed to be correct.

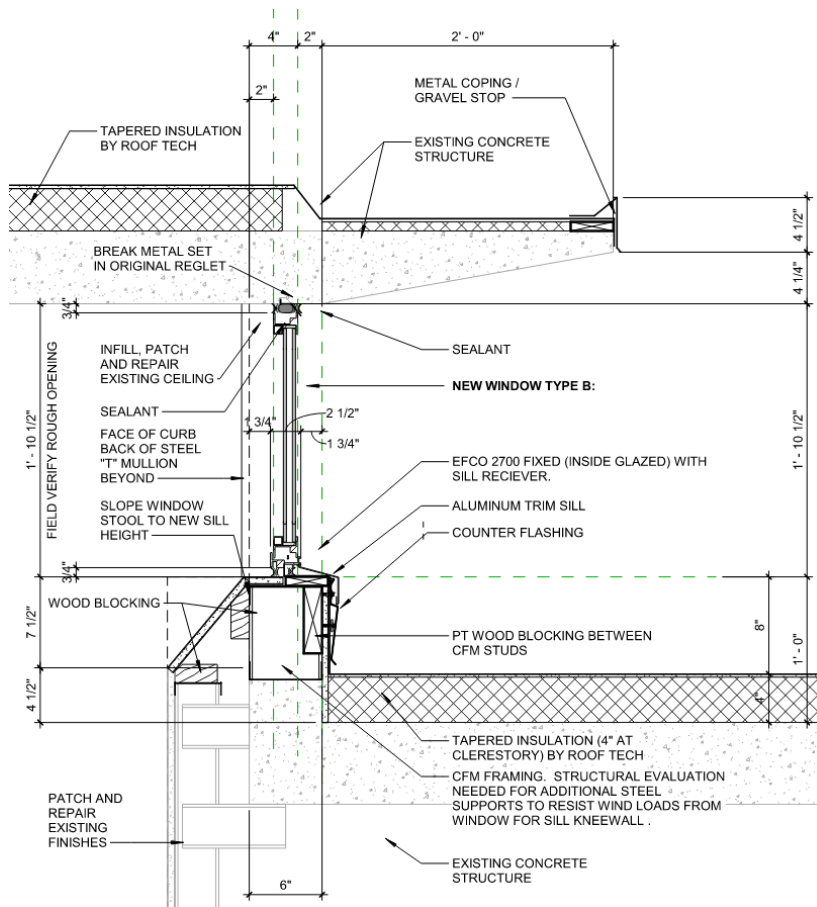
P:\2016\16028 COCA_REROOFING\AHJ\Design Narrative - COCA ReRoofing.docx

a flat concrete roof deck (with no slope or insulation) that has many stepped levels. These stepped levels have clerestory windows integrated with steel members that support the roofs above, and these windows are set almost directly on the flat roof with only small curb. Our reroofing project will add tapered insulation to the existing roof to significantly improve its energy performance and to improve and redirect water flows over the roof. As this reduces the size of the original clerestory windows, the original windows were single pane glass inset directly to concrete structure, which is no longer tenable and does not allow for reroofing. To enable reroofing, and to alleviate leaks at the original windows, the existing clerestory windows will need to be replaced with newer windows on taller curbs.



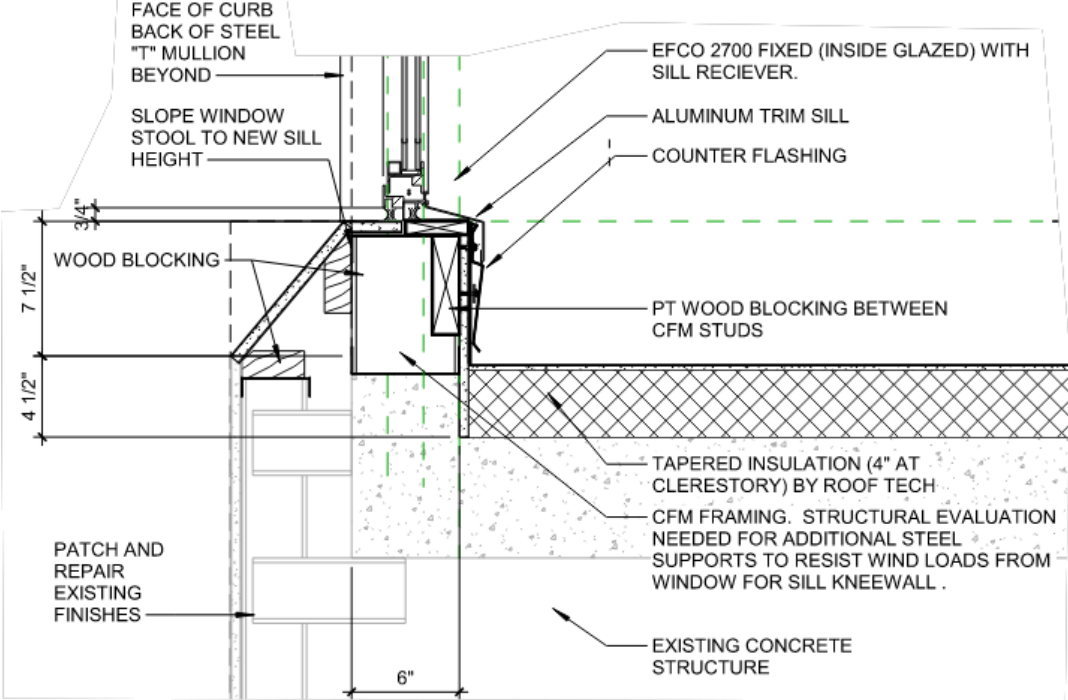
(Existing Clerestory Sill at Assembly area)

From a design impact standard, these changes are mostly visible only from the interior courtyard, with the clerestory window sills not visible from the exterior. On the interior, minimal effect can be assumed from a reduction in the area of the clerestory windows, which we are mitigating by maintaining site lines by chamfering the sill edge.

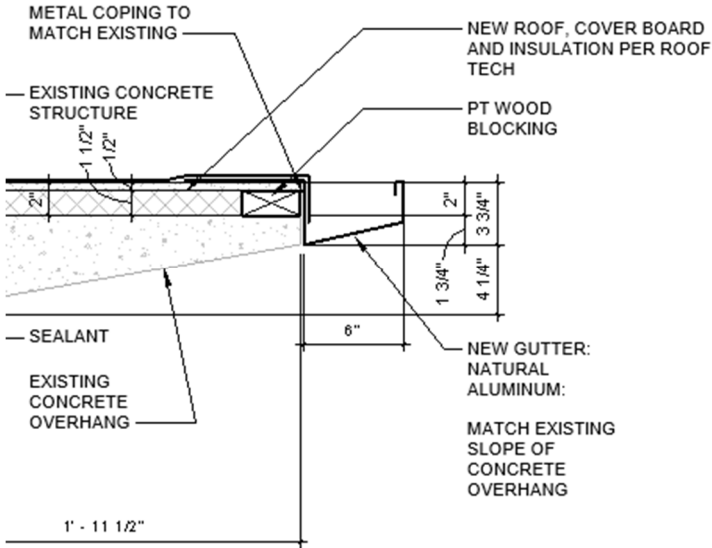


The Solution:

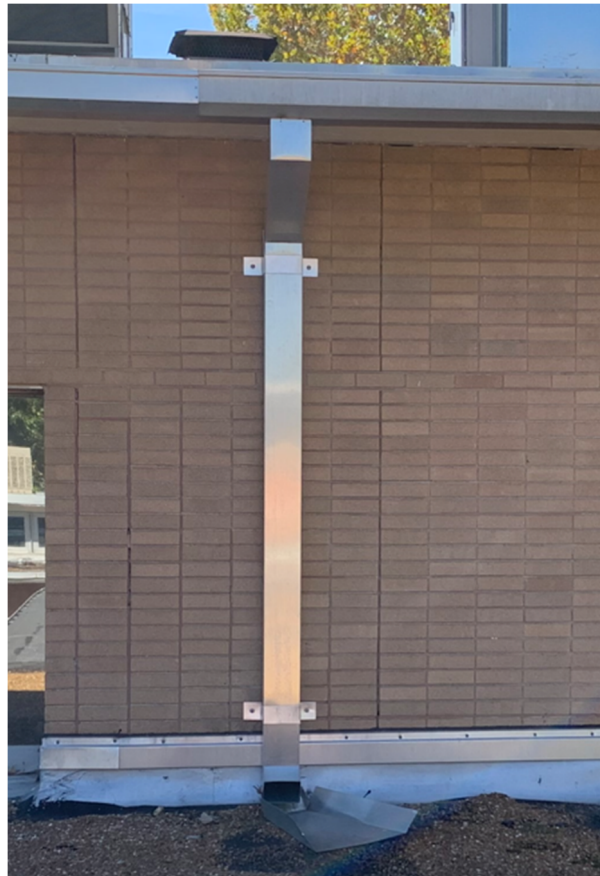
- **New Roof with Tapered Insulation:** This will be provided by Roof Tech, in conformance with the documents submitted.
- **New Clerestory windows:**
 - **Window Mullion: EFCO 2700:** This profile was selected for thermal performance with minimal size/sightlines, with natural aluminum finish to match original construction.
 - **Section revised to minimize visual impact to the interior.**



- **New Gutter and Downspouts:**
 - Existing Gutters and Downspouts are inadequate for the need, and do not match the original aesthetic of the building.
 - New Gutters will be provided. Downspouts will be modeled after those originally installed in the building at other locations. (Pictured below)



(New Gutter Detail)



- *(Existing Downspout to be matched)*



Center of Creative Arts

Roof Drain Modification Report

IMEG #22004815.00

DRAFT



**Roof Drain Modification Report
for
Center of Creative Arts
6880 Washington Ave
St. Louis, Missouri**

**IMEG #22004815.00
January 18, 2023**

BACKGROUND:

In 2020, an expansion to the Center of Creative Arts (COCA) building in University City, Missouri was constructed. Since the completion of this project, parts of the expansion basement have repeatedly flooded during or after heavy rainfall. To investigate the source of this flooding, COCA contacted Christner Architects who performed an initial study. According to the Christner memo and graphic appendix from September 21, 2021, the flooding is caused by the backup of a combination sanitary and stormwater sewer line fed by numerous roof drains on the original building. Christner contacted IMEG and requested our services to detail a method for alleviating the water load placed upon the combined sanitary and stormwater system.

GENERAL:

A reroofing of the original building will be performed to divert more rainwater through a gutter system. The new roof, gutter system, and associated collection of storm discharge shall be within the scope of the roofing and civil contractors. Due to the shape of the roof, however, not all roof drains can be alleviated through the gutter system. Where roof drains are intended to remain, all roof drains shall route to the dedicated storm system. A new roof drain body shall be provided in place of existing drains.

ADDITIONAL OBSERVATIONS/ISSUES:

Information gathered from a scoping report in November of 2021 and visual observation both suggest that the current roof drains serve a dual function. They act as both a stormwater system and a venting system. In order to maintain sufficient venting, dedicated vents will need to be installed. Any roof drains that are to be eliminated through the reroofing process must be converted directly to 4" vents. Where new roof drains are installed in the current locations, a separate vent from the original combined line must be installed.

Refer to Conceptual Drawing of Vent Decoupling Diagram within Appendix A for piping modifications.7

RECOMMENDATIONS:

For the purposes of this review, modification of the storm system is based upon a 4 inch per hour rainfall rate and piping sloped at 1/8 inch per foot. The rainfall rate was selected to maintain code compliance with IPC-2018.

A. UPPER ROOF (AREA 1):

1. The three (3) existing roof drains shall be removed and replaced by new roof drains. New 4" piping shall be installed to connect the roof drains to the existing dedicated stormwater system within the East wing expansion.
 - a. The proposed modifications relieve approximately 2,130 square feet of equivalent roof area from the combined sewer load. The load shall be redirected to the dedicated storm system.
 - b. The two (2) northern roof drains of the upper roof shall be routed down the northern end of the studio rooms into the existing utility tunnel.
 - 1) New 4" storm piping shall be provided within the tunnel and penetrate the wall of Mechanical Room E001. The new piping shall then connect into the existing 6" dedicated storm line. Proposed connection point located within Mechanical Room E001.
 - 2) Refer to pages 32 through 7 of Appendix A.
 - c. Reroute one (1) southwestern roof drain above the ceiling of the 2nd floor corridor to connect to the existing southeastern, dedicated roof drain storm riser.
 - 1) Refer to page 4 of Appendix A.
2. Provide new soffits and/or chases to conceal the piping as required.
3. Approximately two (2) new 4" vents through the roof shall be provided.
 - a. New vent penetrations through the roof will be connected to the existing sanitary system.
4. Coordinate all roof penetrations, sealing methods, and drain locations with architectural and reroofing designs.

B. LOWER CENTRAL ROOF (AREA 2):

1. The three (3) existing roof drains shall be removed and replaced by new roof drains. New piping shall be installed to connect the roof drains to a new dedicated stormwater line for the west side of the original building.



- a. The proposed modifications relieve approximately 6,675 square feet of equivalent roof area from the combined sewer load. The load shall be redirected to the dedicated storm system.
 - b. The three (3) roof drains of the lower central roof shall be routed exposed to the western side of the administrative office space and consolidated. The piping shall then route to the floor below.
 - 1) The piping for each individual roof drain shall have a 4" diameter.
 - 2) Refer to pages 4 through 6 of Appendix A.
 - c. On the lowest floor of the administrative office space, the piping shall be routed through the western wall to a new site tie-in. The final location of the tie-in and the extent of excavation shall be determined by the civil contractor.
 - d. If necessary, new chases should be installed to conceal the piping.
 - e. Provide paintable shroud or jacket on exposed piping throughout the office space. Coordinate final color with architect and owner.
2. Provide new soffits and/or chases to conceal the piping as required.
 3. Approximately three (3) new 4" vents through the roof shall be provided.
 - a. New vent penetrations through the roof will be connected to the existing sanitary system.
 4. Coordinate all roof penetrations, sealing methods, and drain locations with architectural and reroofing designs.

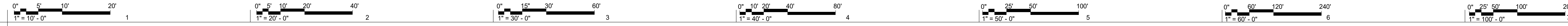
Prepared by: Andrew J. Leingang, Gor'Don M. Patterson

AJL/GMP/XX

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Enclosures: Appendix A - Modified Roof Drain Routing





A

B

C

D

E

CHRISTNER ARCHITECTS

ARCHITECTS | DESIGNERS | PLANNERS | LANDSCAPE ARCHITECTS

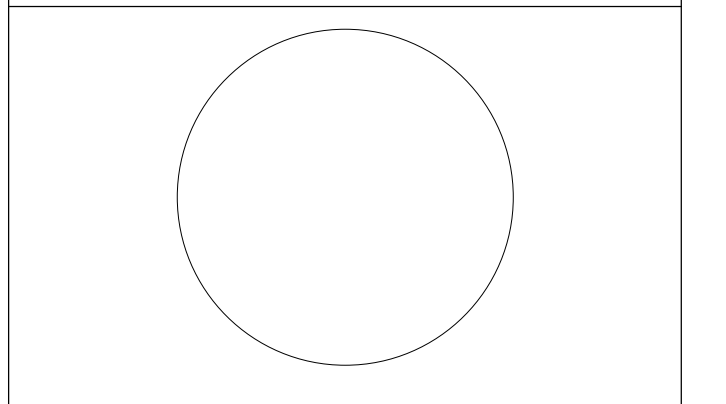
621 NORTH SKINNER | ST. LOUIS, MISSOURI 63130
 TEL 314.725.2927 | FAX 314.725.2928
 CHRISTNERARCHITECTS.COM
 CERTIFICATE OF AUTHORITY - 000842

OWNER:
 CENTER FOR CREATIVE ARTS
 524 TRINITY AVE
 UNIVERSITY CITY, MO 63130
 314.725.6555

PLUMBING:
 IMEG
 15 SUNNEN DRIVE, SUITE 104
 ST. LOUIS MO 63143
 314.645.1132
 CERTIFICATE OF AUTHORITY
 E-2017095530

REVISION SCHEDULE

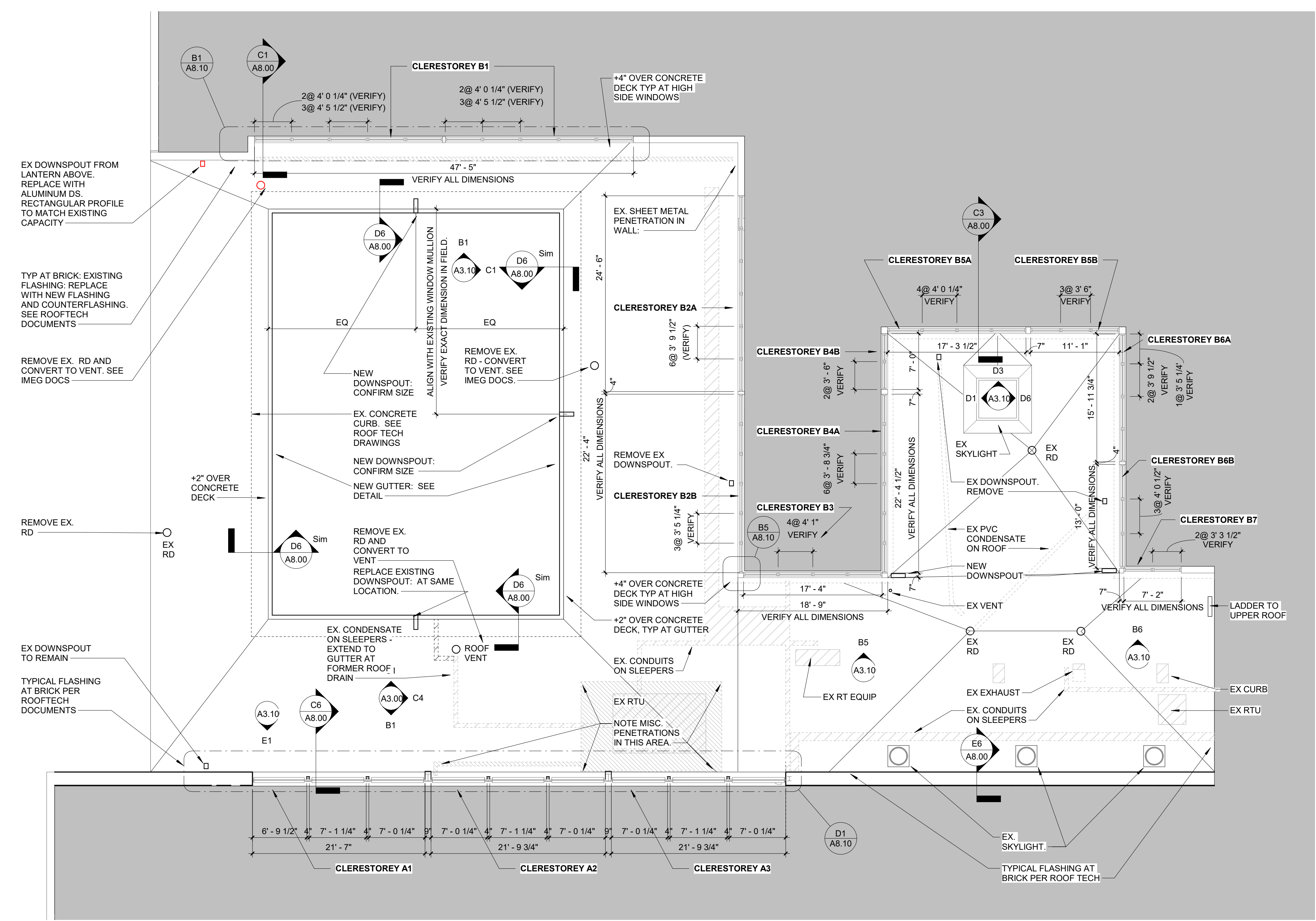
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COCA REROOFING

ROOF PLAN

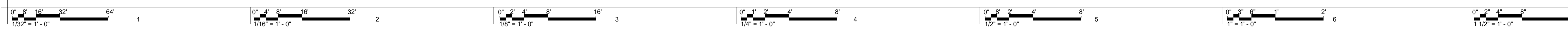


E2 LOWER ROOF(1)
 1/8" = 1'-0"

ROOF PLAN GENERAL NOTES:

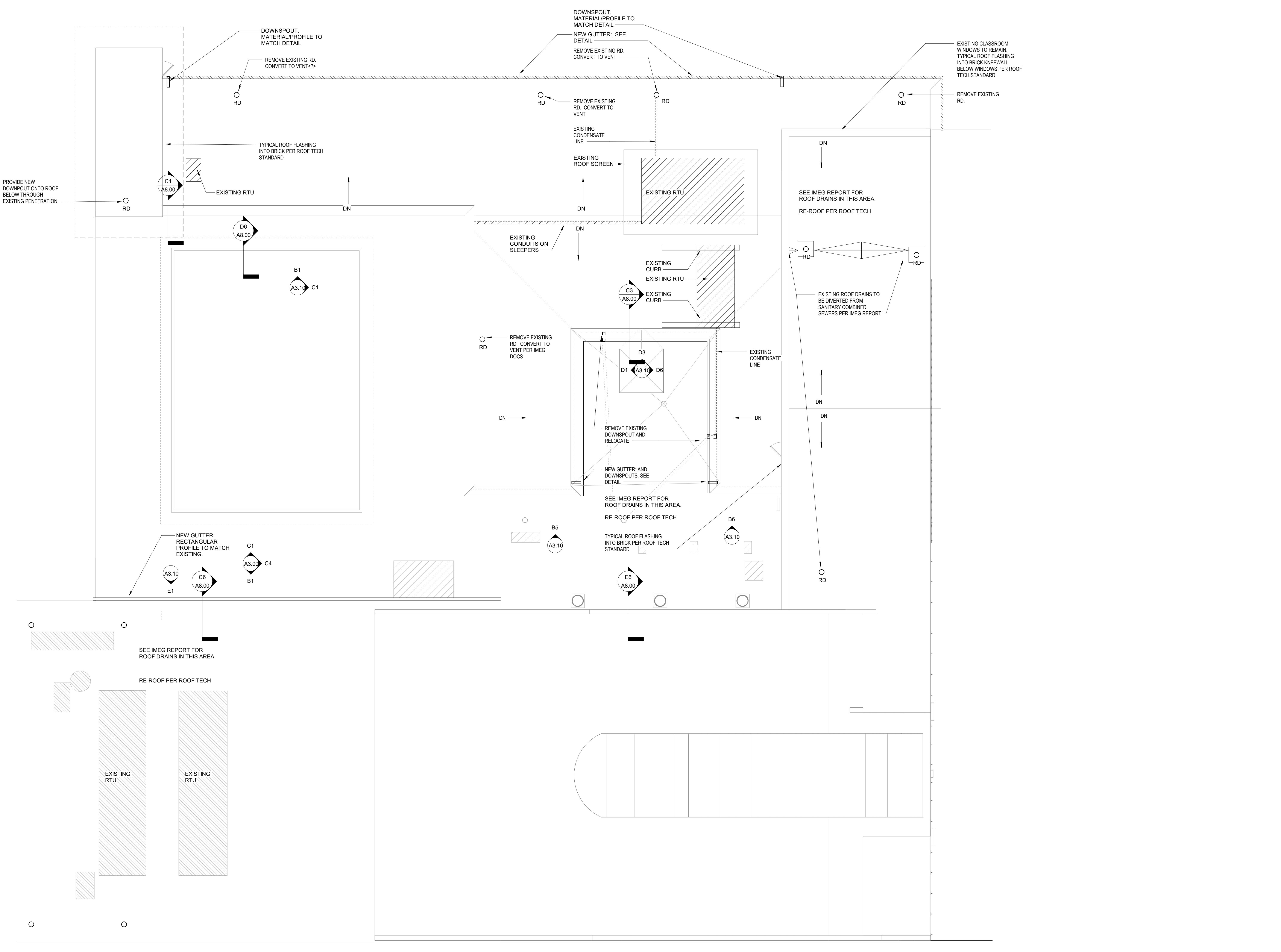
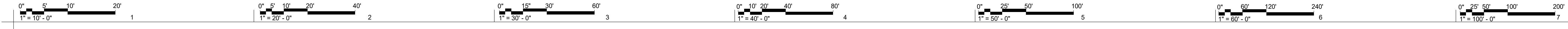
- A. NOT ALL KEYED NOTES MAY BE USED ON THIS SHEET.
- B. SLOPE ROOF INSULATION A MIN 1/4" PER FOOT.
- C. SLOPE ROOF CRICKET A MIN 1/2" PER FOOT.

SHEET NO
 PROJECT NO: PROJECT NO
 DATE: ISSUE DATE
A2.10

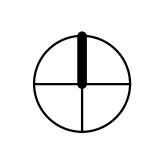


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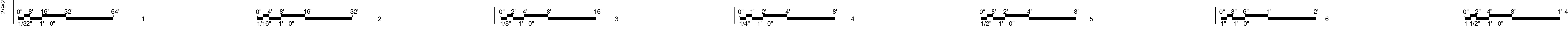


E1 SANCTUARY ROOF
1/8" = 1'-0"



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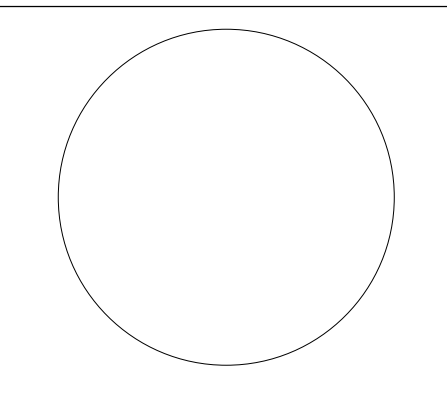
621 NORTH SKINNER | ST. LOUIS, MISSOURI 63130
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UNIVERSITY CITY, MO 63130
314.725.6555

PLUMBING:
IMEG
15 SUNNEN DRIVE, SUITE 104
ST. LOUIS MO 63143
314.645.1132
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REVISION SCHEDULE

| NO | DATE | REVISIONS |
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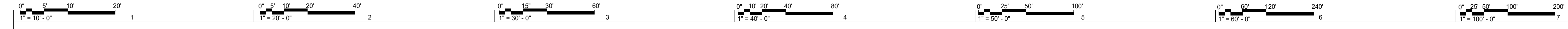


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COCA REROOFING

ROOF PLAN UPPER

SHEET NO
PROJECT NO: PROJECT NO
DATE: ISSUE DATE **A2.11**



ELEVATION GENERAL NOTES:

1. NOT ALL KEYED NOTES USED ON ALL SHEET

GLAZING LEGEND

- V1 VISION GLASS TYPE: V1 [PA NOTE: COORDINATE GLASS TYPES AND DESIGNATIONS WITH PROJECT]
- V2 VISION GLASS TYPE: V2
- V3 VISION GLASS TYPE: V3
- S1 SPANDREL PANEL TYPE: S1
- S2 SPANDREL PANEL TYPE: S2
- S3 SPANDREL PANEL TYPE: S3
- IMP INSULATED METAL PANEL GLAZED INTO CURTAIN WALL
- T TEMPERED GLAZING

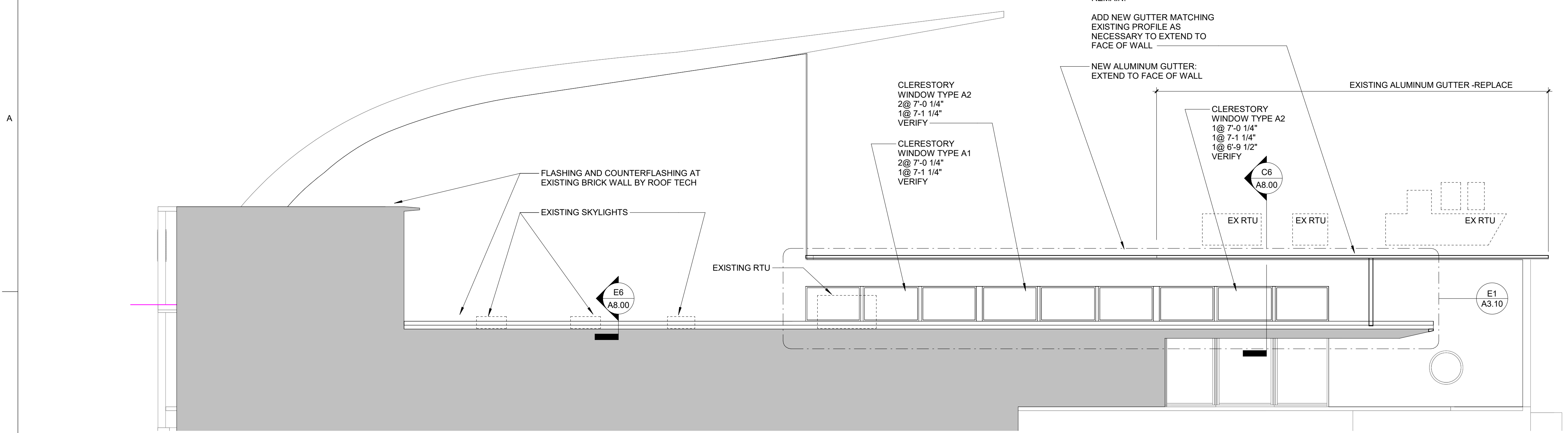
KEYED NOTES - ELEVATION

CHRISTNER ARCHITECTS

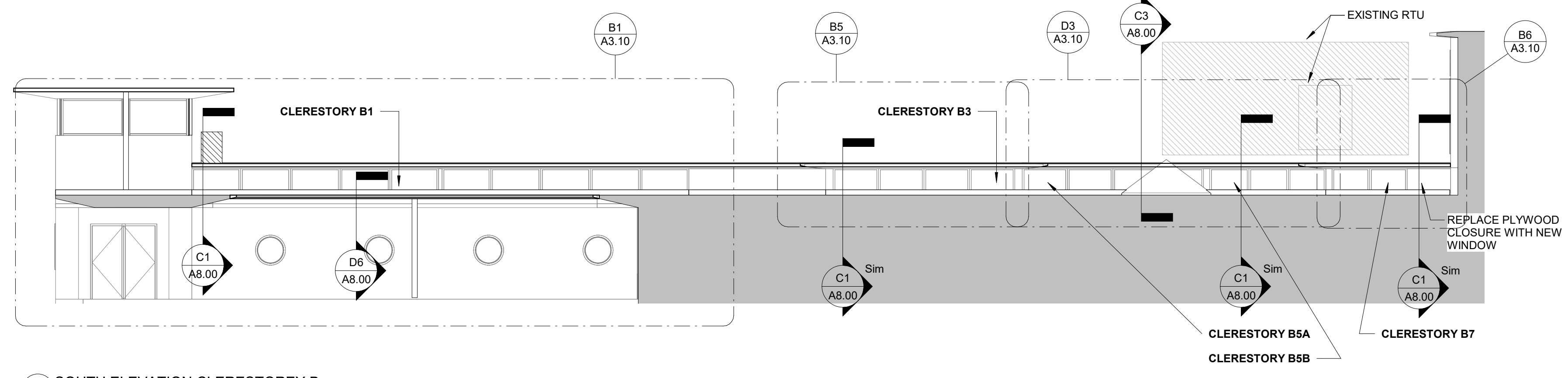
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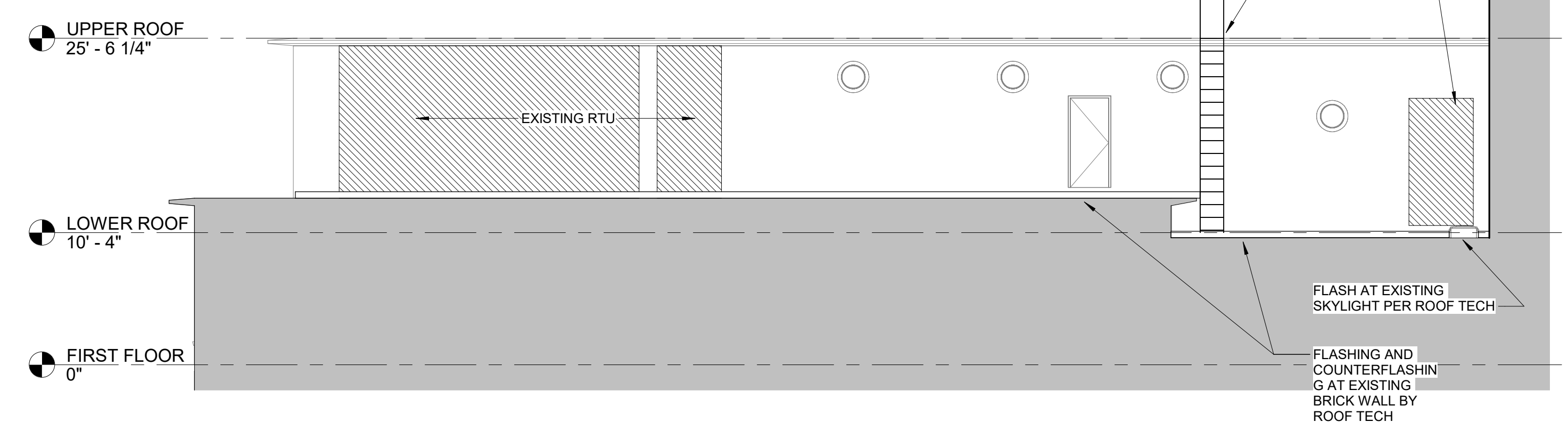
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B1 SOUTH ELEVATION - CLERESTORY A
 1/8" = 1'-0"



C1 SOUTH ELEVATION CLERESTORY B
 1/8" = 1'-0"



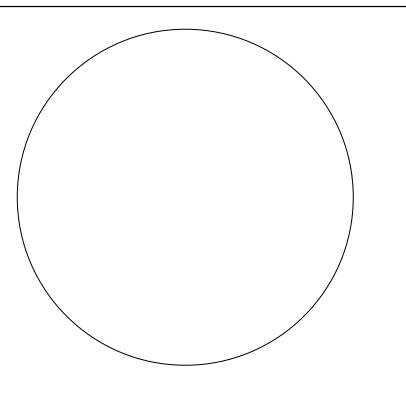
C4 WEST ELEVATION 2ND FLOOR CLASSROOMS
 1/8" = 1'-0"



[PA NOTE: COORDINATE WITH SHEET]

REVISION SCHEDULE

| NO | DATE | REVISIONS |
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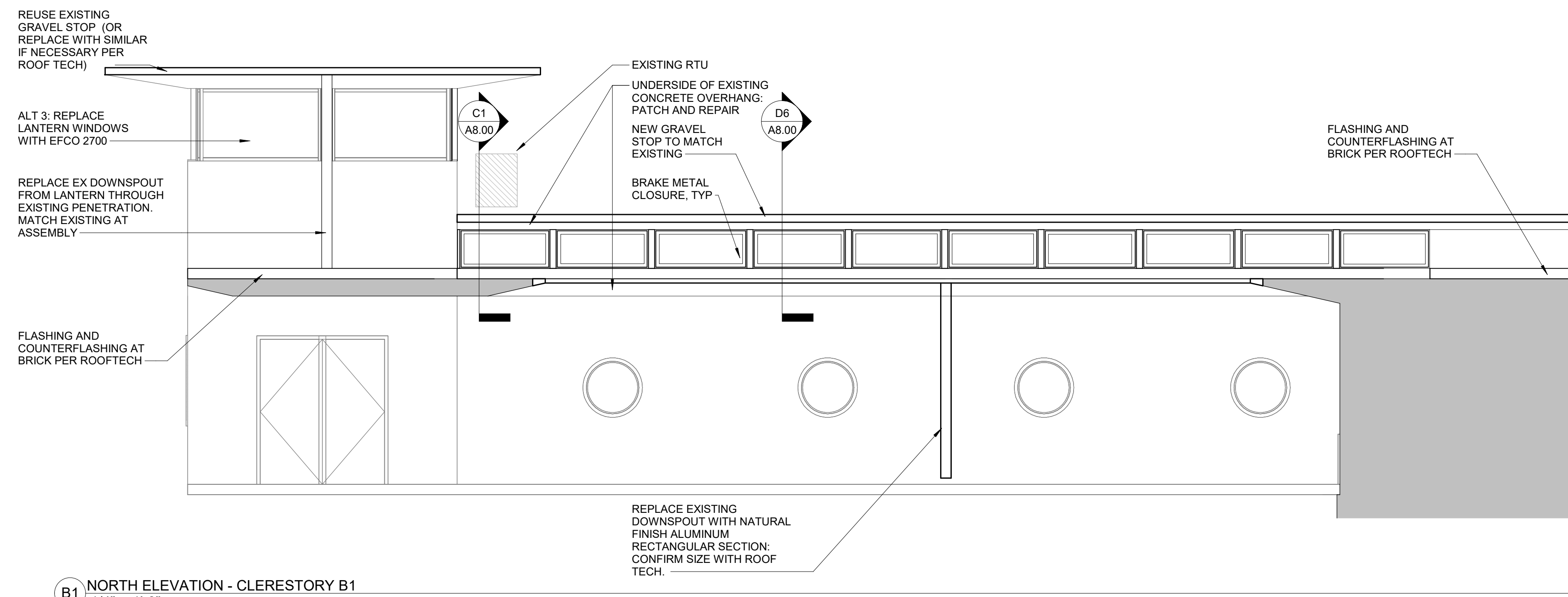
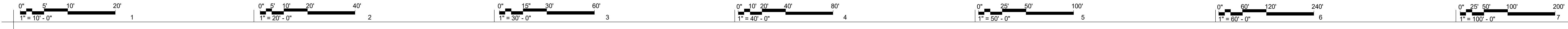


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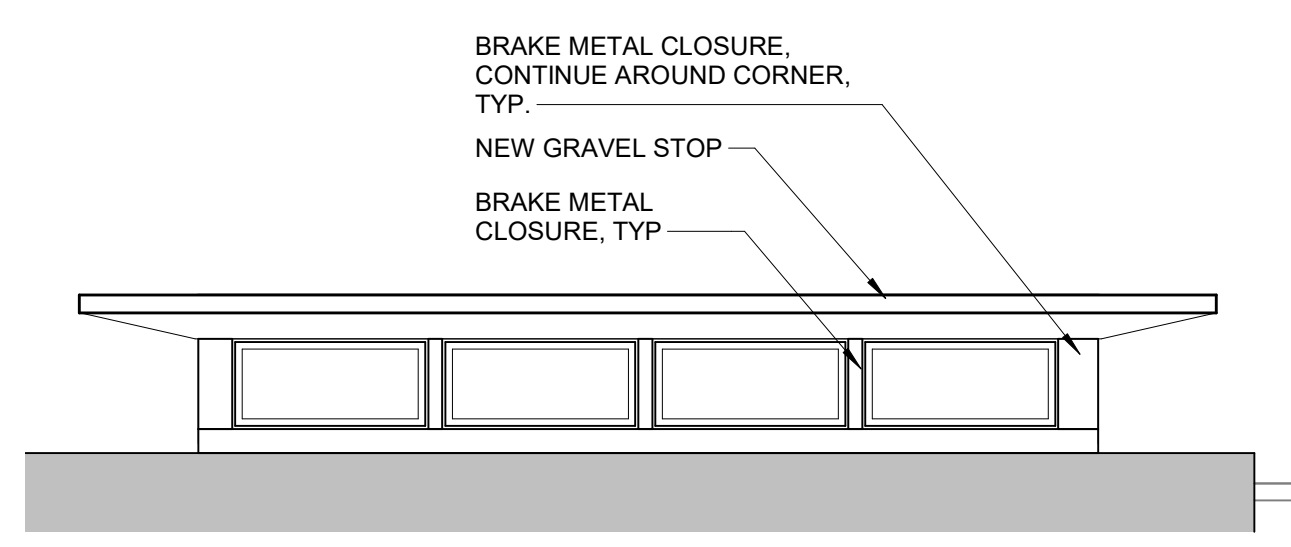
COCA REROOFING

EXTERIOR ELEVATIONS

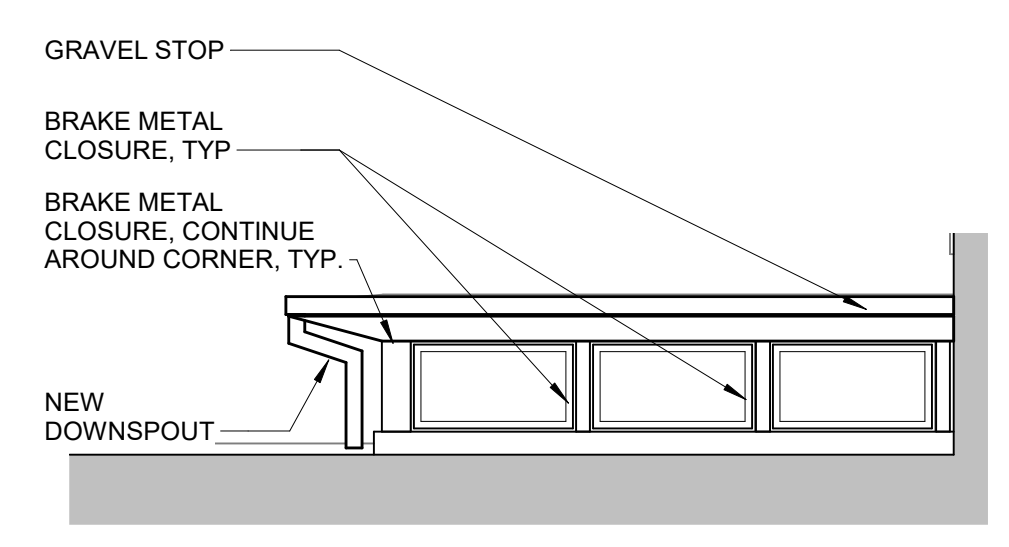
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 PROJECT NO: PROJECT NO
 DATE: ISSUE DATE **A3.00**



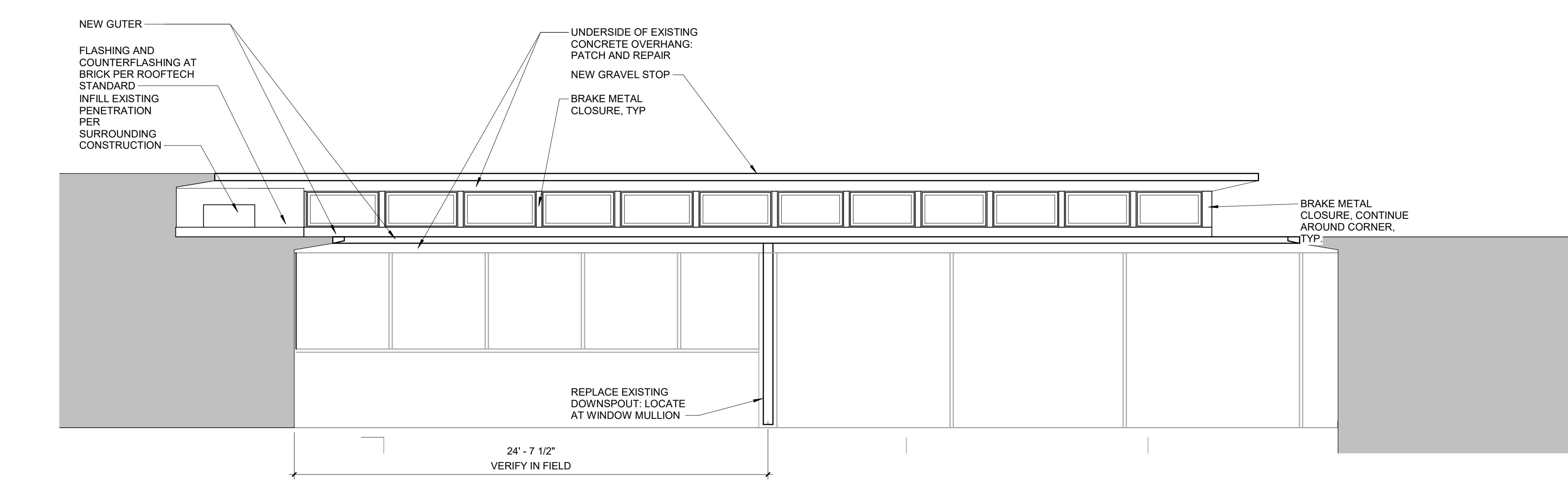
B1 NORTH ELEVATION - CLERESTORY B1
1/4" = 1'-0"



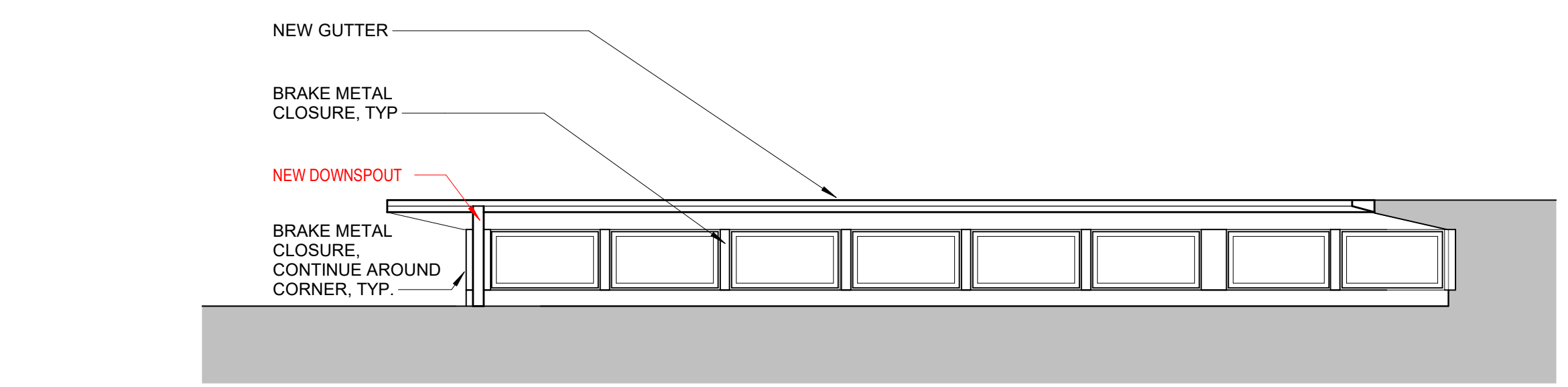
B3 SOUTH ELEVATION - CLERESTORY B3
1/4" = 1'-0"



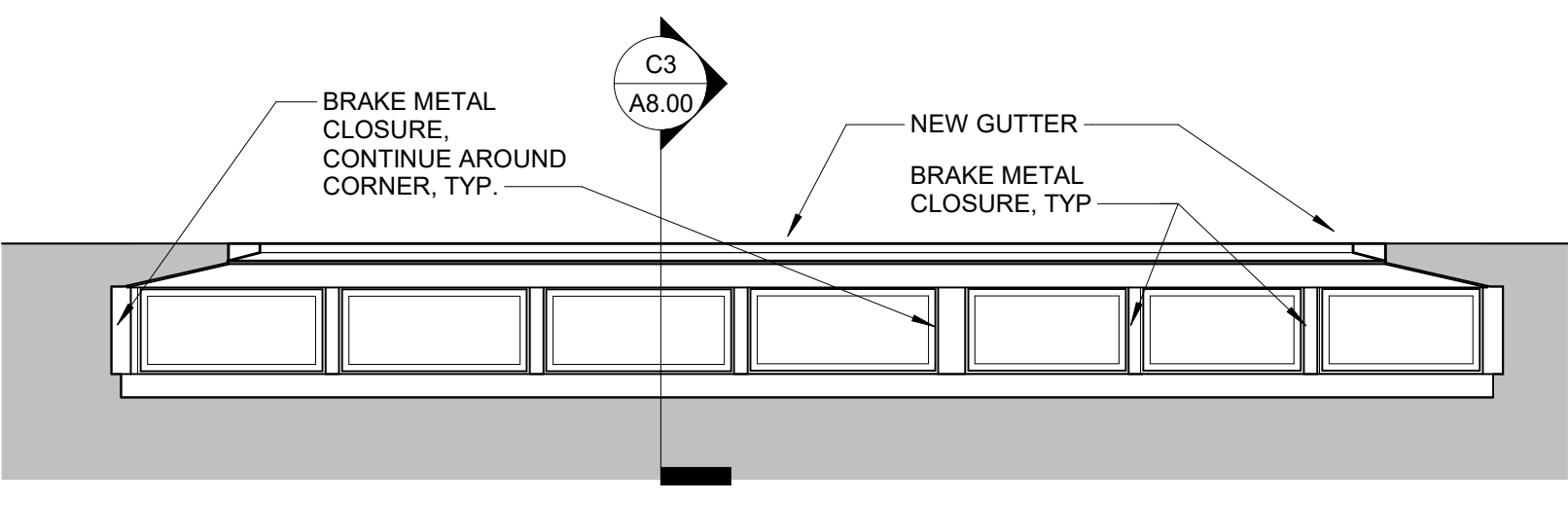
B7 SOUTH ELEVATION - CLERESTORY B7
1/4" = 1'-0"



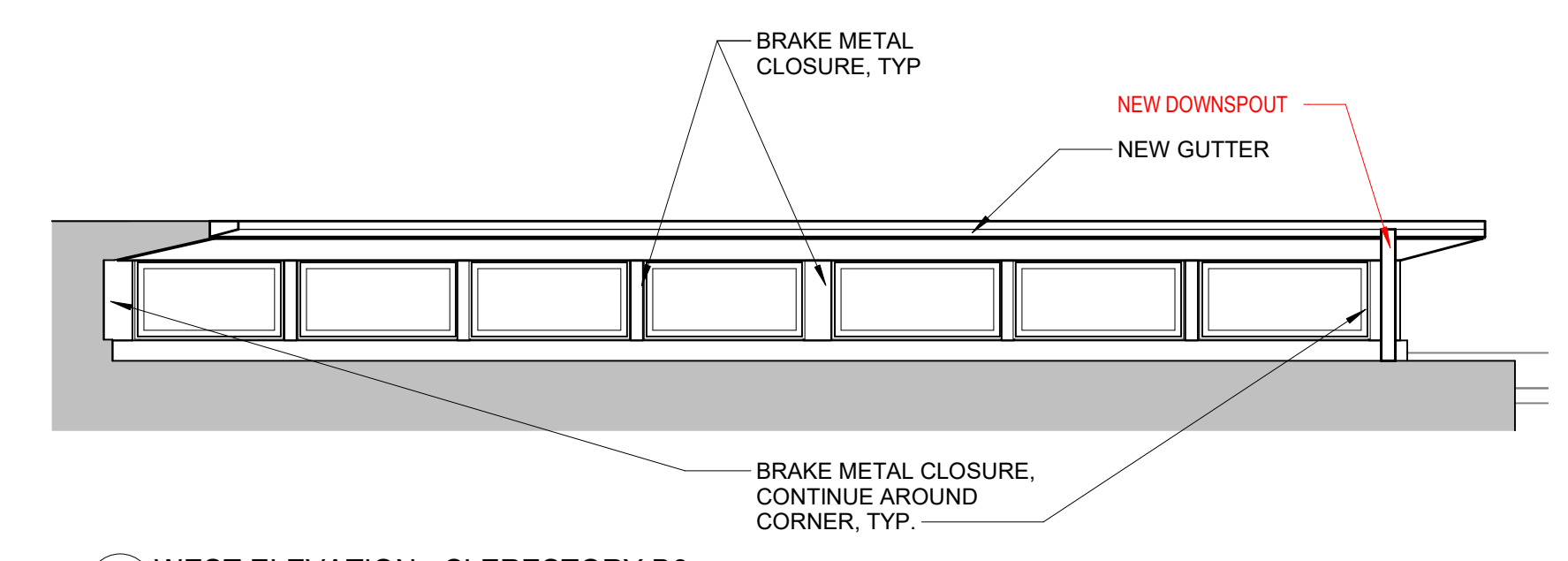
B2 WEST ELEVATION - CLERESTORY B2
1/4" = 1'-0"



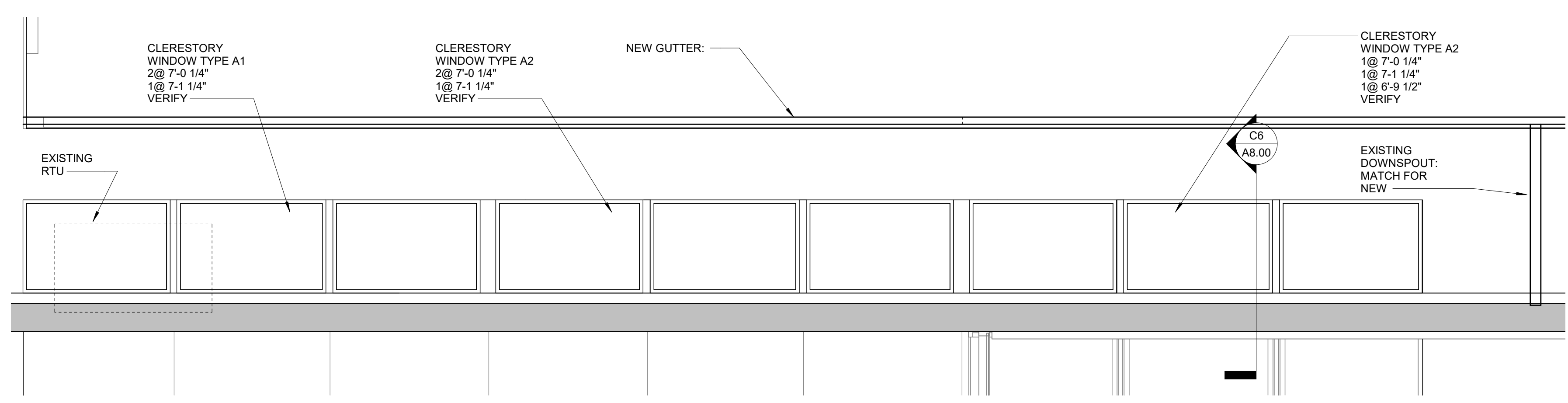
B4 EAST ELEVATION - CLERESTORY B4
1/4" = 1'-0"



B5 SOUTH ELEVATION - CLERESTORY B5
1/4" = 1'-0"

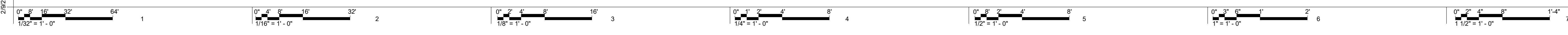


B6 WEST ELEVATION - CLERESTORY B6
1/4" = 1'-0"



A1 NORTH ELEVATION - CLERESTORY A
1/4" = 1'-0"

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CHRISTNER ARCHITECTS

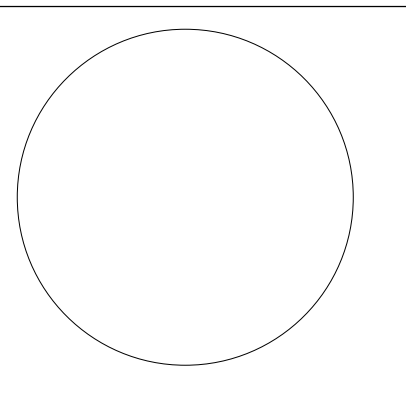
ARCHITECTS | DESIGNERS | PLANNERS | LANDSCAPE ARCHITECTS
621 NORTH SKINNER | ST. LOUIS, MISSOURI 63130
TEL 314.725.2927 | FAX 314.725.2928
CHRISTNERARCHITECTS.COM
CERTIFICATE OF AUTHORITY - 000842

OWNER:
CENTER FOR CREATIVE ARTS
524 TRINITY AVE
UNIVERSITY CITY, MO 63130
314.725.6555

PLUMBING:
IMEG
15 SUNNEN DRIVE, SUITE 104
ST. LOUIS MO 63143
314.645.1132
CERTIFICATE OF AUTHORITY
E-2017096530

REVISION SCHEDULE

| NO | DATE | REVISIONS |
|----|------|-----------|
| | | |

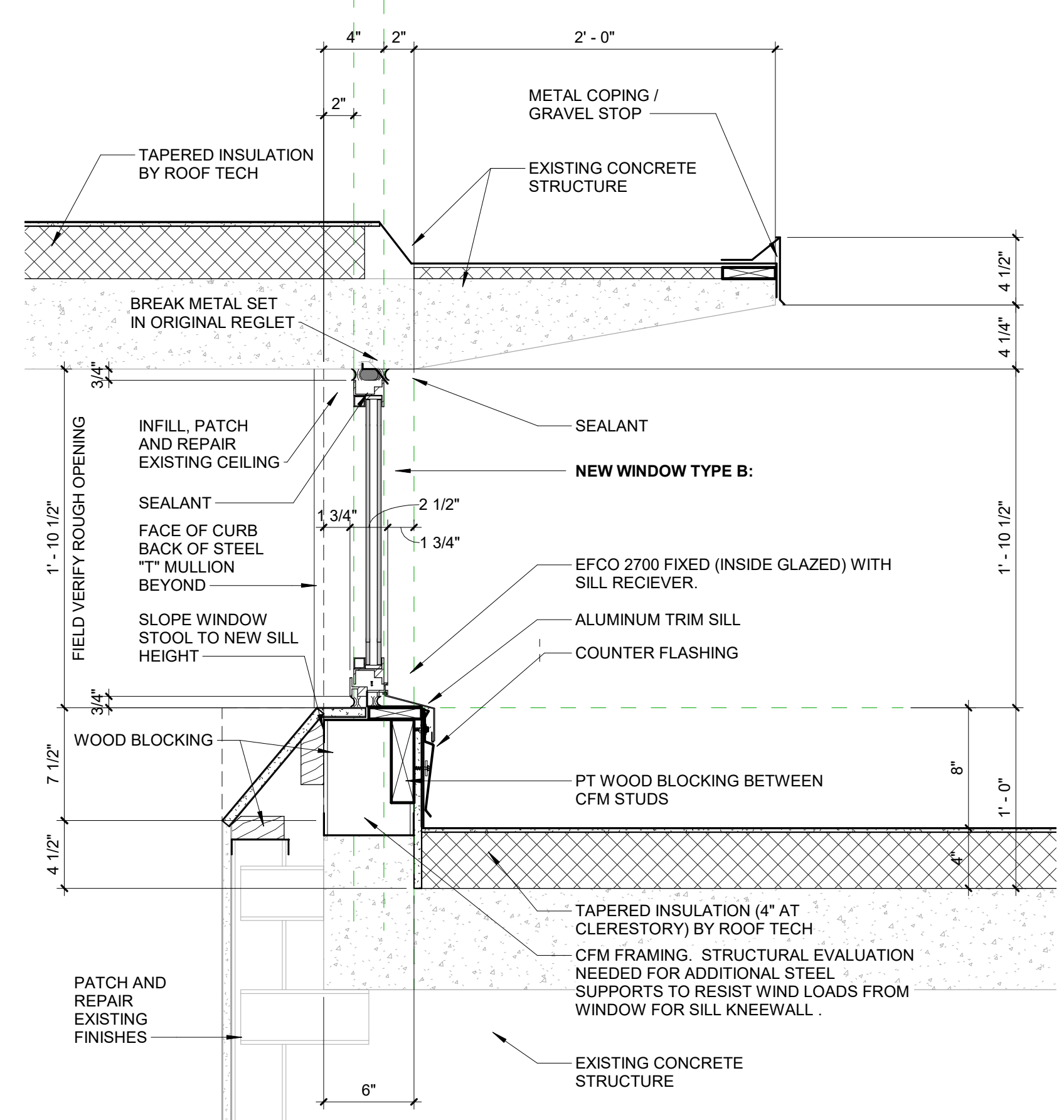
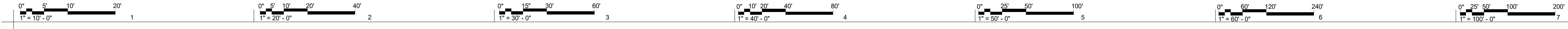


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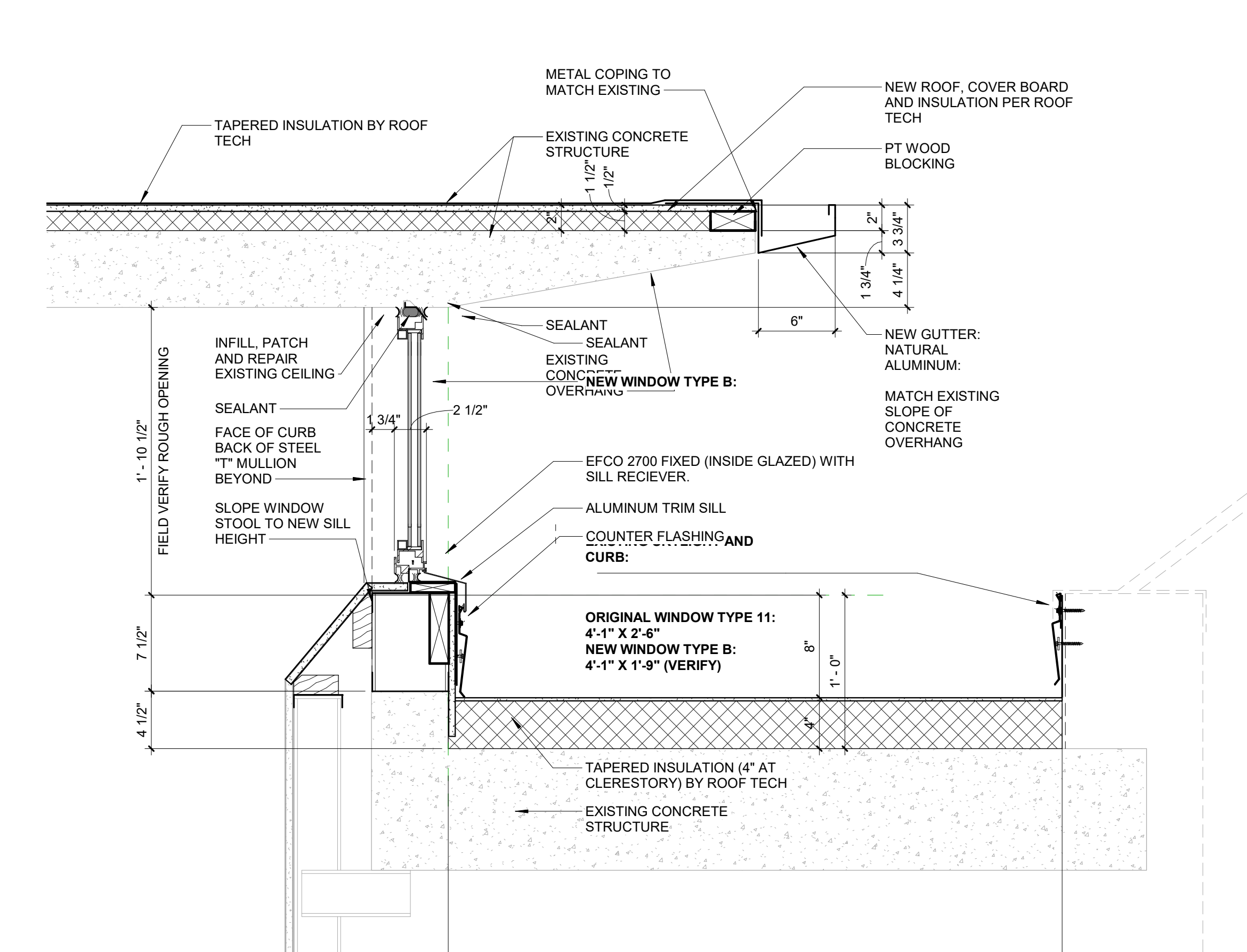
COCA REROOFING

WINDOW ASSEMBLY ELEVATIONS

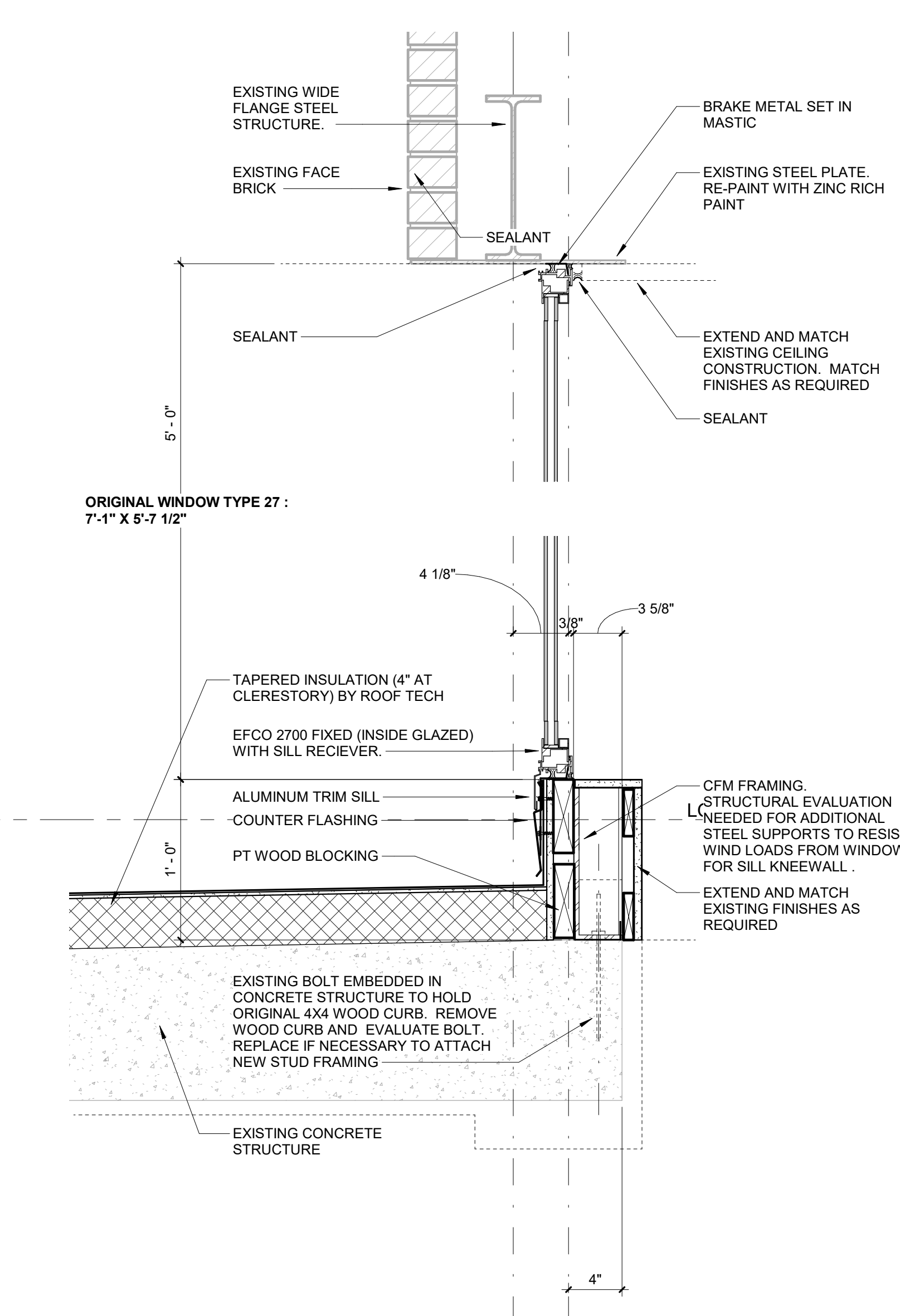
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DATE: ISSUE DATE **A3.10**



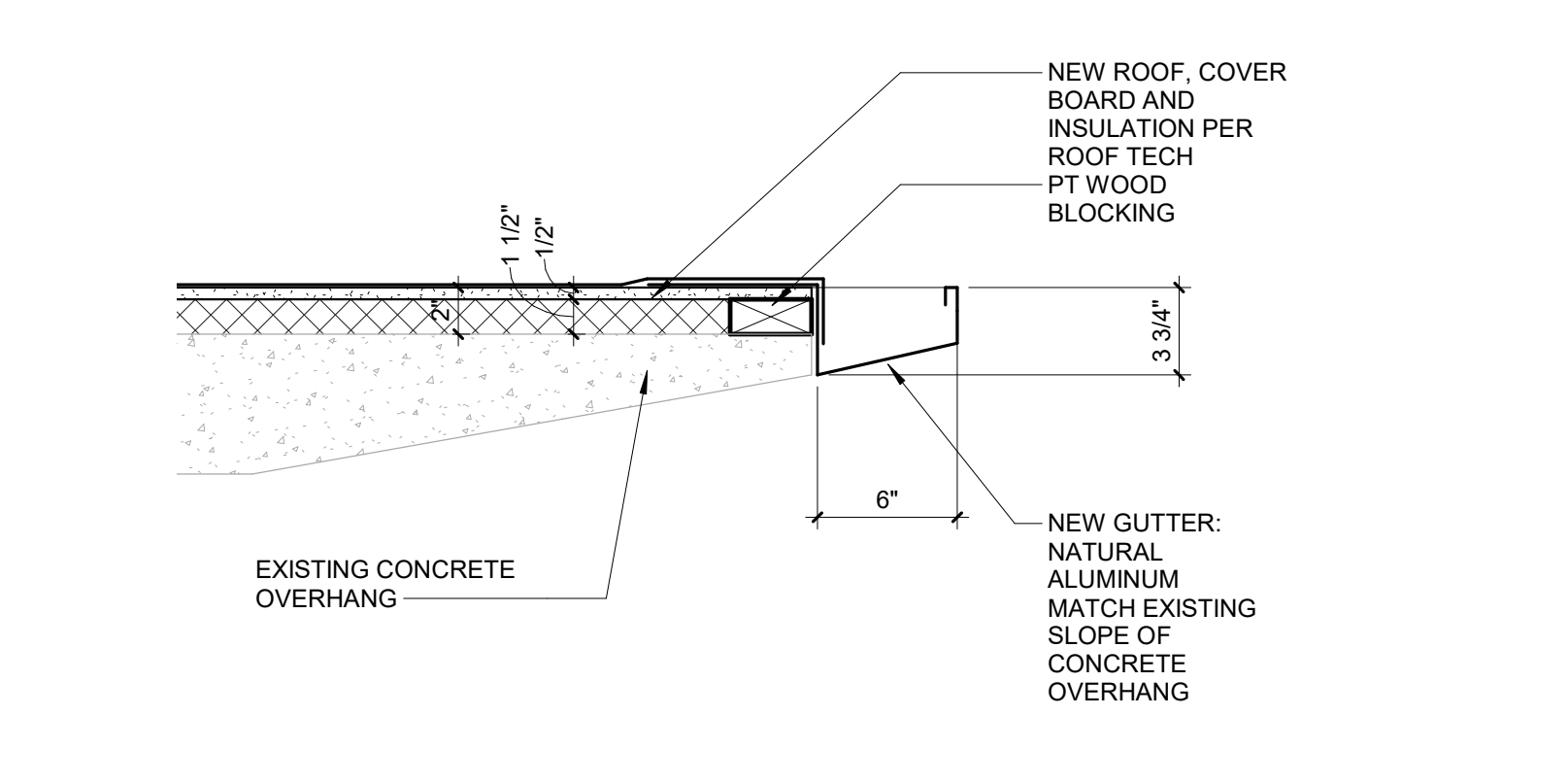
C1 Section @ B
1 1/2" = 1'-0"



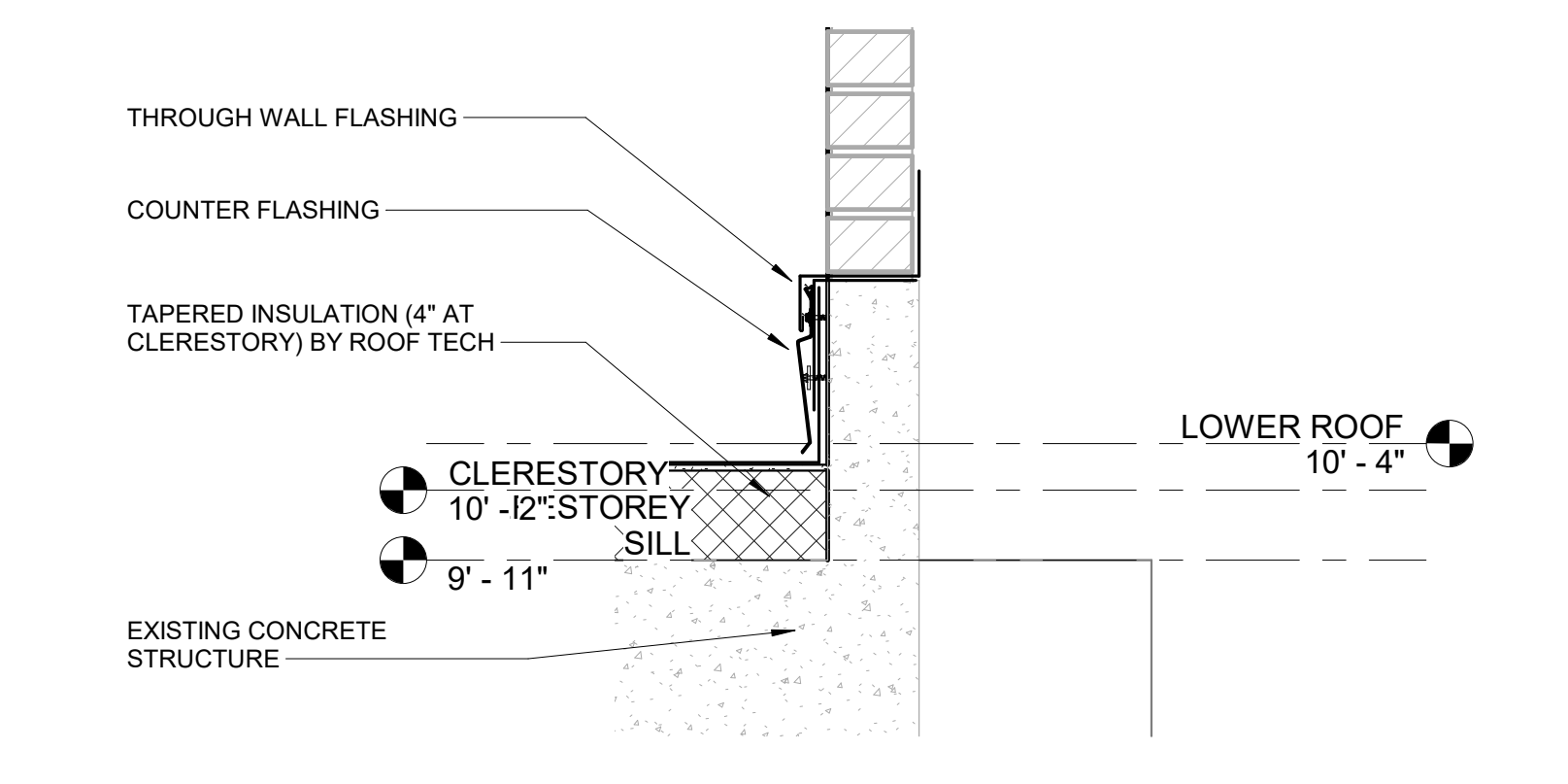
C3 Section @ SKYLIGHT
1 1/2" = 1'-0"



C6 Section @ A
1 1/2" = 1'-0"



D6 Section @ New Gutter
1 1/2" = 1'-0"



E6 TYPICAL ROOF EDGE
1 1/2" = 1'-0"

CHRISTNER ARCHITECTS

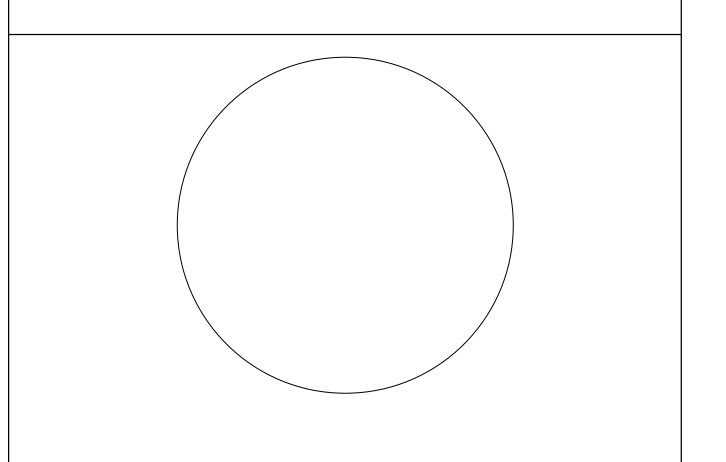
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CERTIFICATE OF AUTHORITY
E-2017095530

REVISION SCHEDULE

| NO | DATE | REVISIONS |
|----|------|-----------|
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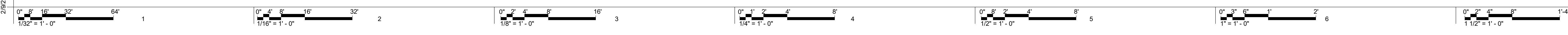


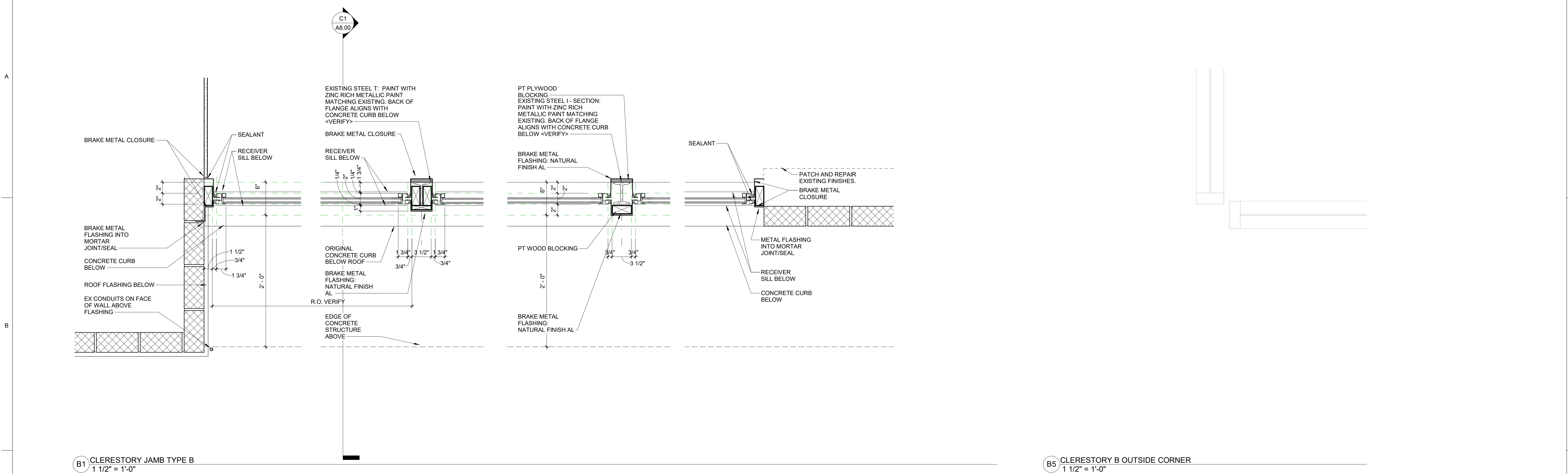
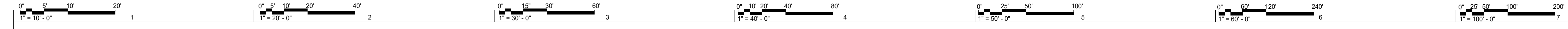
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COCA REROOFING

EXTERIOR DETAILS

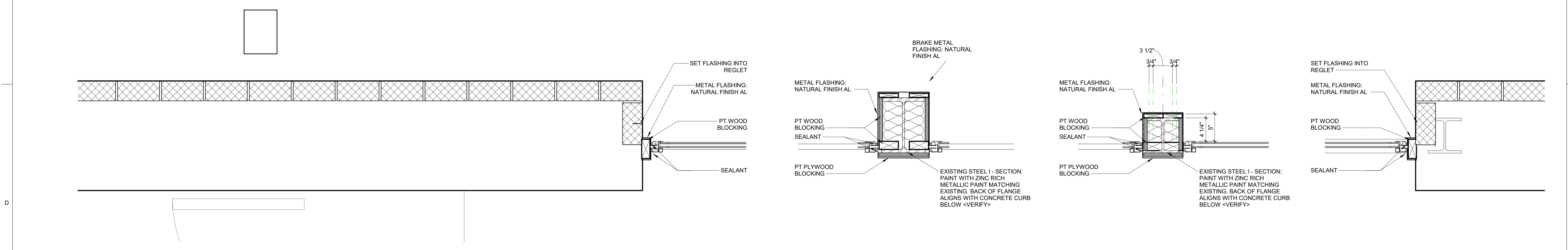
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PROJECT NO: PROJECT NO
DATE: ISSUE DATE **A8.00**



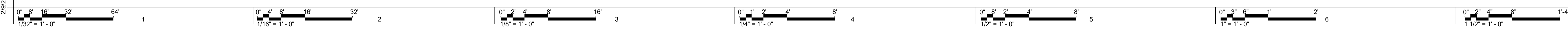


B1 CLERESTORY JAMB TYPE B
1 1/2" = 1'-0"

B5 CLERESTORY B OUTSIDE CORNER
1 1/2" = 1'-0"

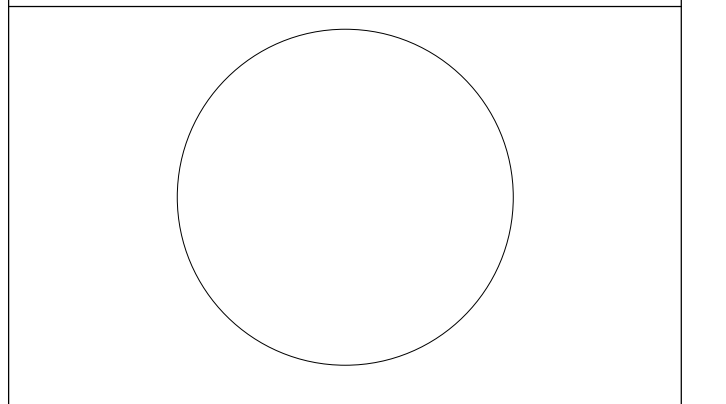


D1 CLERESTORY JAMB TYPE A
1 1/2" = 1'-0"



REVISION SCHEDULE

| NO | DATE | REVISIONS |
|----|------|-----------|
| | | |



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COCA REROOFING

PLAN DETAILS

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Department of Community Development

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 862-6767, Fax: (314) 862-3168

HISTORIC PRESERVATION COMMISSION MEETING

STAFF COVER SHEET – HPC 23-02

MEETING DATE: February, 16, 2023

APPLICATION TYPE: Design Review for Conformance with District Standards

LOCATION: 6900 Delmar Blvd, 6901 Washington Ave, 560 Trinity Ave

HISTORIC DISTRICT: University City Civic Complex Historic District

PROJECT DESCRIPTION: Purchase of 6900 Delmar Blvd, 6901 Washington Ave, and associated site plan alterations.

APPLICANT: Stacey Wehe, AIA, Managing Principal, Christner Architects

PROPERTY OWNER: Center for Creative Arts (COCA)

COUNCIL WARD: 1

EXISTING ZONING: PA – Public Activity District

EXISTING LAND USE: Office (Temporary University City Library)

SURROUNDING ZONING AND LAND USE:

| | | |
|--------|--|-----------------------------------|
| North: | PA – Public Activity District | Church of Scientology / City Hall |
| East: | HR – High-Density Residential District | Multi-Family Residential |
| South: | PA – Public Activity, SR – Single Family | COCA, Single-Family Res. |
| West: | SR – Single Family Residential District | Single-Family Residential |

COMPREHENSIVE PLAN CONFORMANCE

Yes No No reference

ZONING ORDINANCE CONFORMANCE

Yes No No reference

PERTINENT CODE §400.1740 University City Civic Complex Historic District

SECTION(S): §400.1760(A)(2): *No specific architectural style shall be required for the construction of a new building, building addition or other structure; but the Commission shall not approve such proposed undertaking unless it makes a determination that it is compatible with other buildings and structures in the district, and with open spaces to which it may be visually related in terms of form, proportion, scale, configuration, arrangement of openings, rhythm of elements, architectural details, building materials, texture, color and location on the lot.*

HISTORIC PRESERVATION COMMISSION OF UNIVERSITY CITY

APPLICATION FOR REVIEW

In University City Historic Districts, and for University City Landmarks, a review is required for new construction and for certain alterations which are specified in the regulations for the district or landmark. A Review shall not be required for ordinary maintenance or repairs when materials to be used are similar to or compatible with those originally used when the buildings within the historic district were built. The materials submitted with this application will be reviewed by the Historic Preservation Commission for compliance with the standards for each historic district or landmark.

The Historic Preservation Commission encourages property owners to seek preliminary guidance of the Commission at the beginning of any renovation project to avert unnecessary expense and scheduling problems that might surface at the end of the review process. Please call the Planner at 314-505-8501 for meeting times of the Commission and to be placed on the agenda.

In addition to this review, Building Permits are required for new construction, structural changes, fences and certain other activities. Property owners are advised to check with the Building Commissioner's Office to determine if a Building Permit is needed.

The following properties are impacted:

ADDRESS OF PROPERTY 6900 Delmar Blvd., 6901 Washington Ave., 560 Trinity Ave.

NAME OF HISTORIC DISTRICT University City Civic Complex Historic District

GENERAL INFORMATION

Owner (Various, see below) Phone _____

Owner Under Contract (6901) +
Owner of 560 Trinity:
The Washington University
Campus Box 1058
One Brookings Drive
St. Louis, MO 63130
Attention: Steve Condrin,
Assistant Vice Chancellor for Real Estate
(314) 935-5963


Owner (6901 Washington):
Chairman of the Board of Trustees
Grace United Methodist Church
6199 Waterman
St. Louis, MO 63112
Attention: Ted Dearing, Dearing
Batten & Bauer LLC
(314) 863-2700

Owner (6900 Delmar):
RDI Real Estate, LLC
6900 Delmar Blvd.
St. Louis, MO 63130
Attention: Dan Rossini,
Northstar Group
(314) 568-4023

Authorized Representative:

Applicant Stacey Wehe, AIA, Managing Principal, Christner Architects. Phone (314) 561-4448

Address 621 North Skinker, Suite 220; St. Louis MO 63130

Signature of applicant  Date 2/12/2023

TYPE OF REVIEW REQUESTED

- Design Review for Conformance with District Standards
- Preliminary Review/Consultation
- Permit to Demolish
- Designation of Historic Landmark or District
- Other: _____

DESCRIPTION OF PROPOSED PROJECT: Please include or attach sufficient information for the Commission to judge your proposed work; insufficient information may cause a delay in approval. Also, please include a brief explanation of the reason for the proposed change and a specific list of the exact proposed changes in detail on the following page.

(See Attachment A)

List of Proposed Changes:

- 1. _____ (See Attachment A)
- 2. _____
- 3. _____
- 4. _____
- 5. _____
- 6. _____
- 7. _____
- 8. _____
- 9. _____
- 10. _____

SUBMITTAL REQUIREMENTS: Submit at least 21 days prior to regularly scheduled meeting. Required: Photographs of the area, building or buildings to be affected by your project.

Submit, as appropriate, 1 copy of:

- | | | |
|---|--|-------------------------------------|
| <input type="checkbox"/> Plans | <input type="checkbox"/> Specifications | <input type="checkbox"/> Site Plans |
| <input type="checkbox"/> Materials Samples | <input type="checkbox"/> Manufacturer's Literature | <input type="checkbox"/> Other |
| <input type="checkbox"/> Drawings of installation details | | |

Photocopies and reductions are acceptable.

SUBMIT TO: Department of Community Development, 4TH Floor
 6801 Delmar Blvd.
 University City, MO 63130
 (314) 862-3168 (FAX)

FOR FURTHER ASSISTANCE CALL: Planner (314) 505-8501

COMMENTS: _____

Please note: This application form must be submitted with the plans for the building permit application.

February 12th, 2023

Attachment A

Re: Historic Preservation Commission Review for Properties at 6900 Delmar & 6901 Washington

Description of Proposed Project:

Washington University in St. Louis is considering purchasing the two referenced properties. The University was approached by the University United Methodist Church congregation (located at 6901 Washington) after their decision to consolidate and merge with another parish. UUMC knew the University would be good stewards of their building and respect the legacy of its history.

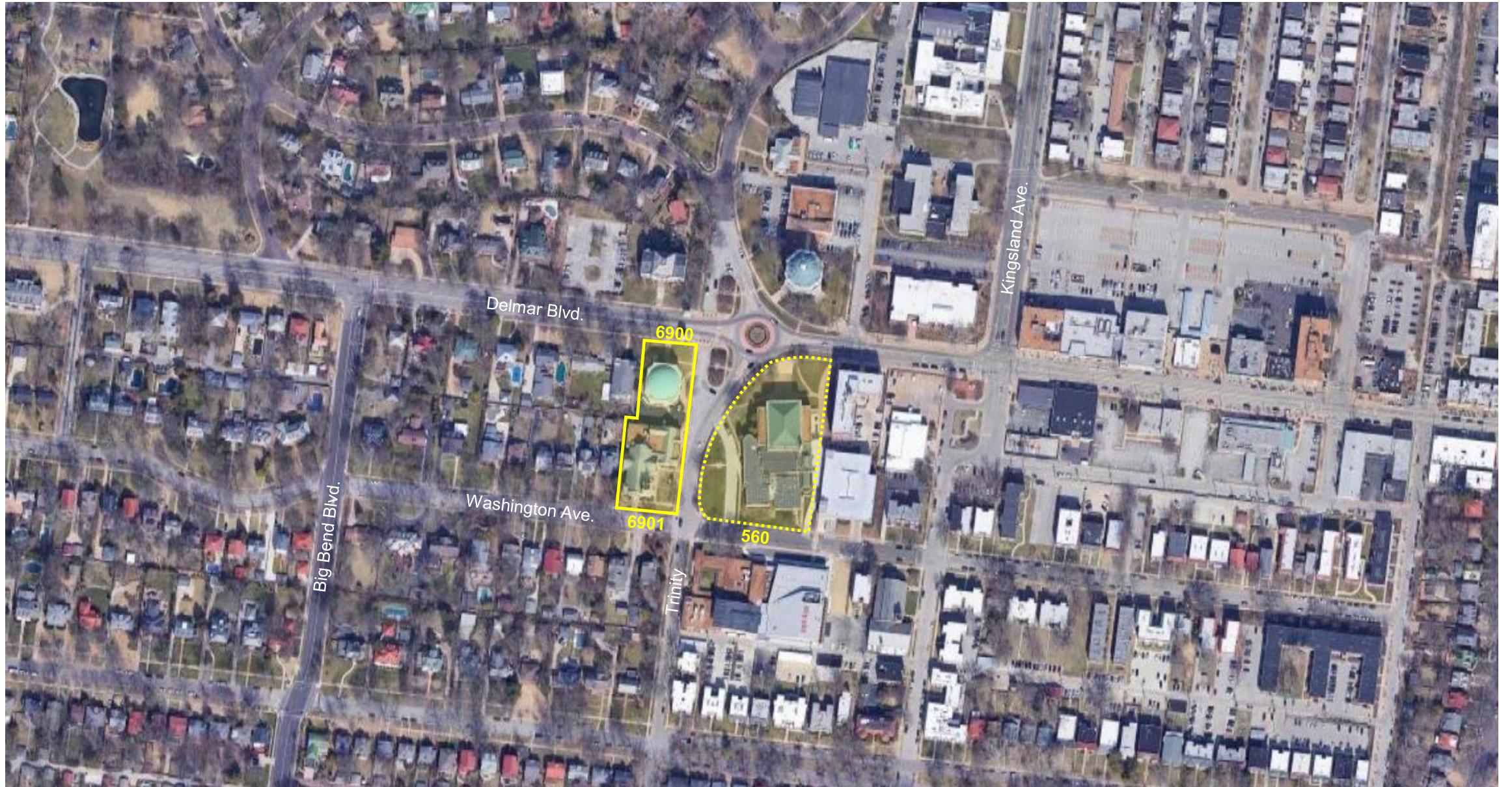
With the adjacent 6900 Delmar property currently on the market, the University recognized the opportunity to purchase both properties and locate an academic department within them. Since being first approach by UUMC, the University has been assessing the condition of each property and test-fitting options for potential adaptive reuse. While the project is essentially in a master planning phase and design work has not begun, a clear direction for the project has been established:

- Demolition will not be sought.
- Significant building expansions / additions are not being sought.
- The University seeks to preserve and enhance the defining features and historic character of each property, extending their life for decades to come.
- The University is considering relocating a single academic department to these buildings. The identified academic department is not pursuing growth and will benefit from the quality of space provided within these buildings.
- Spaces within the buildings would primarily include offices and seminar-style classrooms of approximately 20 students. A large auditorium, rental spaces, or assembly spaces are not being considered for either property.
- Due to the change in use of the properties and the dense urban lot sizes, code-required parking cannot be fully accommodated within the existing 6900 & 6901 sites. Since the neighboring property, 560 Trinity Ave., is also owned by the University, Zoning Code allows for off-site parking to be accommodated on this parcel.

List of Proposed Changes:

1. The exterior alterations proposed for the buildings will ensure the weather-tightness and longevity of the buildings. These alterations include repairs to existing roofs, tuckpointing as needed, and restoration of existing windows.
2. Code-required accessibility enhancements, including providing an accessible path to the main entry of each building, will be pursued through historically sensitive approaches.
3. The principal exterior change to this complex of buildings will be the expansion of surface parking immediately to the west of 560 Trinity (in place of the drop-off lane that currently exists today).
4. In conjunction with the addition of parking, there is an opportunity for modifications to Trinity Ave. that could increase pedestrian and vehicular safety in this area.
5. (Please see graphic images on the following pages for additional information on proposed changes.)

Project Location



Project Location



Project Location



Parking Requirements

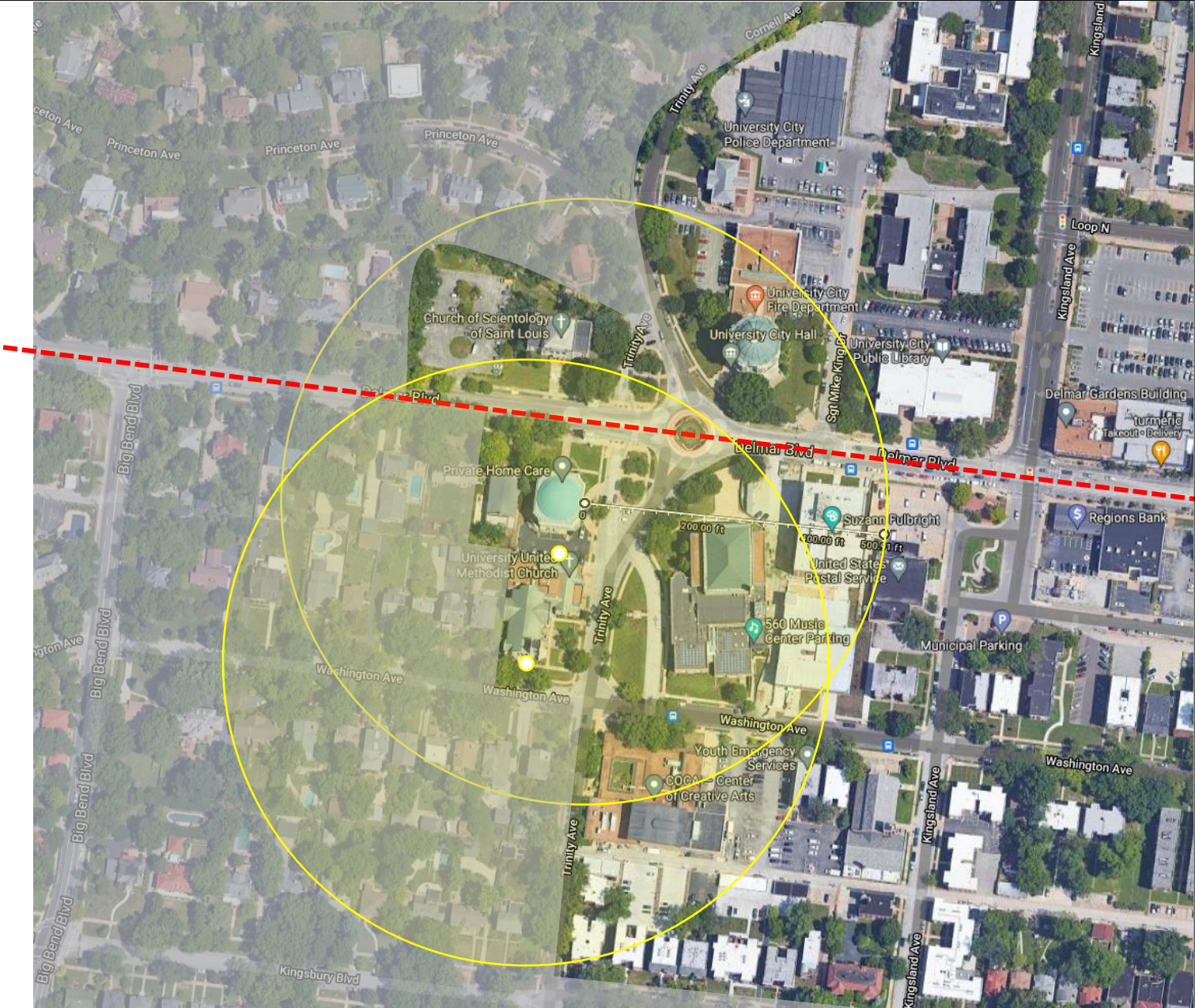
Per University City Municipal Code, Section 400.2010, locations for off-site parking must meet the following requirements:

- All off-site parking must be within 500' from the nearest primary entrance to the principal building being served
- Off-site parking shall not be located so as to cause persons to cross an arterial street (Delmar is defined explicitly as such).
- The route to off-site parking must ensure ADA parking spaces are provided an ADA compliant route to the nearest ADA entrance.

These requirements result in extremely limited options for parking for these buildings. Due to this, the project intends to reuse the shared parking lot between the two buildings and construct a new surface parking lot immediately to the west of the 5560 Music Building. This approach is allowable because all parcels have the same owner.

Per Zoning Code, the total parking requirement = 46 Spaces

Currently, 6900 & 6901 have a shared parking lot with a total of 15 parking spaces. An additional 31 parking spaces must be found within the limits of off-site parking per University City Zoning Code.



Single Family Residential District ● 500' Radius - - - Arterial Street

Site Plan – Existing Conditions

Existing shared parking lot to remain (15 spaces).

Proposed location for additional surface parking.



Site Plan – Proposed (Preliminary Scenario - A)

Disclaimer:

1. Site plan is preliminary, created to test parking capacity to meet municipal zoning requirements for the site.
2. Site plan requires review by Historic Preservation Commission and Traffic Commission.
3. A traffic study is underway, but yet to be completed.

This site plan has been created to test the carrying capacity of the site and opportunities to improve the flow of vehicular traffic while increasing pedestrian safety. A future detailed site plan review will occur as part of the University City municipal review process.

A Net Total of 47 Spaces is possible with this configuration.

15 existing spaces + a net addition of 32 spaces at 560 Trinity

Reminder: 46 spaces will be required for this project.



Site Plan – Proposed (Preliminary Scenario - B)

Disclaimer:

1. Site plan is preliminary, created to test parking capacity to meet municipal zoning requirements for the site.
2. Site plan requires review by Historic Preservation Commission and Traffic Commission.
3. A traffic study is underway, but yet to be completed.

This site plan has been created to test the carrying capacity of the site and opportunities to improve the flow of vehicular traffic while increasing pedestrian safety. A future detailed site plan review will occur as part of the University City municipal review process.

A Net Total of 53 Spaces is possible with this configuration.

15 existing spaces + a net addition of 38 spaces at 560 Trinity (accounting for removal of public spaces at the Trinity spur).

Reminder: 46 spaces will be required for this project.



Precedent Imagery Landscaping



Precedent Imagery

Landscape Buffers

