



Historic Preservation Commission

6801 Delmar Boulevard · University City, Missouri 63130 · 314-505-8500 · Fax: 314-862-3168

MEETING OF THE HISTORIC PRESERVATION COMMISSION
VIA VIDEOCONFERENCE
Wednesday, December 13, 2023
6:00 p.m.

IMPORTANT NOTICE REGARDING
PUBLIC ACCESS TO THE HPC MEETING & PARTICIPATION
HPC will Meet Electronically on December 13, 2023

Observe and/or Listen to the Meeting (your options to joint the meeting are below):

Webinar via the link below:

<https://us02web.zoom.us/j/86324338073?pwd=bFNkSnNJSJHJGSms0dWdCTDYzMG0rQT09>

Passcode: 439821

Or One tap mobile:

+13052241968,,86324338073#,,,,*439821# US

+13092053325,,86324338073#,,,,*439821# US

Or Telephone:

Dial(for higher quality, dial a number based on your current location): +1 305 224 1968 US, +1 309 205 3325 US, +1 312 626 6799 US (Chicago), +1 646 931 3860 US, +1 929 205 6099 US (New York), +1 301 715 8592 US (Washington DC), +1 507 473 4847 US, +1 564 217 2000 US, +1 669 444 9171 US, +1 669 900 6833 US (San Jose), +1 689 278 1000 US, +1 719 359 4580 US, +1 253 205 0468 US, +1 253 215 8782 US (Tacoma), +1 346 248 7799 US (Houston), +1 360 209 5623 US, +1 386 347 5053 US

Webinar ID: 863 2433 8073

Passcode: 439821

International numbers available: <https://us02web.zoom.us/j/86324338073?pwd=bFNkSnNJSJHJGSms0dWdCTDYzMG0rQT09>

Citizen Participation

Those who wish to provide a comment during the “Public Comment” portion of the agenda may provide written comments or request video participation invites to the Director of Planning and Development ahead of the meeting. Please specify which case and portion of the agenda you wish to comment.

ALL written comments or video participation invites must be received **no later than 12:00 p.m. the day of the meeting.** Comments may be sent via email to: jwagner@ucitymo.org or mailed to the City Hall – 6801 Delmar Blvd. – Attention John Wagner, Director of Planning and Development. Such comments will be provided to the Historic Preservation Commission prior to the meeting. Comments will be made a part of the official record and made accessible to the public online following the meeting.

Please note, when submitting your comments or invites, a **name and address must be provided.** Please also note if your comment is on an agenda or non-agenda item, and a name and address are not provided, the provided comment will not be recorded in the official record.

The City apologizes for any inconvenience the meeting format change may pose to individuals, but it is extremely important that extra measures be taken to protect employees, residents board/commission members and elected officials during these challenging times.

AGENDA

HISTORIC PRESERVATION COMMISSION

1. Roll Call
2. Approval of Minutes – February, March, April, July, August and September 2023 meetings.
3. Public Comments – (Limited to 3 minutes for individual’s comments, 5 minutes for representatives of groups or organizations.)

ALL written comments or video participation invites must be received no later than 12:00 p.m. the day of the meeting. Comments may be sent via email to: jwagner@ucitymo.org or mailed to the City Hall – 6801 Delmar Blvd. – Attention John Wagner, Director of Planning and Development. Such comments will be provided to the Historic Preservation Commission prior to the meeting. Comments will be made a part of the official record and made accessible to the public online following the meeting.

*Please note, when submitting your comments or invites, a **name and address must be provided**. Please also note if your comment is on an agenda or non-agenda item, and a name and address are not provided, the provided comment will not be recorded in the official record.*

4. Old Business
 - a. None
5. New Business
 - a. **File Number:** HPC 23-08
Address: 6330 Washington Avenue
Applicant: Mark and Dru Swadener
Property Owner: Dru Swadener
Request: Parkview: Design Review for Conformance with District Standards.
VOTE REQUIRED
6. Other Business
 - a. None
7. Reports
 - a. Council Liaison Report
8. Adjournment



Department of Planning and Development

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 505-8500, Fax: (314) 862-3168

MEETING MINUTES (DRAFT)

HISTORIC PRESERVATION COMMISSION

Videoconference (Zoom)
Thursday, February 16, 2023 at 5:15 p.m.

The Historic Preservation Commission held a meeting on Thursday, February 16, 2023 via Zoom. The meeting started at 5:15 pm and concluded at 6:55 pm.

The meeting was called to order by Chair Donna Leach at 5:15 p.m.

1. Roll Call

Present

Donna Leach, Chair

Chris Trahan

Robert Klahr, Vice-Chair

Ed Nichols

Helen Fuller

Staff Present

John Wagner, Director of Planning & Development

John Mulligan, City Attorney

2. Public Comments – none

3. Old Business – none

4. New Business

a. **File Number:** HPC 23-01

Address: 6880 Washington Avenue

Applicant: Jeff White, Christner Architects

Property Owner: Center for Creative Arts (COCA)

Request: University City Civic Complex: Design Review for Conformance with District Standards

VOTE REQUIRED

Dr. Wagner provided a brief overview of the project and scope.

Jeff White, Christner Architects provided an overview of the COCA project.

General discussion ensued.

A motion was made to approve the application as proposed. **It was approved by a vote of 5 yes and 0 no.**

b. **File Number:** HPC 23-02

Address: 6900 Delmar Boulevard, 6901 Washington Avenue, 560 Trinity Avenue

Applicant: Stacey Wehe, AIA, Managing Principal, Christner Architects

Property Owner: RDI Real Estate, LLC, Grace United Methodist Church, Washington University – St. Louis

Request: University City Civic Complex: Design Review for Conformance with District Standards

VOTE REQUIRED

Dr. Wagner provided a brief overview of the project and scope.

Stacey Wehe provided an overview of the project as proposed by Washington University.

Dr. Wagner provided an overview of the history of the zoning requirements to this point.

Chairwoman Leach asked about lighting for the site.

Mr. Nichols voiced his concern about the synergy between the north and south side of Delmar Boulevard.

General discussion ensued for several minutes.

Steve Condrin from Washington University provided comments regarding the parking garage behind the 560 Trinity building. He also noted that the University is agnostic on which version of the plan is preferred.

Ms. Fuller left the meeting at 6:30.

General discussion ensued again, including comments from several residents.

Mr. Klahr noted the plan's consistency with the Civic Plaza Master Plan. Mr. Nichols echoed Mr. Klahr's comments.

The Commission decided to table this application until March 15, 2023 to allow the Traffic Commission to review the proposal.

5. Other Business – none

6. Reports – Councilmember Klein provided an update on the City's flood relief efforts and the costs associated with those efforts.

7. Adjournment – The meeting was adjourned at 6:55 pm.



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MEETING MINUTES (DRAFT)

HISTORIC PRESERVATION COMMISSION

Videoconference (Zoom)
Wednesday, March 15, 2023 at 5:00 p.m.

The Historic Preservation Commission held a meeting on Wednesday, March 15, 2023 via Zoom. The meeting started at 5:00 pm and concluded at 6:29 pm.

The meeting was called to order by Vice-Chair Robert Klahr at 5:00 p.m.

1. Roll Call

Present

Donna Leach (*joined at 5:20*)

Chris Trahan

Robert Klahr

Ed Nichols

Helen Fuller

Staff Present

John Wagner, Director of Planning & Development

John Mulligan, City Attorney

2. Public Comments – none

3. Old Business

- a. **File Number:** HPC 23-02 (*Continued from February 16, 2023 meeting.*)

Address: 6900 Delmar Boulevard, 6901 Washington Avenue, 560 Trinity Avenue

Applicant: Stacey Wehe, AIA, Managing Principal, Christner Architects

Property Owner: RDI Real Estate, LLC, Grace United Methodist Church, Washington University – St. Louis

Request: University City Civic Complex: Design Review for Conformance with District Standards

THREE (3) VOTES REQUIRED: One for the Text Amendment, one for the Conditional Use Permit and one for the design's conformance with the University City Civic Complex Historic District Design Standards.

Dr. Wagner provided a brief overview of the project and scope and what has happened since the February meeting.

Ben Ellerman spoke about his concerns of the project.

Ruth Decker also spoke about her concerns about the loss of greenspace and increased traffic in the area.

Brad Hershey representing United Methodist Church spoke in favor of the project.

Sarah Oldam spoke about her concerns of the project.

Dr. Wagner provided an overview of the approval process to date, including approval by the Traffic Commission of Option (Plan) A.

Stacey Wehe provided another update and overview of the project as proposed by Washington University, including the revised site plan – Option A.

General discussion ensued for several minutes.

Ms. Wehe noted that the Landscape and Lighting plan was not complete.

Dr. Wagner noted that the HPC could review these documents at an appropriate time, likely in the Fall.

Rob Klahr asked clarifying questions of Mr. Mulligan regarding conformance to the Civic Plaza Master Plan and the Conditional Use Permit.

General discussion ensued again.

Joanna Schooler of Washington University addressed the Commission.

Rob Klahr asked a clarifying question regarding greenspace and parking.

The Commission decided not to take a stance at this time on the Text Amendment and the Conditional Use Permit.

A motion was made to approve the application with Option A dated March 10, 2023. **It was approved by a vote of 5 yes and 0 no.**

4. New Business – none

5. Other Business

6. Reports – Councilmember Klein noted that Dennis Fuller was appointed as Ward II Councilmember.

7. Adjournment – The meeting was adjourned at 6:30 pm.



MEETING MINUTES (DRAFT)

HISTORIC PRESERVATION COMMISSION

Videoconference (Zoom)
Thursday, April 27, 2023 at 5:30 p.m.

The Historic Preservation Commission held a meeting on Thursday, April 27, 2023 via Zoom. The meeting started at 5:30 pm and concluded at 6:02 pm.

The meeting was called to order by Chair Donna Leach at 5:15 p.m.

1. Roll Call

Present

Donna Leach, Chair

Robert Klahr, Vice-Chair

Ed Nichols

Helen Fuller

Pete Holness

Staff Present

John Wagner, Director of Planning & Development

2. Approval of Minutes – none

3. Public Comments – none

4. Old Business – none

5. New Business

a. **File Number:** HPC 23-03

Address: 6350 Pershing Avenue

Applicant: Paul R. Schimmele and Jill Ellen Carnaghi

Property Owner: Paul R. Schimmele and Jill Ellen Carnaghi

Request: Parkview: Design Review for Conformance with District Standards.

VOTE REQUIRED

Dr. Wagner provided a brief overview of the project and scope.

Mr. Schimmele provided an overview of the project, indicating that water is coming in through the roof and collecting on the second floor...and that it is currently raining. He also indicated that a replacement with a slate roof was prohibitively expensive.

General discussion ensued.

Because a sample of the proposed shingle was not available, Dr. Wagner recommended that a web link showing the shingle be sent to the Commission subsequent to approval this evening.

Mr. Klahr noted distinction in the code that do not require approval if the roof is not visible from the street.

Chairwoman Leach indicated that “20-pound” shingle would be the correct kind to use.

A motion was made to approve the application as proposed. **It was approved by a vote of 5 yes and 0 no subject to the architects (Mr. Holness and Chairwoman Leach) approval via a web link by email.**

6. Other Business – Election of Commission officers: Rob Klahr was voted in as the new Chair of the Historic Preservation Commission.

7. Reports – None

8. Adjournment – The meeting was adjourned at 6:02 pm.



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MEETING MINUTES (DRAFT)

HISTORIC PRESERVATION COMMISSION

Videoconference (Zoom)
Wednesday, July 5, 2023 at 6:00 p.m.

The Historic Preservation Commission held a meeting on Wednesday, July 5, 2023 via Zoom. The meeting started at 6:03 pm and concluded at 6:20 pm.

The meeting was called to order by Chair Robert Klahr at 6:03 p.m.

1. Roll Call

Present

Robert Klahr, Chair

Pete Holness

Christine Mackey-Ross

John Tieman

Chris Trahan

Ed Nichols

Staff Present

John Wagner, Director of Planning & Development

2. Approval of Minutes – none

3. Public Comments – none

4. Old Business – none

5. New Business

a. **File Number:** HPC 23-04

Address: 349 Westgate Avenue

Applicant: Dan Moessner, Renewal by Andersen of St. Louis

Property Owner: Mary Kaufmann

Request: Parkview: Design Review for Conformance with District Standards.

VOTE REQUIRED

Dr. Wagner provided a brief overview of the project and scope.

Mr. Ken Greene of Renewal by Andersen of St. Louis provided an overview of the project.

A brief conversation ensued.

Chairman Klahr asked some clarifying questions regarding the size and appearance of the new windows.

A motion was made to approve the application as proposed. **It was approved by a vote of 6 yes and 0 no.**

b. **File Number:** HPC 23-05

Address: 222 Linden Avenue

Applicant: Robert Reeb Construction, Inc.

Property Owner: Mary Russe

Request: Linden-Kingsbury: Design Review for Conformance with District Standards.

VOTE REQUIRED

Dr. Wagner provided a brief overview of the project and scope on behalf of the Applicant.

A brief conversation ensued.

A motion was made to approve the application as proposed. **It was approved by a vote of 6 yes and 0 no**

6. Other Business – None

7. Reports – None

8. Adjournment – The meeting was adjourned at 6:20 pm.



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MEETING MINUTES (DRAFT)

HISTORIC PRESERVATION COMMISSION

Videoconference (Zoom)

Wednesday, August 2, 2023 at 5:15 p.m.

The Historic Preservation Commission held a meeting on Wednesday, August 2, 2023 via Zoom. The meeting started at 5:15 pm and concluded at 6:02 pm.

The meeting was called to order by Chair Robert Klahr at 5:22 p.m.

1. Roll Call

Present

Robert Klahr, Chair

Pete Holness

Christine Mackey-Ross

John Tieman

Hellen Fuller

Staff Present

John Wagner, Director of Planning & Development

2. Approval of Minutes – none

3. Public Comments – none

4. Old Business – none

5. New Business

a. **File Number:** HPC 23-06

Address: 6316 Westminster Place

Applicant: Adam Pratt and Jessica Smith

Property Owners: Adam Pratt and Jessica Smith

Request: Parkview: Design Review for Conformance with District Standards.

VOTE REQUIRED

Dr. Wagner provided a brief overview of the project and scope.

Adam Pratt and Jessica Smith – homeowners – provided an overview of the project.

A brief conversation ensued.

Chairman Klahr asked some clarifying questions regarding the size and appearance of the new windows.

A motion was made to approve the application as proposed. **It was approved by a vote of 5 yes and 0 no.**

6. Other Business – None

7. Reports – None

8. Adjournment – The meeting was adjourned at 5:45 pm.



MEETING MINUTES (DRAFT)

HISTORIC PRESERVATION COMMISSION

Videoconference (Zoom)

Thursday, September 21, 2023 at 6:00 p.m.

The Historic Preservation Commission held a meeting on Thursday, September 21, 2023 via Zoom. The meeting started at 6:04 pm and concluded at 7:20 pm.

The meeting was called to order by Chair Robert Klahr at 6:04 p.m.

1. Roll Call

Present

Robert Klahr, Chair

Pete Holness

John Tieman

Chris Trahan

Ed Nichols

Staff Present

John Wagner, Director of Planning & Development

Mary Kennedy, Senior Planner

2. Approval of Minutes – none

3. Public Comments – none

4. Old Business – none

5. New Business

a. File Number: HPC 23-07

Address: 6650 Delmar Boulevard (aka: Commerce Bank Site)

Applicant: Subtext

Property Owner: Multiple

Request: Referral to Historic Preservation Commission

VOTE REQUIRED

Rob Klahr abstained from participation in discussion of HPC 23-07 as Subtext is a current client of his law firm.

Dr. Wagner provided a brief overview of the project and scope.

Ryan Bumb of Subtext provided an overview of the project.

Conversation ensued.

Chairman Klahr asked some clarifying questions regarding the size and appearance of the new windows.

A motion was made to **conceptually** approve the application as proposed, with the understanding that it returns to the Commission before issuance of a building permit. **The motion was approved by a vote of 4 yes and 0 no. (Chair Klahr abstained.)**

b. Comprehensive Plan Discussion

Ms. Kennedy provided an overview of the Comprehensive Plan. Conversation ensued.

6. Other Business – None

7. Reports – None

8. Adjournment – The meeting was adjourned at 7:20 pm.



Department of Community Development

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 862-6767, Fax: (314) 862-3168

HISTORIC PRESERVATION COMMISSION MEETING

STAFF COVER SHEET – HPC 23-08

MEETING DATE: December 12, 2023

APPLICATION TYPE: Design Review for Conformance with District Standards

LOCATION: 6330 Washington Avenue

HISTORIC DISTRICT: Parkview Historic District (Local Historic District)

PROJECT DESCRIPTION: Construction of a new detached garage

APPLICANT: Mark and Dru Swadener

PROPERTY OWNER: Dru Swadener

COUNCIL WARD: 1

EXISTING ZONING: SR – Single Family Residential

EXISTING LAND USE: Single Family Residential

SURROUNDING ZONING AND LAND USE

North:	SR-Single Family Residential District	Single Family Residential
East:	SR-Single Family Residential District	Single Family Residential
South:	SR-Single Family Residential District	Single Family Residential
West:	SR-Single Family Residential District	Single Family Residential

COMPREHENSIVE PLAN CONFORMANCE

Yes No No reference

ZONING ORDINANCE CONFORMANCE

Yes No No reference

PERTINENT CODE : §400.1860 Parkview Historic District.

SECTION(S): §400.1870(A)(1): Construction of additions.

§400.1870(A)(2): The addition, demolition, removal or substantial alteration of exterior features of all structures in the district, which features include, but are not limited to, roofs, exterior walls, window and door openings, porches and balconies.

Prepared by: John Wagner, Ph.D., Director of Planning and Development

HISTORIC PRESERVATION COMMISSION OF UNIVERSITY CITY

APPLICATION FOR REVIEW

In University City Historic Districts, and for University City Landmarks, a review is required for new construction and for certain alterations which are specified in the regulations for the district or landmark. A Review shall not be required for ordinary maintenance or repairs when materials to be used are similar to or compatible with those originally used when the buildings within the historic district were built. The materials submitted with this application will be reviewed by the Historic Preservation Commission for compliance with the standards for each historic district or landmark.

The Historic Preservation Commission encourages property owners to seek preliminary guidance of the Commission at the beginning of any renovation project to avert unnecessary expense and scheduling problems that might surface at the end of the review process. Please call the Planner at 314-505-8501 for meeting times of the Commission and to be placed on the agenda.

In addition to this review, Building Permits are required for new construction, structural changes, fences and certain other activities. Property owners are advised to check with the Building Commissioner's Office to determine if a Building Permit is needed.

ADDRESS OF PROPERTY 6330 WASHINGTON, U-CITY MO 63130

NAME OF HISTORIC DISTRICT PARKVIEW

GENERAL INFORMATION

Owner DRU SWADENER Phone 918-851-2097

Address (if different) N/A

Applicant MARK/DRU SWADENER Phone 918-851-2097

Address N/A

Signature of applicant Mark W Swade Date 11/2/2023

TYPE OF REVIEW REQUESTED

Design Review for Conformance with District Standards

Preliminary Review/Consultation

Permit to Demolish

Designation of Historic Landmark or District

Other: _____

DESCRIPTION OF PROPOSED PROJECT: Please include or attach sufficient information for the Commission to judge your proposed work; insufficient information may cause a delay in approval. Also, please include a brief explanation of the reason for the proposed change and a specific list of the exact proposed changes in detail on the following page.

List of Proposed Changes:

1. EXPANSION OF KITCHEN FOOTPRINT
2. ATTACHING NEW EXPANSION TO CONTIGUOUS ROOM
3. _____
4. _____
5. _____
6. _____
7. _____
8. _____
9. _____
10. _____

SUBMITTAL REQUIREMENTS: Submit at least 21 days prior to regularly scheduled meeting. Required: Photographs of the area, building or buildings to be affected by your project.

Submit, as appropriate, 12 copies of:

- | | | |
|---|--|-------------------------------------|
| <input checked="" type="checkbox"/> Plans | <input type="checkbox"/> Specifications | <input type="checkbox"/> Site Plans |
| <input type="checkbox"/> Materials Samples | <input type="checkbox"/> Manufacturer's Literature | <input type="checkbox"/> Other |
| <input type="checkbox"/> Drawings of installation details | | |

Photocopies and reductions are acceptable.

SUBMIT TO: Department of Community Development, 4TH Floor
6801 Delmar Blvd.
University City, MO 63130
(314) 862-3168 (FAX)

FOR FURTHER ASSISTANCE CALL: Zach Greatens, Planner (314) 505-8501

COMMENTS: _____

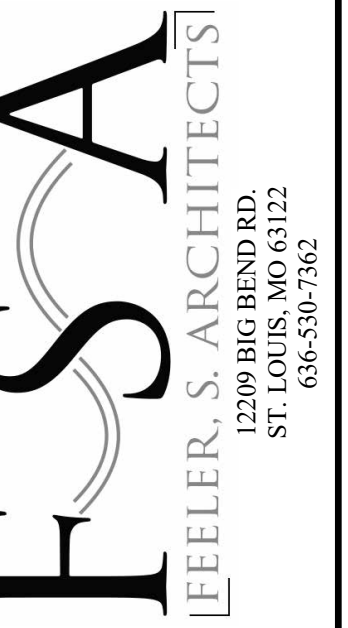
Please note: This application form must be submitted with the plans for the building permit application.

Swadener Residence - Kitchen Expansion

6330 Washington Ave.
University City. MO 63130



12209 BIG BEND ROAD
ST. LOUIS, MO 63122
636-530-7362



CERTIFICATION # 2006003868
THIS DRAWING AND DETAILS ON IT, AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT AND SHALL NOT BE LOANED, COPIED OR REPRODUCED WITHOUT THE CONSENT OF THE ARCHITECT.

GENERAL NOTES

- THE CONTRACTOR SHALL BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS AND NOTIFY THE ARCHITECT AND OWNER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ARCHITECT AND OWNER OF ALL DISCREPANCIES PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL VERIFY AND BECOME FAMILIAR W/ ALL EXISTING CONDITIONS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS INCLUDING THE BUILDING AND MAINTENANCE OF (DUST TIGHT PARTITIONS, DAILY VACUUMING, MOPPING, FLOOR MATS AND PROVISIONS OF CLEAN FLOOR MATS AT PROJECT ENTRANCES) TO PREVENT THE INFILTRATION OF DIRT AND DUST FROM THE CONSTRUCTION AREAS INTO THE OWNER OCCUPIED AREA.
- PATCH ALL FINISHES DISTURBED BY THE WORK AND WHERE UNFINISHED SURFACES HAVE BEEN EXPOSED BY DEMOLITION, PATCHING MUST MATCH ADJACENT MATERIALS, COLORS AND FINISHES.
- CHIP, GRIND AND / OR FILL EXISTING FLOOR SLABS AS REQUIRED TO PROVIDE SMOOTH LEVEL SURFACE SUITABLE FOR APPLICATIONS OF FINISH FLOOR MATERIALS, LEVEL ALL FLOORS TO WITHIN 1/8" PER FOOT TOLERANCE MAX., INCLUDING FLOOR LEVEL DIFFERENCES THAT OCCUR BETWEEN PARTITIONS SHOWN TO BE REMOVED.
- FILL ALL DEPRESSED AREAS AND HOLES IN EXISTING CONCRETE SLABS WITH FIRE RATED NON-SHRINKING CEMENTITIOUS FILL.
- PATCH / REPAIR FLOOR WHERE PARTITIONS, FLOOR OR FINISHES HAVE BEEN REMOVED.
- PATCH / REPAIR FLOORS, BASES AND WALLS TO PROVIDE AN EVEN SUBSTRATE SUITABLE FOR APPLICATIONS OF SCHEDULED FINISHES AND AS REQUIRED BY FINISH MATERIAL MANUFACTURER.
- ALL NEW OPENINGS THROUGH EXISTING MASONRY WALL SHALL BE REINFORCED WITH STEEL ANGLES AS REQUIRED. VERIFY LINTEL SIZE WITH ARCHITECT AND / OR STRUCTURAL ENGINEER.
- PIPE AND COLUMN FURRING SHALL BE HELD AS CLOSE TO THE PIPING AND / OR COLUMNS AS POSSIBLE, UNLESS OTHERWISE NOTED. VERIFY CONDITIONS WITH ARCHITECT.
- UNLESS OTHERWISE NOTED, ALL PARTITIONS IN SCHEDULED ROOMS SHALL BE PAINTED.
- WITHIN THE PROJECT LIMITS, PAINT ALL PLASTER, GYPSUM BOARD SURFACES, CONCRETE, CONCRETE MASONRY UNITS, STEEL, ETC. - UNLESS OTHER FINISHES ARE SCHEDULED.
- ALL DIMENSIONS ARE FINISHED DIMENSIONS TO FACE OF GYP. BOARD, UNLESS NOTED OTHERWISE.
- OWNER SUPPLIED EQUIPMENT AND / OR FURNITURE ITEMS ARE INDICATED WITH DASHED LINES AND MARKED WITH AN (*).
- RESTORE OR REPLACE ALL EXISTING FINISHES DAMAGED BY WORK UNDER THIS CONTRACT.
- PROVIDE AND INSTALL FLOORING WITH POSITIVE SLOPE TO DRAIN WHERE FLOOR DRAINS OCCUR.

GRAPHIC SYMBOLS

	PARTITION TYPE DESIGNATION		DETAIL / ENLARGED PLAN BUBBLE		BLOCKING
	ROOM NAME AND NUMBER		BATT INSULATION		2X2 SUPPLY DIFFUSER
	DOOR NUMBER		DEMOLITION		2X2 RETURN DIFFUSER
	KEYED NOTE		EXISTING TO REMAIN		2' X 2" SLOT DIFFUSER
	DEMOLITION KEYED NOTE		NEW CONSTRUCTION		1X4 LIGHT FIXTURE
	REFLECTED CEILING PLAN KEYED NOTE		CONCRETE		2X4 LIGHT FIXTURE
	ELEVATION SYMBOL		RIGID INSULATION		
	SECTION DETAIL CUT		FINISH WOOD		

ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR	ELEV.	ELEVATOR	PL.	PLATE	T.O.S.	TOP OF STEEL
ACOUS.	ACOUSTIC	EPT.	EPOXY PAINT	P.T.	PRESSURE TREATED	T&G	TONGUE AND GROOVE
ACT	ACOUSTICAL CEILING TILE	EQ.	EQUAL	QT.	QUARRY TILE	TRANS.	TRANSPARENT
ACST.	ACOUSTICAL	EQUIP.	EQUIPMENT	QZ	QUARZ	TYP.	TYPICAL
ALUM.	ALUMINUM	EX.	EXISTING	RAD.	RADIUS	UNF.	UNFINISHED
&	AND	E.J.	EXPANSION JOINT	REF. RE.	REFERENCE	U.N.O.	UNLESS NOTED OTHERWISE
A.B.	ANCHOR BOLT	E.P.T.	EPOXY PAINT	REINF.	REINFORCING	UR.	URINAL
⊥	ANGLE	FRP	FIBER REINFORCED PANEL	RL	RELOCATED	VB	VINYL BASE
@	AT	FRT	FIRE RETARDANT TREATED	REQ'D	REQUIRED	VERT	VERTICAL
AP	ACOUSTICAL PANELS	F.G.	FINISH GRADE	R.D.	ROOF DRAIN	VEST	VESTIBULE
BLK'G.	BLOCK	F.D.	FLOOR DRAIN	R.O.	ROUGH OPENING	VCT	VINYL COMPOSITION TILE
BD.	BOARD	F.F.	FINISH FLOOR	RB	RUBBER BASE	W	WEST
BTM.	BOTTOM	F.T.	FIRE TREATED	RCP	REFLECTED CEILING PLAN	WAINS	WAINSCOT
B.O.	BY OTHERS	FL.	FLOOR	S	SOUTH	WB	WALL BASE
CLG.	CEILING	G.C.	GENERAL CONTRACTOR	SC	SEALED CONCRETE	W.C.	WATER CLOSET
⊕	CENTER LINE	GL.	GLASS	SCHED.	SCHEDULE	W.P.	WATERPROOF
CT	CERAMIC TILE	GYP.	GYPSUM	SECT.	SECTION	WT.	WEIGHT
	CHANNEL	HDWD	HARDWOOD	SF	SQUARE FOOT	W/	WITH
CLO.	CLOSET	HT.	HEIGHT	SHT.	SHEET	W/O	WITHOUT
CONC.	CONCRETE	H.C.	HOLLOW CORE	SIM.	SIMILAR	WD	WOOD
CMU	CONCRETE MASONRY UNIT	HM	HOLLOW METAL	SWP	SHEET WALL PROTECTION		
CRSC	COLD ROLLED STEEL CHANNEL	H.W.	HOT WATER	SSM	SOLID SURFACE MATERIAL		
CW	COLD WATER	HR.	HOUR	SPEC.	SPECIFICATION		
CLR	COOLER	INSUL	INSULATION	SQ.	SQUARE		
CONT.	CONTINUOUS	IC	INTEGRAL COVE	S.S.	STAINLESS STEEL		
CONTR	CONTRACTOR	JT.	JOINT	STD.	STANDARD		
C.J.	CONTROL JOINT	LAV.	LAVATORY	ST.	STAIN		
CG	CORNER GUARD	M.O.	MASONRY OPENING	STL	STEEL		
CORR.	CORRIDOR	MECH.	MECHANICAL	STRUCT.	STRUCTURAL		
CPT.	CARPET	MTL.	METAL	SUSP.	SUSPENDED		
DK	DECK	N	NORTH	SV	SHEET VINYL		
DTL.	DETAIL	NIC	NOT IN CONTRACT	T.V.	TELEVISION		
DIA ∅	DIAMETER	NTS	NOT TO SCALE	TEL.	TELEPHONE		
D.S.	DOWNSPOUT	O.C.	ON CENTER	TERR	TERRAZZO		
DWG.	DRAWING	OPNG.	OPENING	THK.	THICK		
DW	DRYWALL	OPP.	OPPOSITE	T.O.C.	TOP OF CONCRETE		
E	EAST	PT	PAINT	T.P.H.	TOILET PAPER HOLDER		
ELEC.	ELECTRICAL	PTD.	PAINTED	T.O.P.	TOP OF PAVEMENT		
EWC	ELECTRICAL WATER COOLER	P. LAM.	PLASTIC LAMINATE	T.O.W.	TOP OF WALL		

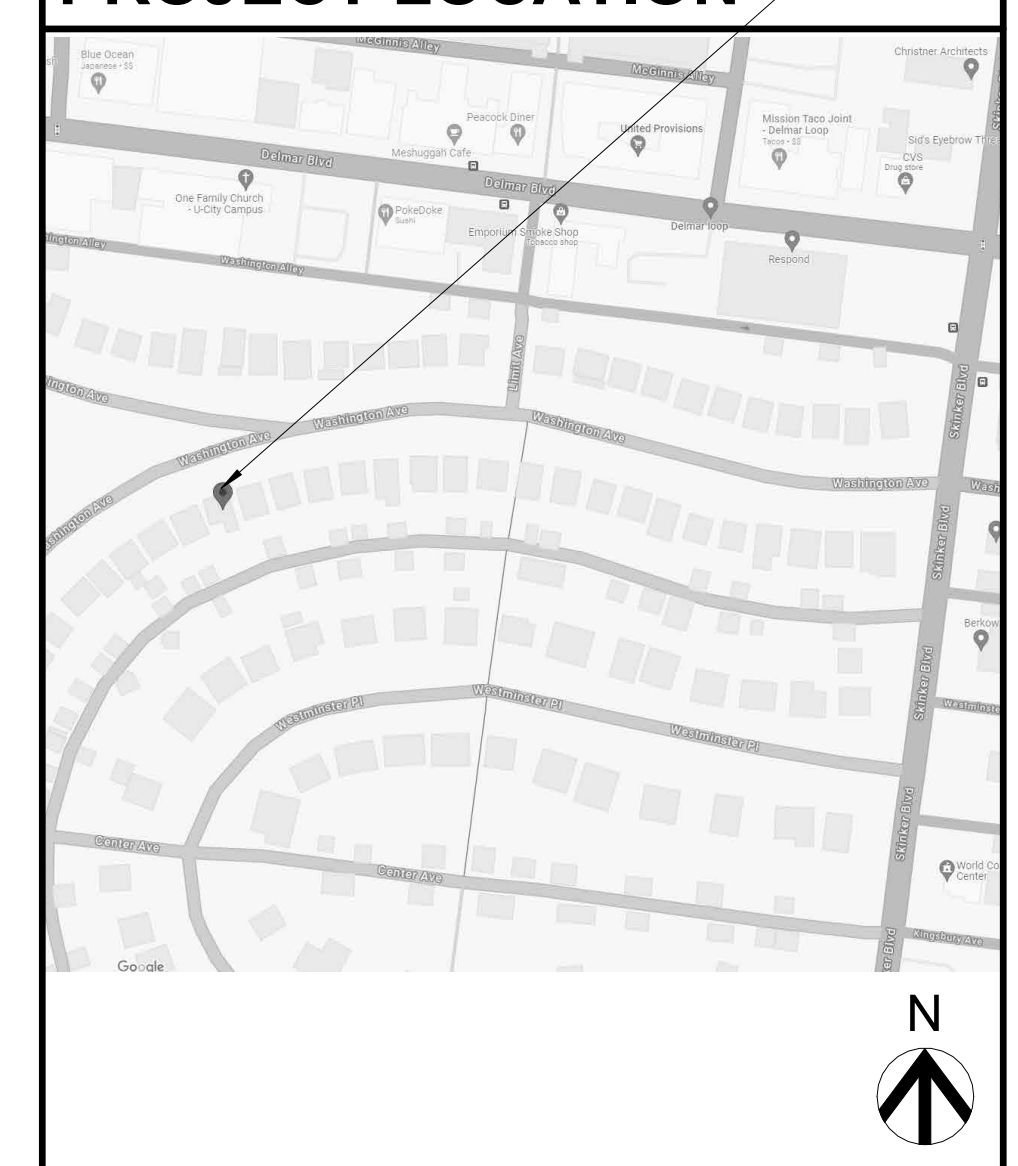
ARCHITECTURAL SHEET LIST

A0	COVER
A1	FOUNDATION PLAN
A2	DEMOLITION PLAN AND FLOOR PLAN
A3	ROOF PLAN
A4	ELEVATIONS
A5	BRACE WALL PANEL DETAILS
A6	SPECIFICATIONS
A7	SPECIFICATIONS
A8	WALL SECTIONS

CODE DATA

APPLICABLE CODES		
Residential Code	2018 IRC with University City Amendments	
PROJECT SQUARE FOOTAGE	100 SF	
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA (2018 IRC with University City Amendments)		
GROUND SNOW LOAD	20 PSF	
WIND LOAD	SPEED (MPH)	90 MPH
	TOPOGRAPHIC EFFECTS	NO
SEISMIC DESIGN CATEGORY	C	
SUBJECT TO DAMAGE FROM	WEATHERING	SEVERE
	FROST LINE DEPTH	30
	TERMITE	MODERATE TO HEAVY
WINTER DESIGN TEMPERATURE	6 DEG F. (14 DEG C.) EXT.	
ICE BARRIER UNDERLAYMENT REQUIRED	NO	
FLOOD HAZARDS	CONTACT PUBLIC WORKS AND PARKS DEPARTMENT	
AIR FREEZING INDEX	1,000	
MEAN ANNUAL TEMPERATURE	56.3	

PROJECT LOCATION



Swadener Residence - Kitchen Expansion
6330 Washington Ave.
University City. MO 63130

REVISIONS	
No	Date

DATE: 10/18/2023

PROJECT NO: 23.034

Steven Merle Feeler A-005098

COVER

DRAWN: MJP

CHECK: SMF

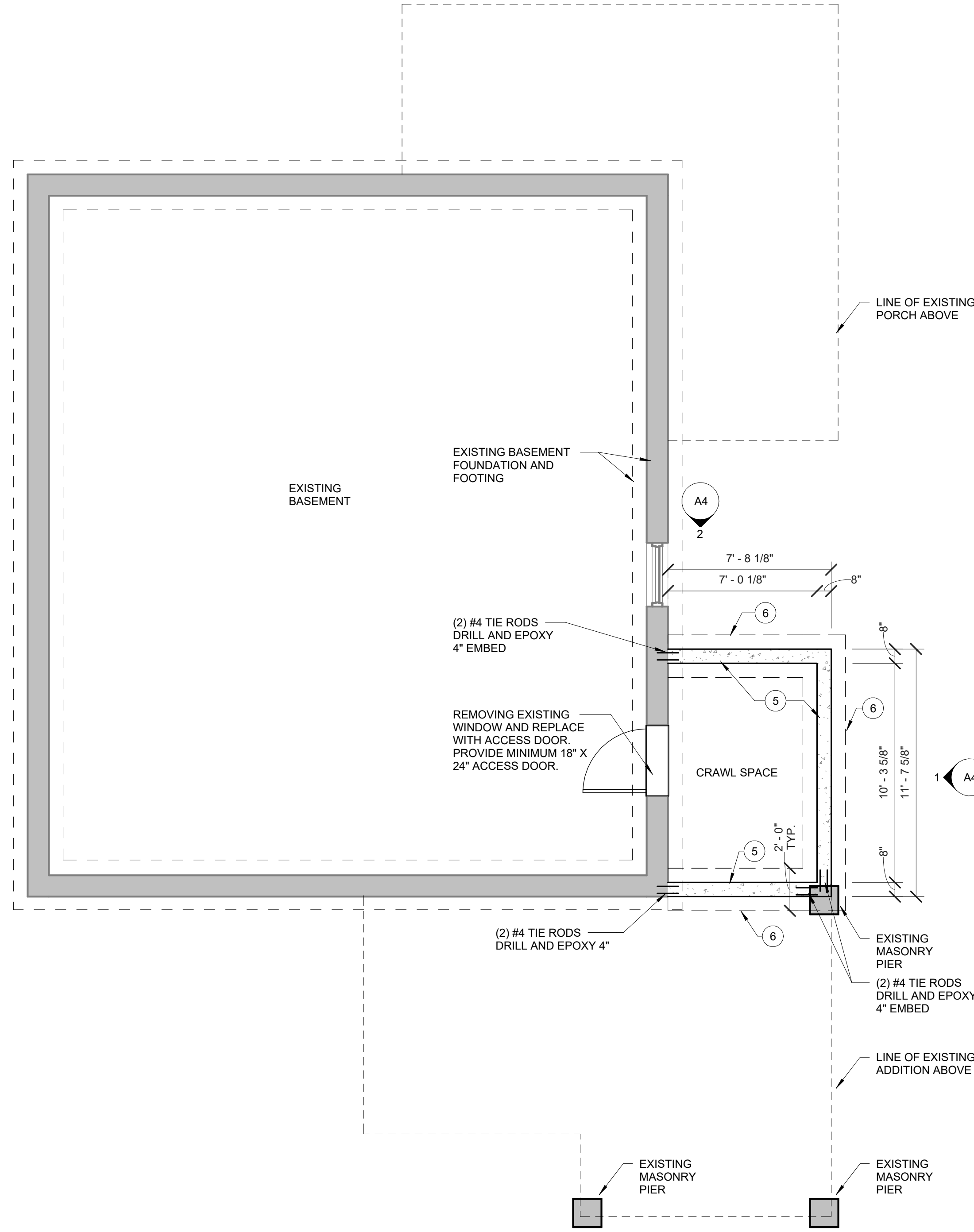
SHEET:

A0

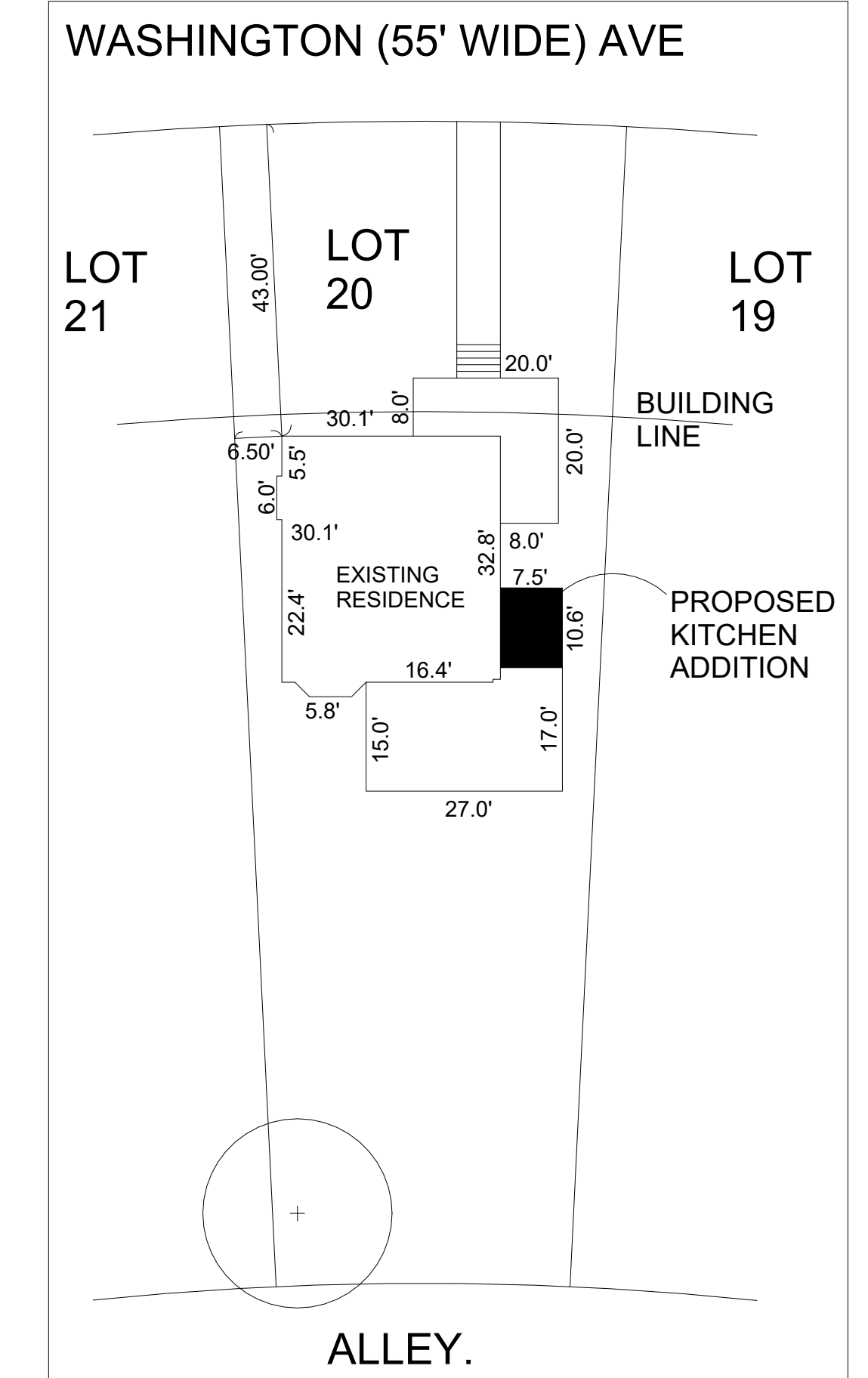
**FOUNDATION PLAN
GENERAL AND KEYED
NOTES - FIELD VERIFY ALL
DIMENSIONS**

1. NOT USED
2. ALL NAILING OF JOISTS INTO 2X4 FOUNDATION SILL PLATE TO BE PER 2018 IRC.
3. NOT USED
4. NOT USED
5. 8" THICK REINFORCED CONCRETE FDN. WALL 3'- 9 1/4" HIGH W/ (2) #4'S TOP AND BTM.
6. 8" X 24" CONCRETE FOOTING W/ 2-#4'S CONTINUOUS. BTM. OF FTG. AT 2' - 6" BELOW EXISTING GRADE.
7. (2) #4 RE-BARS TOP & BOTTOM @ FOUNDATION WALL INTERSECTIONS.
8. ALL DOOR AND WINDOW HEADERS TO BE (2) 2X10 UNLESS NOTED OTHERWISE.
9. NOT USED

SEE GENERAL SPECIFICATIONS FOR ADDITIONAL INFORMATION



1 BASEMENT PLAN
1/4" = 1'-0"



3 ARCHITECTURAL SITE PLAN
1" = 20'-0"



CERTIFICATION # 2006003868
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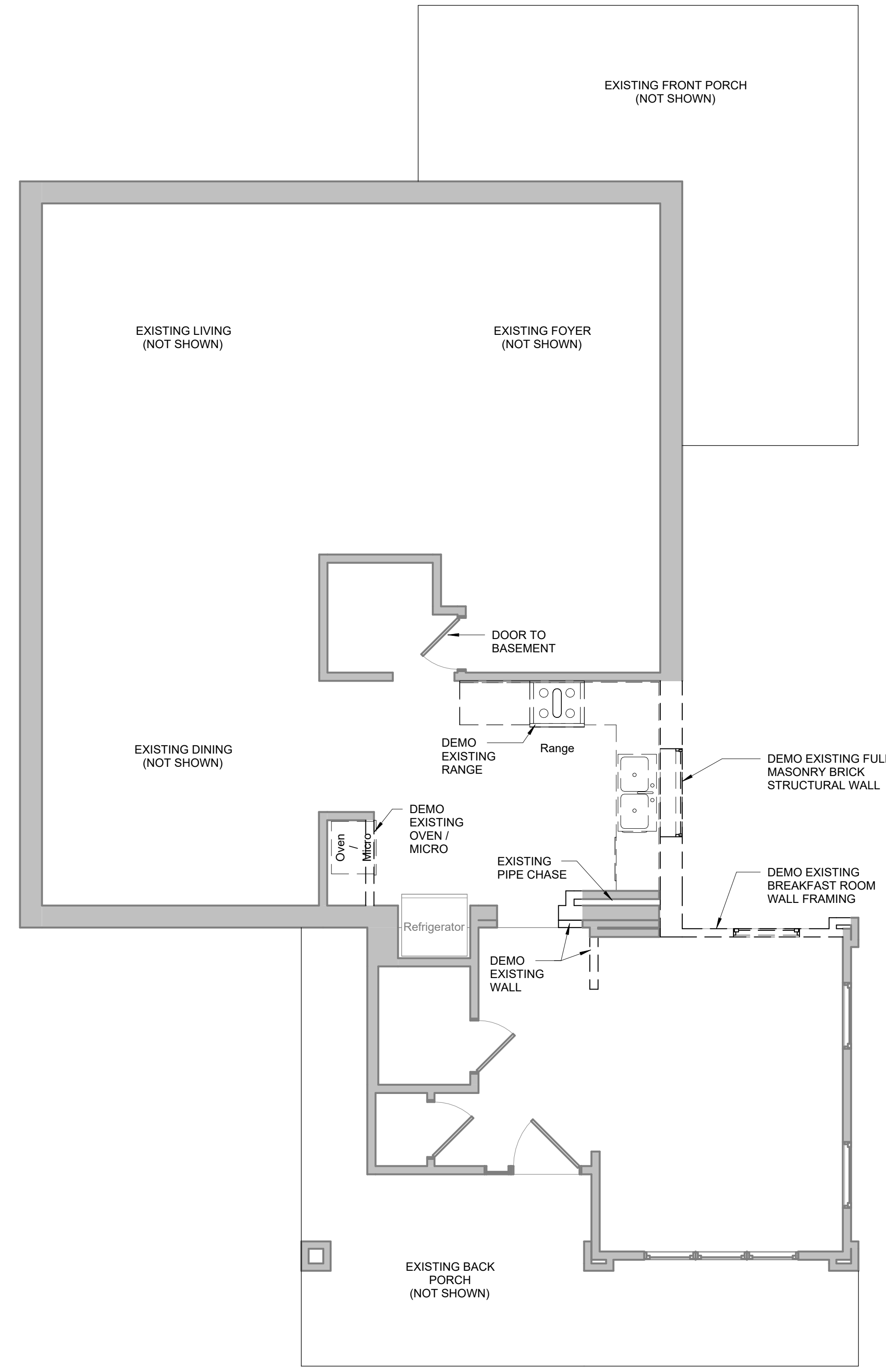
FOUNDATION PLAN

DRAWN: MJP

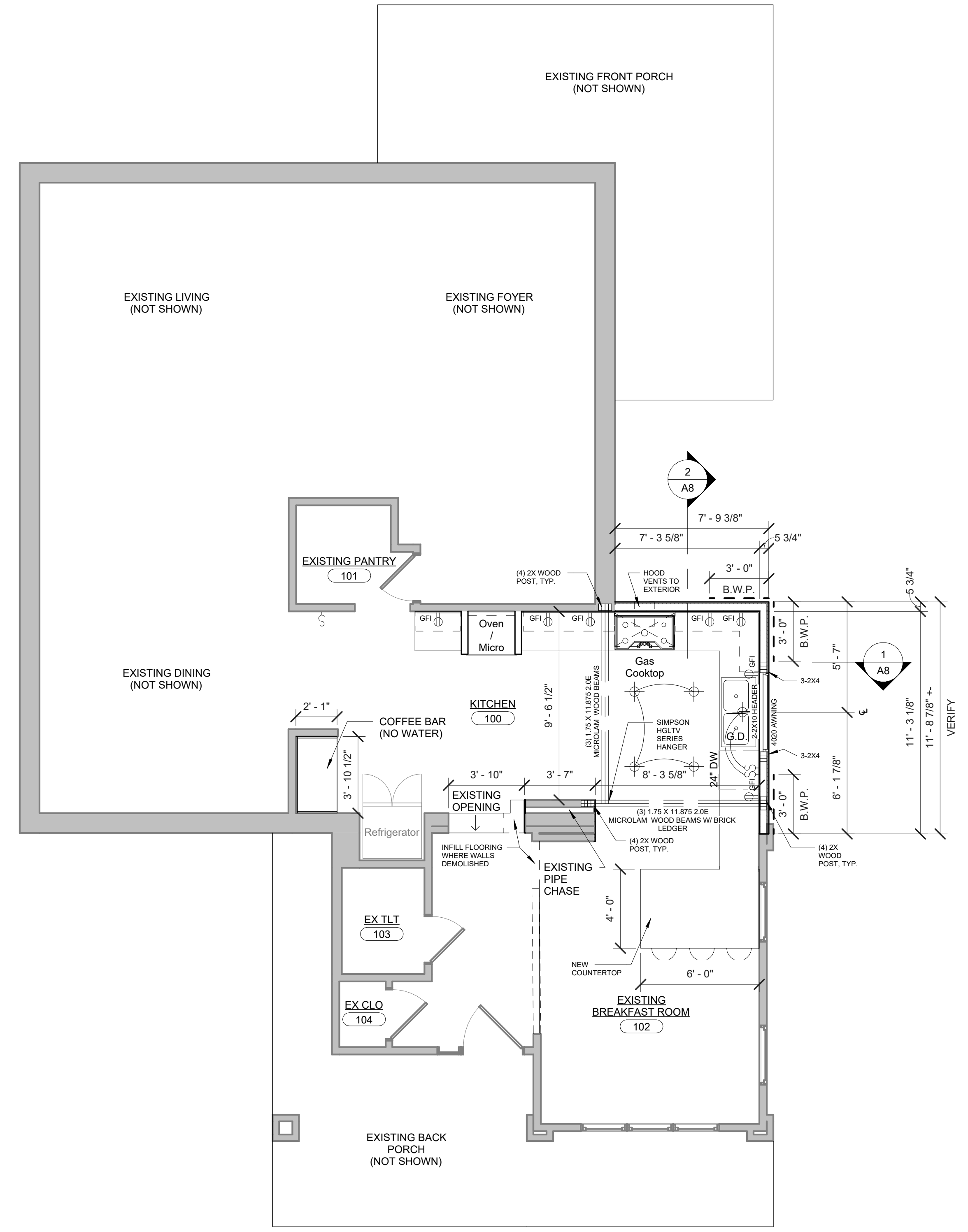
CHECK: SMF

SHEET:

A1



3 FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"



2 FIRST FLOOR PLAN
1/4" = 1'-0"

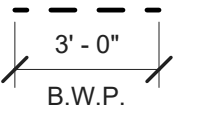
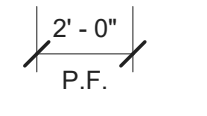
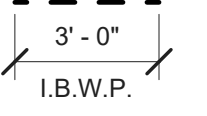
PLAN GENERAL AND KEYED NOTES

- ALL DOOR AND WINDOW HEADERS TO BE (2) 2X10 UNLESS OTHERWISE NOTED.
- 2X12 OR TGI 12" FLOOR JOIST @ 16" O.C. (BY TGI ENGINEER) (UNLESS NOTED OTHERWISE). DOUBLE JOISTS UNDER PARALLEL PARTITIONS.
- 2X8 ROOF FRAMING @ 24" O.C.
- NOT USED

SEE GENERAL SPECIFICATIONS FOR ADDITIONAL INFORMATION

THE INTERIOR AND EXTERIOR WALL CONFIGURATION BRACES THE STRUCTURE IN ACCORDANCE WITH OR EQUIVALENT TO THE LATERAL BRACING PROVISIONS OF SECTION R602.10 OF THE 2018 EDITION OF THE IRC OR SECTION 2305 OF THE 2018 EDITION OF IBC

ALL EXTERIOR WALLS ARE FULLY SHEATHED W/ MIN. 7/16" WD. STRUCTURAL PANEL SHEATHING.

 B.W.P. - BRACED WALL PANEL INSTALLED ACCORDING TO 2018 IRC R602 - METHOD 3
 P.F. - PORTAL FRAME OR APA NARROW WALL (SEE DETAILS A6)
 I.B.W.P. - INTERIOR BRACED WALL PANEL INSTALLED ACCORDING TO 2018 IRC R602 - METHOD 3

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DEMOLITION PLAN AND FLOOR PLAN

DRAWN: MJP

CHECK: SMF

SHEET: A2

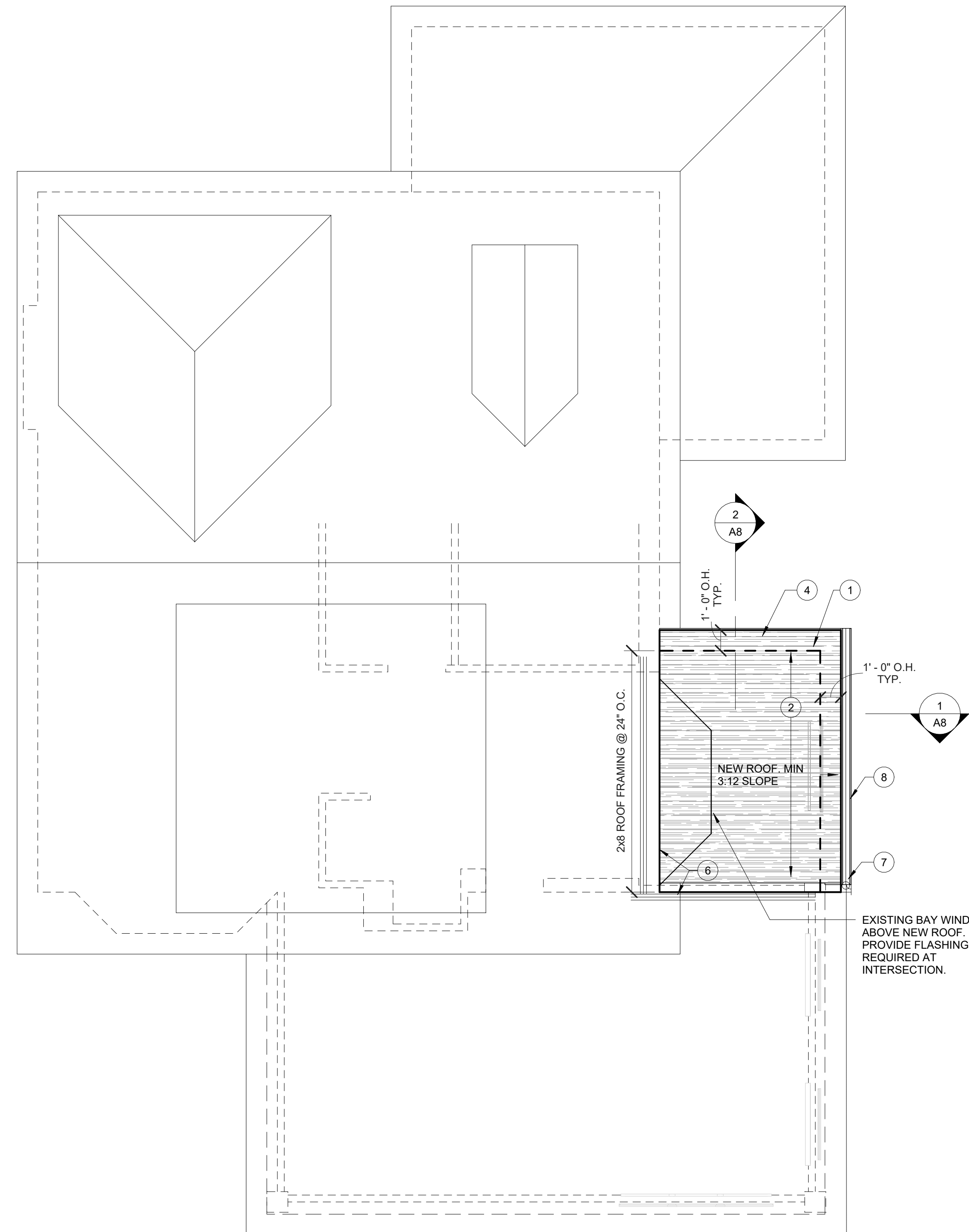
ROOF PLAN GENERAL AND KEYED NOTES

1. LINE OF EXTERIOR WALL BELOW
2. 2X8 ROOF FRAMING @ 24" O.C.
3. NOT USED
4. 20 YEAR ROOF SHINGLES, TYPICAL.
5. NOT USED
6. METAL FLASHING AT ALL WALL AND ROOF INTERSECTIONS, TYPICAL.
7. DOWNSPOUT
8. CONT. GUTTER, TYPICAL.

ALL PLUMBING STACK VENTS TO BE ON BACK SIDE OF ROOF (EXACT LOCATION TO BE DETERMINED X PLUMBING CONTRACTOR.)

GALV. MTL. ROOF VENTS AS REQ'D. (1/300 S.F., TYPICAL).

SEE GENERAL SPECIFICATIONS FOR ADDITIONAL INFORMATION.



① **ROOF PLAN**
 1/4" = 1'-0"

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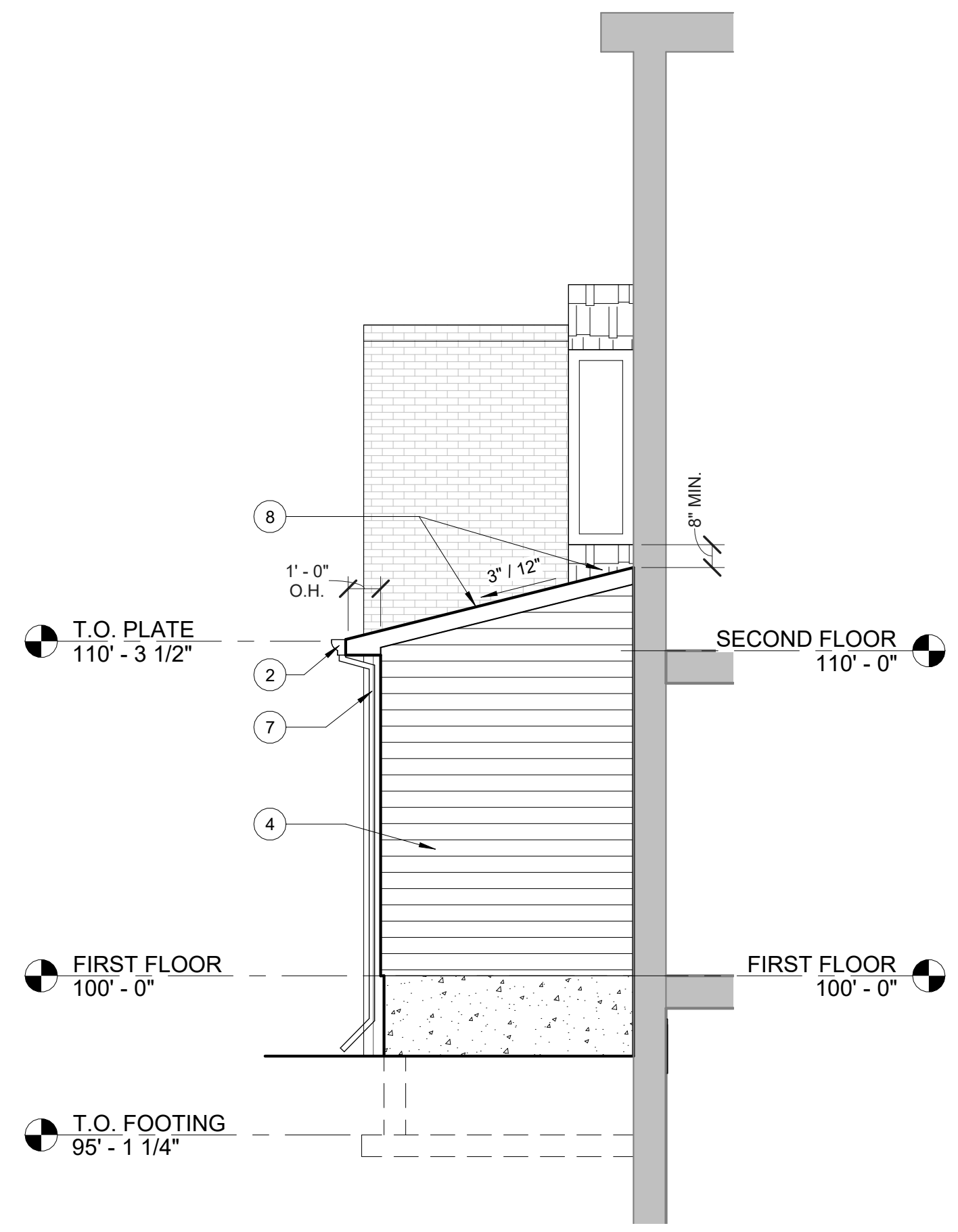
ROOF PLAN

DRAWN: MJP

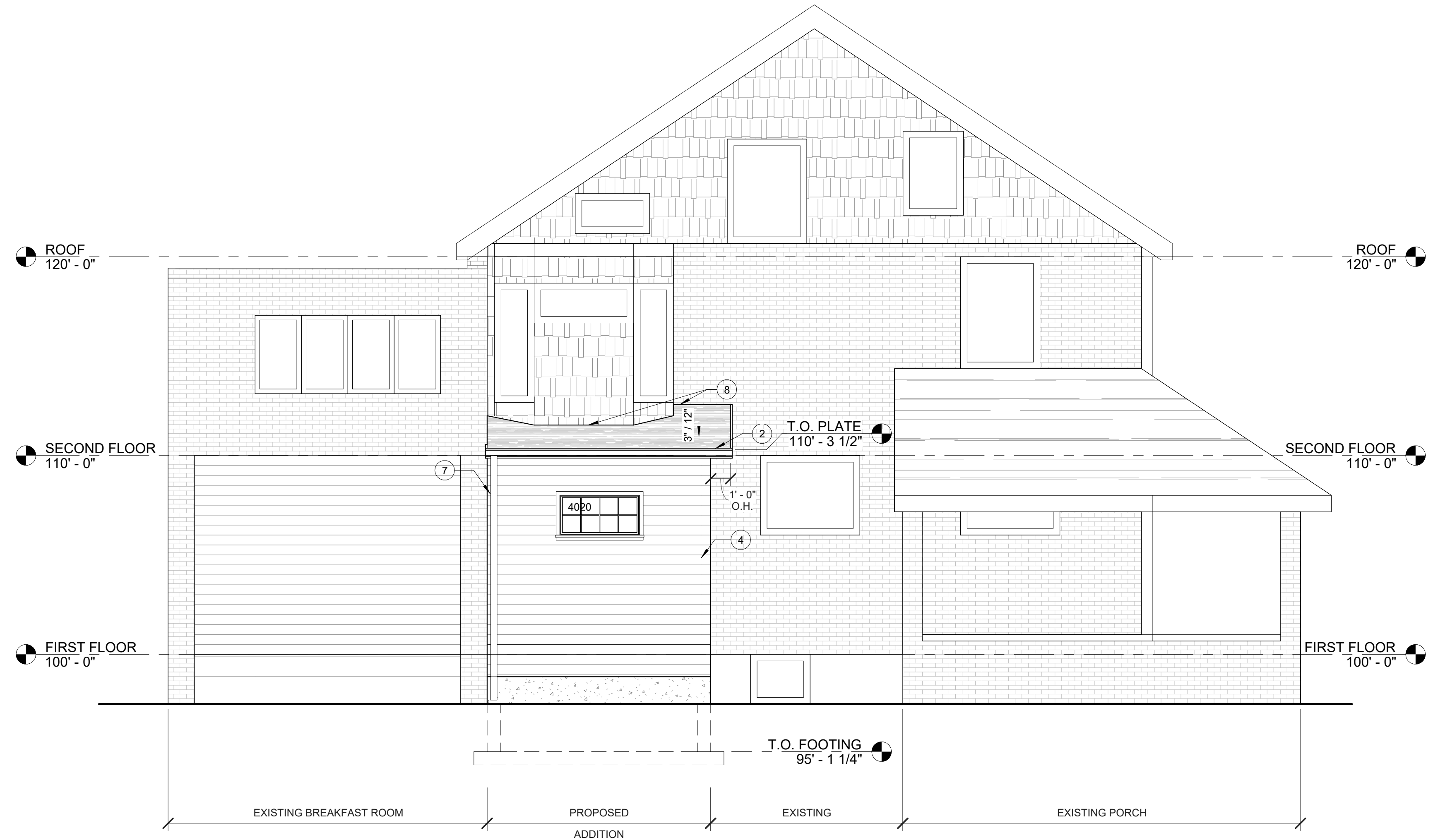
CHECK: SMF

SHEET:

A3



② EXTERIOR ELEVATION - NORTH
 1/4" = 1'-0"



① EXTERIOR ELEVATION - EAST
 1/4" = 1'-0"

ELEVATION GENERAL NOTES	
1.	ALL DOOR AND WINDOW HEADERS TO BE (2) 2X10 UNLESS OTHERWISE NOTED.
2.	GUTTER (MATCH EXISTING)
3.	ROOF LINES BEYOND.
4.	7" HORIZONTAL FIBER CEMENT LAP SIDING. (MATCH EXISTING)
5.	ALUM. LOUVER WITH INSECT SCREEN OR ALUM. ROOF VENTS
6.	RIDGE VENT
7.	DOWNSPOUT (MATCH EXISTING)
8.	METAL FLASHING AT ALL WALL ROOF INTERSECTIONS, TYP.
SEE GENERAL SPECIFICATIONS FOR ADDITIONAL INFORMATION.	

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ELEVATIONS

DRAWN: MJP

CHECK: SMF

SHEET:

A4

SIMPLIFIED BRACING METHOD FOR ONE AND TWO FAMILY DWELLINGS WHEN THE ENTIRE STRUCTURE IS SHEATHED WITH WOOD STRUCTURAL PANELS:

THE DESIGN PROFESSIONAL DOES NOT HAVE TO DEFINE THE BRACE WALL LINE LOCATIONS AND IDENTIFY THE PERCENTAGE OF BRACED WALL PANELS WITH RESPECT TO A BRACED WALL LINE IF ALL OF THE FOLLOWING CRITERIA ARE MET:

- THE BUILDING EXTERIOR WALLS ARE SHEATHED WITH 7/16" OR THICKER WOOD STRUCTURAL PANELS (PLYWOOD OR OSB). THE WOOD STRUCTURAL PANELS SHALL BE APPLIED TO ALL EXTERIOR WALLS, GABLE ENDS, AND BAND BOARDS. ALL VERTICAL JOINTS BETWEEN PANELS SHALL BE BLOCKED. HORIZONTAL JOINTS BETWEEN PANELS ON DETACHED DWELLINGS MAY REMAIN UNBLOCKED.
- BRACED WALL PANELS ARE LOCATED IN EVERY EXTERIOR BRACED WALL LINE IN ACCORDANCE WITH THE FOLLOWING CRITERIA:
 - THE EDGE OF THE FIRST BRACED WALL PANEL MEETING THE WIDTH ESTABLISHED IN THE TABLE BELOW IS LOCATED 12"-6" OR LESS FROM EACH END OF THE BRACED WALL LINE. EXCEPTION: THE EDGE OF THE FIRST BRACED WALL PANEL MAY BE LOCATED MORE THAN 12"-6" AND UP TO 20'-0" FROM THE END OF THE BRACED WALL LINE IF THE COLLECTOR SYSTEM PANEL OFFSET CRITERIA ON P.9 OF APPENDIX A, ONE AND TWO FAMILY WIND BRACING GUIDELINES IS ADHERED TO AND DETAILED ON THE CONSTRUCTION DOCUMENTS OR WHEN THE ENGINEER OR ARCHITECT PROVIDES CALCULATIONS AND DETAILS FOR AN ALTERNATE COLLECTOR SYSTEM.
 - THE CENTERLINE SPACING OF BRACED WALL PANELS IN A BRACED WALL LINE MAY NOT EXCEED 25'
- BRACED WALL PANEL LOCATIONS ARE SHOWN ON THE FLOOR PLANS OR THE ELEVATION VIEWS AND MEET THE WIDTHS ESTABLISHED IN THE FOLLOWING TABLE:

		WIDTH OF SOLID PANEL A, B			
		8' WALL HEIGHT	9' WALL HEIGHT	10' WALL HEIGHT	12' WALL HEIGHT
PLYWOOD OSB PANEL	3:1	32"	36"	40"	48"
SIMPLIFIED PORTAL WALL	6:1	16" D	18" D	20" D	24" D

- LINEAR INTERPOLATION IS PERMITTED
 - WALL HEIGHT IS THE VERTICAL DISTANCE FROM THE BOTTOM OF THE SOLE/SILL PLATE TO THE TOP OF THE DOUBLE TOP PLATE. AN ADDITIONAL 2" VARIATION IN HEIGHT IS ALLOWED FOR PRE CUT STUD FRAMING.
 - SIMPLIFIED PORTAL WALL PANEL, IF APPLICABLE, SHALL BE CONSTRUCTED IN ACCORDANCE WITH FIGURE 11 IN THE ST. LOUIS COUNTY APPENDIX A ONE AND TWO FAMILY WIND BRACING GUIDELINE. THE DESIGN PROFESSIONAL SHALL PROVIDE THIS DETAIL ON THE CONSTRUCTION DOCUMENTS.
 - SIMPLIFIED PORTAL WALL WIDTH ASSUMES THE BEAM IS PLACED UNDER THE TOP PLATE OF THE WALL. ONE MAY COMPUTE THE REQUIRED WIDTH BASED ON A 6:1 HEIGHT TO WIDTH RATIO FOR A TOP OF BEAM HEIGHT LOCATED LOWER IN THE WALL (I.E. 20' PORTAL WALL CAN BE USED WHEN THE TOP OF BEAM IS AT 10'-0" IN A 12'-0" TALL WALL).
- THE EXTERIOR WALL CORNERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FIGURES 10 AND 12 IN THE ST. LOUIS COUNTY APPENDIX A ONE AND TWO FAMILY WIND BRACING GUIDELINE. THE DESIGN PROFESSIONAL SHALL PROVIDE THESE DETAILS ON THE CONSTRUCTION DOCUMENTS.
 - WHEN THE PERPENDICULAR DISTANCE BETWEEN THE EXTERIOR BRACED WALL LINES EXCEEDS 50', THE DESIGN PROFESSIONAL SHALL INCLUDE THE FOLLOWING CERTIFICATION ON THE DRAWINGS:
 - THE INTERIOR AND EXTERIOR WALL CONFIGURATION BRACES THE STRUCTURE IN ACCORDANCE WITH OR EQUIVALENT TO THE LATERAL BRACING PROVISIONS OF SECTION R602.10 OF THE 2018 EDITION OF THE IRC OR SECTION 2305 OF THE 2018 EDITION OF THE IBC.
 - WALL HEIGHT MAY NOT EXCEED 12' (12'-2" ACTUAL). WALLS GREATER THAN 12' SHALL BE DESIGNED AND DETAILED BY THE ENGINEER OR ARCHITECT TO RESIST WIND LOADS IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTIONS.

SIMPLIFIED PORTAL WALL

IF YOU WISH TO GET THE WINDOWS OR DOORS EVEN CLOSER TO THE CORNER, YOU MAY OPT TO USE SIMPLIFIED PORTAL WALL IN CONJUNCTION WITH THE CONTINUOUS SHEATHING METHOD. YOU MUST CONTINUOUSLY WOOD SHEATH YOUR STRUCTURE IN ORDER TO USE THIS OPTION. IN ADDITION, THE AMOUNT OF BRACED WALL PANELS IN THE BRACED WALL LINE SHALL MEET THE CRITERIA FOR BRACING METHOD 3 IN TABLE 2. THE ACTUAL WIDTH OF THE SIMPLIFIED PORTAL WALL PANEL(S) MAY BE MULTIPLIED BY 1.5 WHEN CALCULATING THE EQUIVALENT WIDTH OF BRACED WALL PANELS. THIS EQUIVALENT WIDTH (IN INCHES) SHALL BE DIVIDED BY 48 TO DETERMINE THE NUMBER OF BRACED WALL PANELS. ONE SHOULD REFER TO TABLE 2 FOR THE NUMBER OF BRACED WALL PANELS USING BRACING METHOD 3.

EXAMPLE:
A BRACED WALL LINE USED THESE 16" WIDE SIMPLIFIED PORTAL WALL PANELS, TWO 48" WIDE 5/16" OSB, AND ONE 24" WIDE 5/16" OSB ADJACENT TO A 36" HIGH WINDOW (LESS THAN 65% IN WALL HEIGHT PER TABLE 3).

EQUIVALENT WIDTH OF THE SIMPLIFIED PORTAL WALL PANELS
TWO 48" WIDE 5/16" OSB
ONE 24" WIDE 5/16" OSB (MEETING TABLE 3 ON 2018 IRC).
192/48 = 4 BRACED WALL PANELS

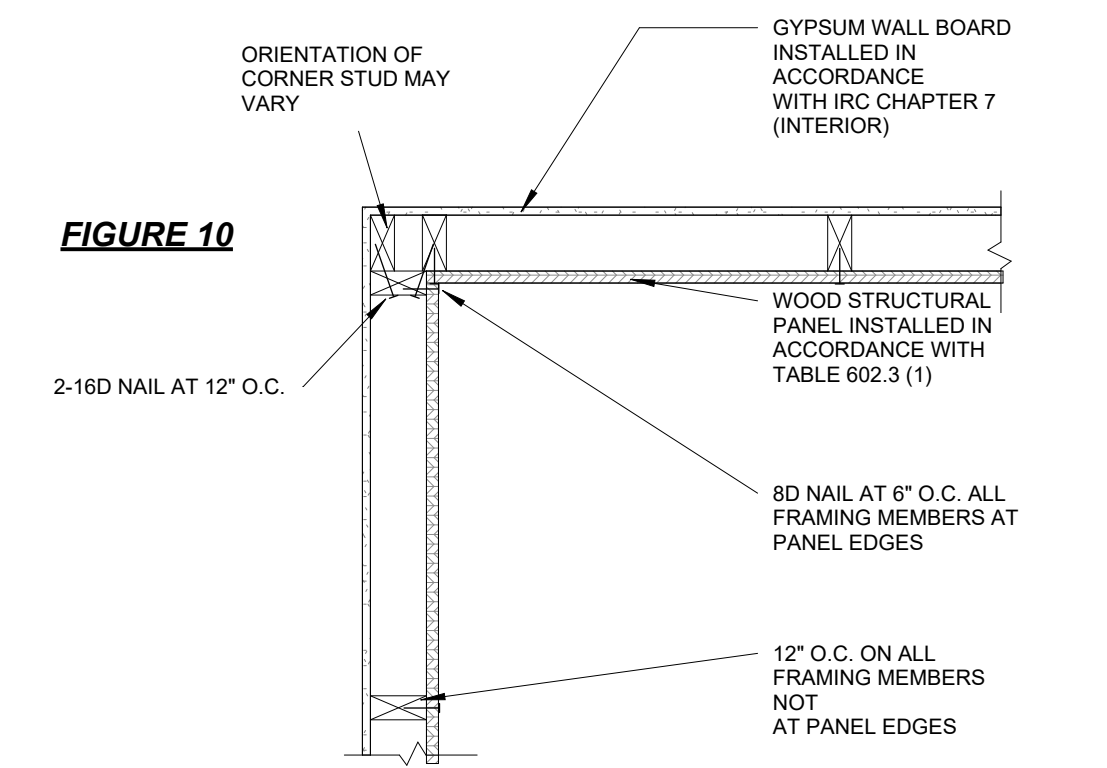
IF YOU CONSTRUCT YOUR CORNER PANELS IN STRICT CONFORMANCE TO THE APA METHODS, CONTINUOUSLY SHEATH THE REMAINDER OF YOUR STRUCTURE, AND OVERLAP THE SHEATHING AT THE CORNERS AS NOTED IN FIGURE 12 (USE FIGURE 10 DETAILS IF THE BRACED WALL PANEL IS NOT LOCATED AT THE CORNER). YOU CAN REDUCE THE WIDTH OF THE BRACED WALL TO THE DIMENSIONS ARE BASED ON MAINTAINING A 6:1 RATIO OF WALL HEIGHT TO CORNER PANEL WIDTH REGARDLESS OF THE HEIGHT OF THE ADJACENT WINDOW OR DOOR OPENING.

LENGTH OF SOLID PANEL AT CORNER		
8' WALL	9' WALL	10' WALL
16"	18"	20"

IF YOU CHOOSE TO USE THE APA NARROW WALLS, YOU MUST NOTE THEIR LOCATIONS ON YOUR BUILDING PLANS AND THE DETAILS NOTED FIGURES 10, 11, AND 12 MUST BE INCORPORATED INTO YOUR PLANS.

NOTE:

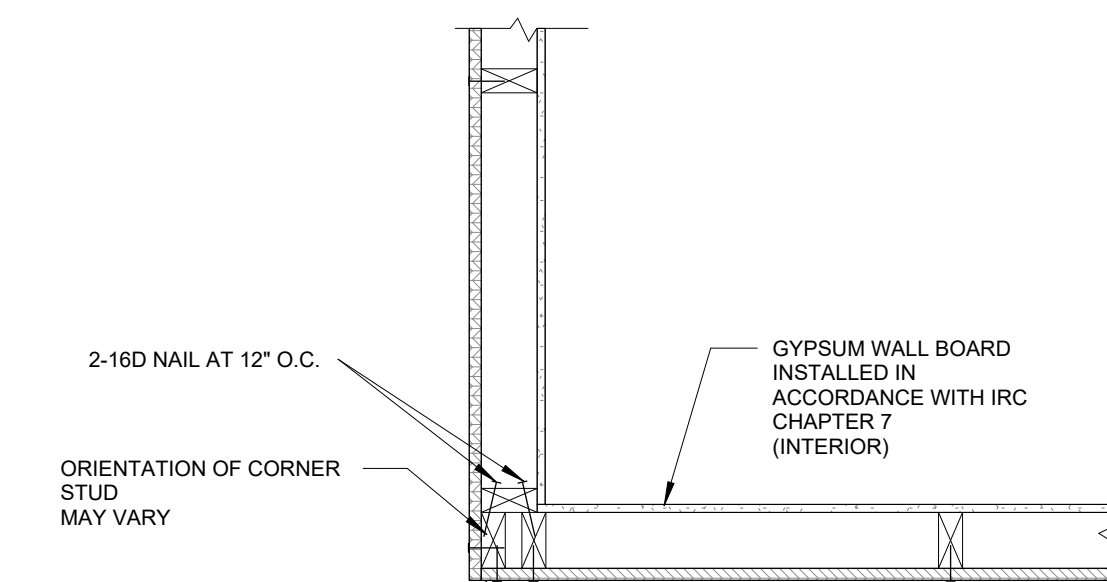
ALL EXTERIOR FRAMING TO COMPLY W/ 602.10 FULLY SHEATH ENTIRE BUILDING W/ 1/2" PLYWOOD OR OBC STRUCTURAL PANELS. UTILIZE NARROW WALL BRACING METHOD @ GARAGE DOOR OPENINGS AND @ PANELS LESS THAN 4'-0" WIDE PER 602.10.10.3 (SEE ATTACHED DETAILS).



IMPORTANT CODE REQUIREMENT:
ONLY FOR USE ON HOMES WITH FULLY SHEATHED PLYWOOD OR OSB EXTERIOR WALLS, PER IRC R602.10.5.

(A) EXAMPLE OF INSIDE CORNER DETAIL PER IRC R602.10.10.4

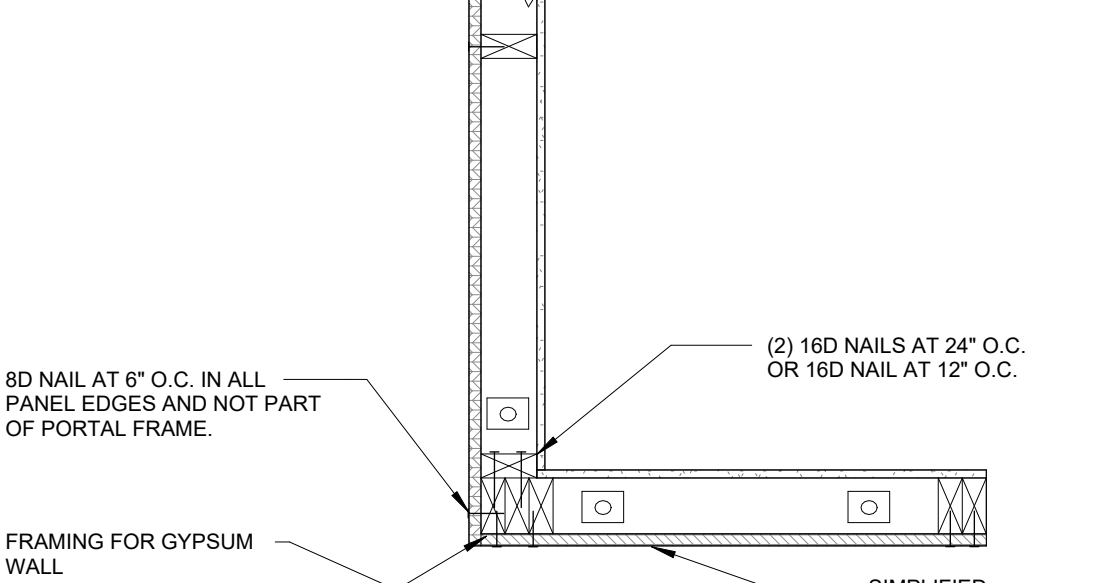
FIGURE 11



IMPORTANT CODE REQUIREMENT:
ONLY FOR USE ON HOMES WITH FULLY SHEATHED PLYWOOD OR OSB EXTERIOR WALLS, PER IRC R602.10.5.

(B) EXAMPLE OF OUTSIDE CORNER DETAIL PER IRC R602.10.10.4

FIGURE 12



(C) CORNER DETAIL USED IN CONJUNCTION WITH 6:1 ASPECT RATIO FRAME PER IRC R602.10.10.4

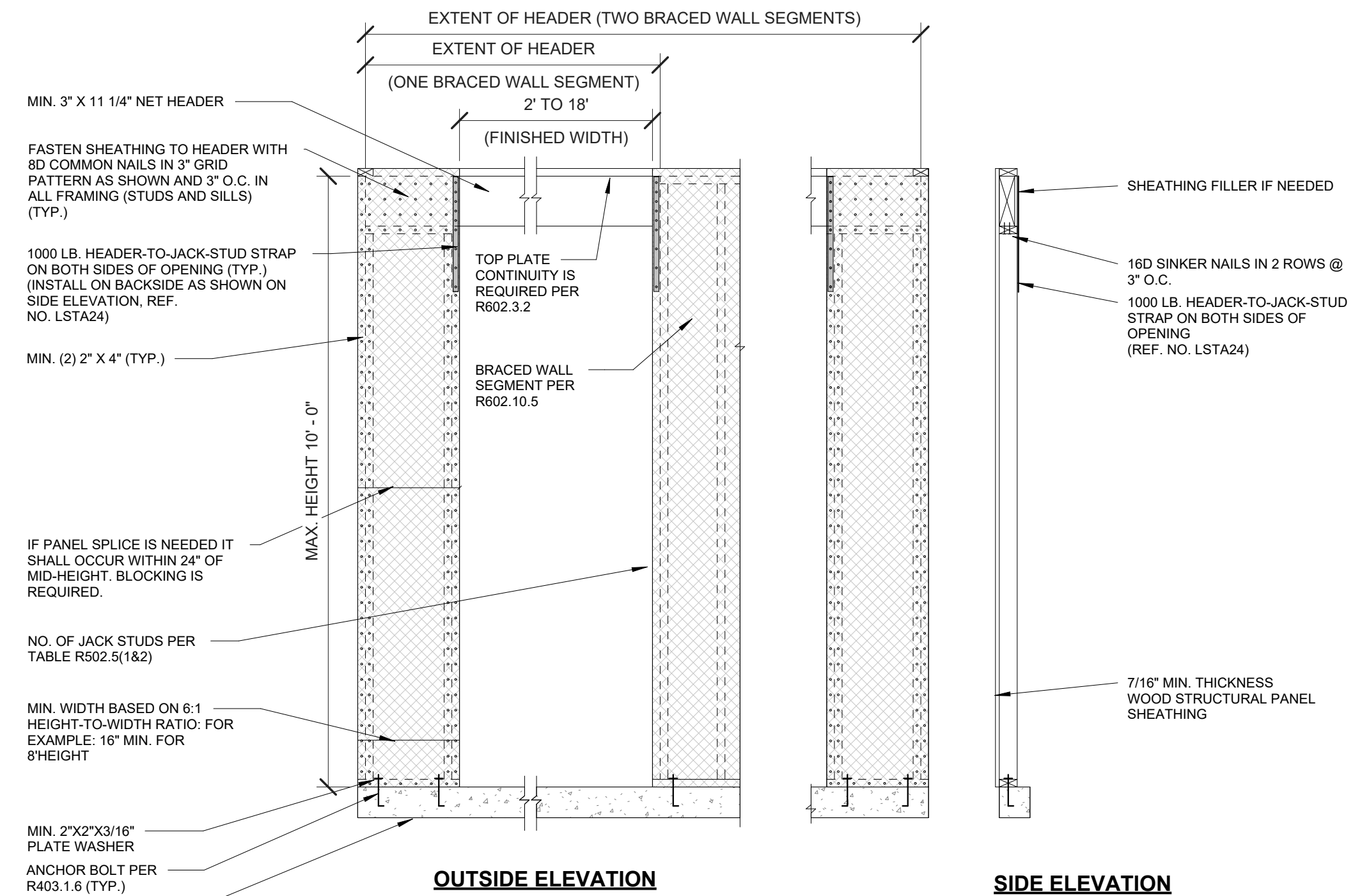
LISTED PRODUCTS:

PROPRIETARY SYSTEMS ARE PRE-DESIGNED, PRE-MANUFACTURED BRACING PANELS THAT CAN BE USED AS PART OF THE BUILDING'S LATERAL LOAD RESISTING SYSTEM. ACCEPTABLE PRODUCTS IN ST. LOUIS COUNTY ARE THOSE "LISTED" BY A NATIONALLY RECOGNIZED INDEPENDENT TESTING LABORATORY CERTIFIED BY THE INTERNATIONAL ACCREDITATION SERVICE TO CONDUCT TESTS RELATED TO INTERNATIONAL CODE COUNCIL-EVALUATION SERVICE (ICC-ES) ACCEPTANCE CRITERIA. THE INTERNATIONAL CODE COUNCIL - EVALUATION SERVICE (ICC-ES) REPORT MUST CLEARLY INDICATE THE PROPRIETARY SYSTEM IS ACCEPTABLE AS A BRACE WALL PANEL UNDER SECTION R602.10 OF THE INTERNATIONAL RESIDENTIAL CODE / 2009. REPORTS FOR THESE PROPRIETARY SYSTEMS MAY BE FOUND AT WWW.ICC-ES.ORG.

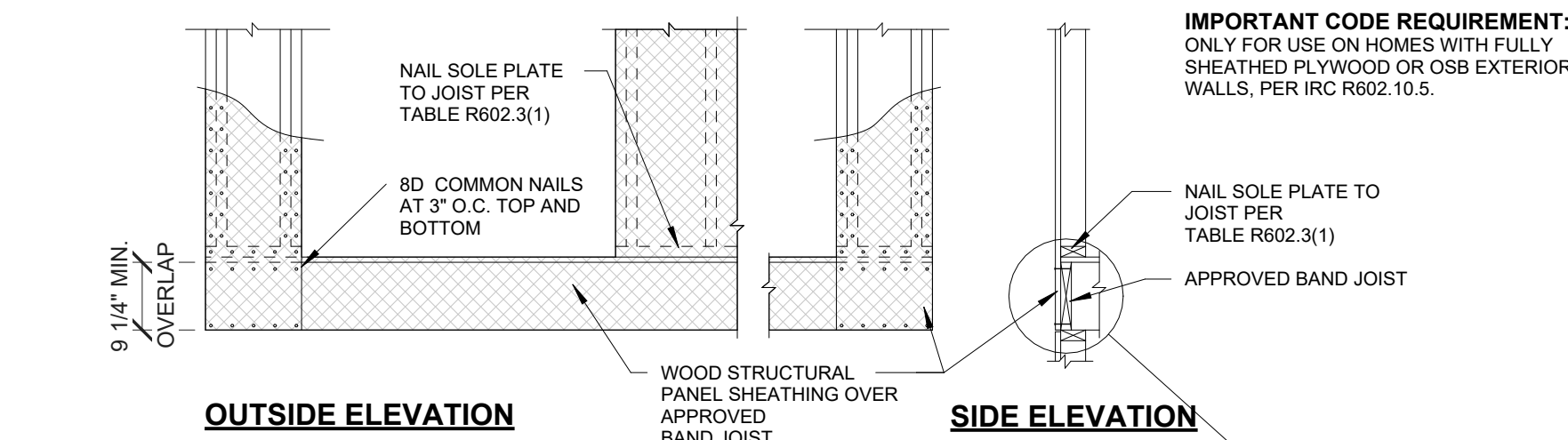
ENGINEERED DESIGN INTERNATIONAL BUILDING CODE

IF YOU WISH TO DEVIATE FROM THE PRESCRIPTIVE REQUIREMENTS FO THE INTERNATIONAL RESIDENTIAL CODE SECTION R602.10, THEN YOU MUST HAVE THE LATERAL LOAD RESISTING SYSTEM OF YOUR BUILDING DESIGNED BY A REGISTERED DESIGN PROFESSIONAL LICENSED IN THE STATE OF MISSOURI.

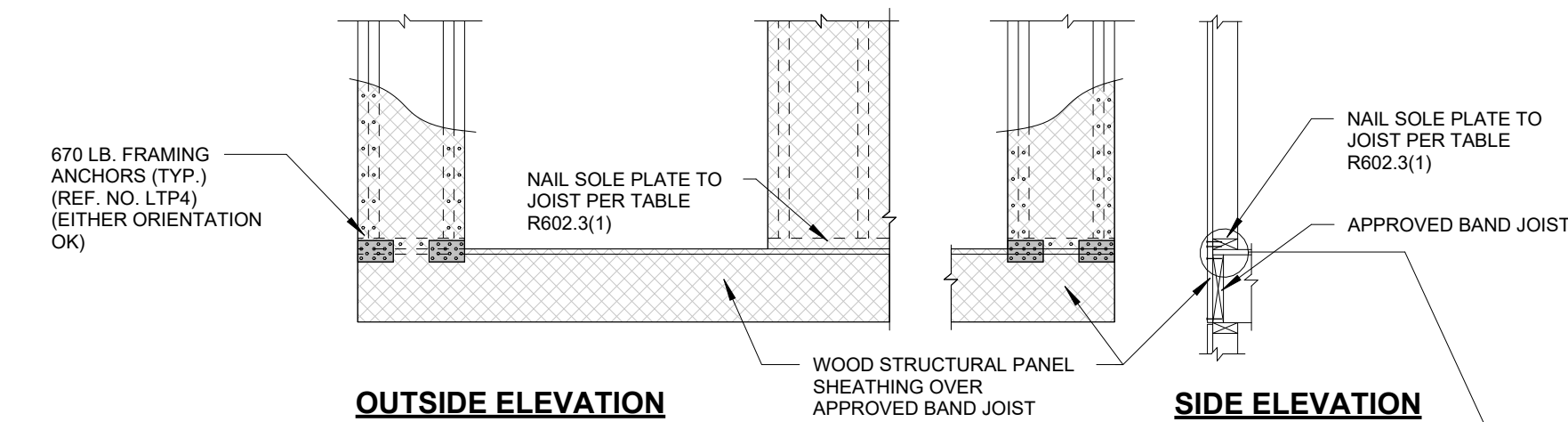
TO DETERMINE WIND LOAD, THE CALCULATIONS MUST FOLLOW THE REQUIREMENTS OF SECTION 1609 OF THE INTERNATIONAL BUILDING CODE (IBC). THE BASIC WIND SPEED FOR ST. LOUIS COUNTY IS 90 MPH. PLEASE NOTE: WIND LOAD MUST BE APPLIED TO BOTH WINDWARD AND LEEWARD SIDES SIMULTANEOUSLY.



(1) SIMPLIFIED PORTAL WALL BRACING METHOD WITHOUT HOLD-DOWNS (DETAIL 1 OF 3)



(2) SIMPLIFIED PORTAL WALL BRACING METHOD WITHOUT HOLD-DOWNS (STRUCTURAL PANEL OVERLAP OPTION) (DETAIL 2 OF 3)



(3) SIMPLIFIED PORTAL WALL BRACING METHOD WITHOUT HOLD-DOWNS (FRAMING ANCHOR OPTION) (DETAIL 3 OF 3)

CRIPPLE WALL FRAMING CONSISTING OF STUD FRAMING, SINGLE BOTTOM PLATE, AND DOUBLE TOP PLATE MAY BE ADDED TO THE TOP OF THE APA NARROW PORTAL WALL AS LONG AS THE COMBINED HEIGHT OF THE TWO WALLS IS LESS THAN ARE EQUAL TO 12' AND THE TWO WALLS ARE STRAPPED TOGETHER ON THE INTERIOR SIDE WITH A VERTICAL 16 GAUGE METAL 1 1/2" IN WIDE BY 21" LONG STRAP. A MINIMUM OF 10' OF THE STRAP SHALL BE CONNECTED TO EACH WALL OR GABLE TRUSS WITH 9-16D NAILS FOR A TOTAL OF 18-16D NAILS IN THE ENTIRE STRAP. STRAPS SHALL BE LOCATED AT EACH END OF THE CONNECTED WALLS OR WALL AND GABLE TRUSS WHERE SPACE ALLOWS FOR THE 10' LENGTH OF STRAP. THE SPACING BETWEEN THE STRAPS MAY NOT EXCEED 4' ON THE CENTER. THE STRAPS SHALL NOT BE BENT HORIZONTALLY TO ACCOMMODATE WOOD FRAMING. IF APPLICABLE, NAILERS SHOULD BE ADDED TO ONE OF THE WALLS OR GABLE END USING A MINIMUM OF 9-16D NAILS TO CREATE THE VERTICAL PLANE NEEDED TO MOUNT THE STRAP.

CERTIFICATION # 2006003868

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REVISIONS	No	Date	Description

DATE: 10/18/2023

PROJECT NO: 23.034

Steven Merle Feeler A-005098

BRACE WALL PANEL DETAILS

DRAWN: Author

CHECK: Checker

SHEET: A5

CODE BLOCK - COMPLY WITH: 2018 IRC / 2018 IBC / 2018 IEBC / 2018 IPC / 2018 IMC / 2018 IFGC / 2018 IECC

FINISHES:

- PER SECTION R315 - MAXIMUM FLAMESPREAD RATING ON ALL INTERIOR FINISH MATERIALS SHALL NOT EXCEED 200 OR SMOKE DEVELOPMENT OF 450 MAX.
- PER SECTION R803.2.3 - DRYWALL INSTALLATION SHALL BE IN CONFORMANCE WITH THE GYPSUM ASSOCIATION RECOMMENDED PRACTICE FOR THICKNESS, NAILING AND TAPING ON CORRECT STUD SPACING UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS.
- ALL FIRE RATED DRYWALL ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS OF THE APPROVED TEST ASSEMBLY.
- WATER RESISTANT GYPSUM BACKER BOARD SHALL BE USED IN BATHTUB AND SHOWER COMPARTMENTS. U.N.O. DURROCK OR EQUAL SHALL BE USED WHEN CERAMIC TILE IS SPECIFIED. NO VAPOR BARRIER BEHIND BACKER BOARD.
- PER SECTION 316.1 - BATT OR BLANKET INSULATION INCLUDING THE VAPOR RETARDER, BREATHER PAPER OR OTHER COVERINGS SHALL NOT BE LEFT EXPOSED IN UNFINISHED BASEMENTS UNLESS THE MATERIAL HAS A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 450 OR LESS.
- CEILING SUPPORTED BELOW WOOD JOISTS OR ATTACHED DIRECTLY TO WOOD FLOOR TRUSSES SHALL BE DRAFT-STOPPED AT 500 S.F. INTERVALS AND PARALLEL TO FRAMING MEMBERS. (FINISHED BASEMENT CEILINGS).
- ALL SOFFITS AND DROPPED CEILINGS SHALL BE FIRE BLOCKED.
- SHOWER FLOOR SURFACES TO BE SMOOTH, NONCORROSIVE, NONABSORBENT AND WATERPROOF MATERIAL.
- SHOWERS AND BATH/SHOWER ENCLOSURES SHALL HAVE WALLS CONSTRUCTED OF SMOOTH, NONCORROSIVE, NONABSORBENT, AND WATERPROOF MATERIAL TO A HEIGHT OF NOT LESS THAN 6'-0" ABOVE THE ROOM FLOOR LEVEL.

FURNISHINGS:

- CABINET SUPPLIER SHALL MEASURE AREA OF WORK AFTER ROUGH FRAMING TO ASSURE EXACT FIT OF CABINETS.

HVAC:

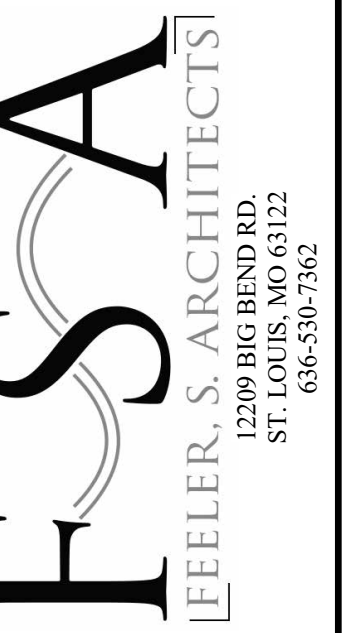
- PER SECTION 408.2 - THE TOTAL VENT AREA SHALL BE AT LEAST 1/150 OF THE AREA SERVED. EXCEPTIONS:
 - WHEN AN APPROVED VAPOR BARRIER IS PROVIDED OVER THE SURFACE OF THE GROUND THE REQUIRED VENT AREA MAY BE REDUCED TO 10% OF THE ABOVE AND THE VENTS MAY HAVE OPERABLE LOUVERS.
 - CLEAR HEIGHT MAY BE REDUCED WHEN PRESERVATIVE-TREATED OR NATURALLY DURABLE WOOD IS USED FOR THE FRAMING AND SUBFLOOR.
- ENCLOSED ATTIC, RAFTER AND CRAWL SPACE AREAS MAY BE VENTILATED BY A MECHANICAL EXHAUST AND SUPPLY AIR SYSTEM OF .02 CFM/SQ. FT. OF HORIZONTAL AREA. THE VENTILATION SYSTEMS SHALL OPERATE CONTINUOUSLY.
- THERMOSTATS USED FOR HEATING AND COOLING SHALL BE CAPABLE OF BEING SET FROM 55 DEGREES F. TO 65 DEGREES F. AND SHALL BE CAPABLE OF OPERATING THE SYSTEMS HEATING AND COOLING SEQUENCE.
- ALL HVAC EQUIPMENT AND DUCTWORK SHALL COMPLY WITH THE 2018 INTERNATIONAL MECHANICAL CODE.
- DRYER SHALL VENT TO EXTERIOR AND BE INDEPENDENT OF ALL OTHER SYSTEMS. AND SHALL HAVE 4" MINIMUM ROUND SMOOTH DUCT.
- HVAC CONTRACTOR SHALL SIZE HEATING AND COOLING UNITS.
- GAS HEATING SHALL BE USED FOR FURNACES AND HOT WATER HEATERS UNLESS OTHERWISE NOTED.
- PER SECTION 303.3
 - BATHROOMS WITHOUT WINDOWS FOR NATURAL VENTILATION SHALL EXHAUST 50 CFM MINIMUM TO THE EXTERIOR. IT IS NOT PERMISSIBLE TO DISCHARGE EXHAUST TO THE ATTIC.
 - EXCEPTION: HALF-BATHS WITHOUT A TUB OR SHOWER MAY EXHAUST TO THE ATTIC.
 - KITCHENS SHALL HAVE AIR EXHAUST TO THE OUTDOORS.
 - KITCHEN RANGE HOODS: A 100 CFM FAN (INTERMITTENT USE) OR A FAN CONTINUOUSLY EXHAUSTING 20 CFM SHALL BE INSTALLED.
 - KITCHEN RANGES WITHOUT HOODS: NATURAL VENTILATION SHALL BE SUPPLIED THROUGH OPERABLE WINDOWS, WITH A MINIMUM VENT OF 4% OF THE FLOOR AREA BEING SERVED.
- CHIMNEYS AND FLUES (MASONRY AND METAL) SHALL EXTEND A MINIMUM OF 3'-0" ABOVE THE ROOF PENETRATION.
- APPROVED VENT SYSTEMS FOR APPLIANCES SHALL BE INSTALLED AND TERMINATED PER MANUFACTURER'S INSTRUCTIONS.
- UNDERGROUND DUCT WORK SHALL CONFORM TO ASTM D1784 AND D2412.

PLUMBING: COMPLY WITH 2018 INTERNATIONAL PLUMBING CODE.

- LEAD FREE SOLDER IS REQUIRED ON ALL COPPER WATER SUPPLY PIPING.
- PROVIDE CONTINUOUS DRAINAGE TO SUMP OR "DAYLIGHT" UNDER BASEMENT FLOOR SLAB. SUMPS MUST BE 1" DIAMETER (MINIMUM X 18" DEEP WITH A FITTED COVER).
- A FLOOR DRAIN IS REQUIRED FOR A WATER HEATER AND WITHIN 15 FEET AND IN THE SAME ROOM.
- GAS PIPING SHALL BE IDENTIFIED AT INTERVALS OF NO MORE THAN 5 FEET IN EXCEPTION BLACK STEEL PIPE NEED NOT BE LABELED.
- PER SECTION 2420.5 - EVERY GAS APPLIANCE SHALL HAVE AN INDIVIDUAL SHUTOFF VALVE AND GROUND JOINT UNION. A SEDIMENT TRAP IS REQUIRED AT EACH APPLIANCE OR GROUP OF APPLIANCES.
- THE WATER SERVICE PIPE AND THE BUILDING SEWER TO BE A MINIMUM OF 10' APART HORIZONTALLY.
- GAS PIPE SHALL ENTER BUILDING ABOVE GRADE OR BE IN A PROTECTIVE SLEEVE OR OTHERWISE BE PROTECTED AGAINST CORROSION.
- PROVIDE A COLD WATER HOSE BIB WATER SERVICE ENTRANCE.
- SUMP PUMP DISCHARGE AND ROOF DRAINAGE SHALL BE PIPED TO A STORM DRAIN OR TO AN APPROVED WATER COURSE. DISCHARGING TO OR WITHIN 10" OF A SIDEWALK, DRIVEWAY, STREET, OR TO CREATE A NUISANCE TO ADJOINING PROPERTIES IS PROHIBITED.
- PER SECTION 1001.7 - DOWNSPOUTS, BASEMENT AREA WAY DRAINS OR FOUNDATION DRAIN TILES AREA NOT TO BE CONNECTED TO A SANITARY SEWER.
- WATER SERVICE LINE TO BE SIZED ACCORDINGLY PER 2018 INTERNATIONAL PLUMBING CODE.

ELECTRICAL:

- ALL ELECTRICAL WORK SHALL COMPLY WITH 2018 INTERNATIONAL BUILDING CODES STANDARDS AND REQUIREMENTS.
- PROVIDE A 200 AMP (UNLESS OTHERWISE NOTED) ELECTRIC PANEL IN THE BASEMENT WITH A 110 V. GFI DUPLEX RECEPTACLE NEXT TO THE PANEL.
- PER SECTION R313.1 - PROVIDE A. C. POWERED WITH BATTERY BACKUP INTERCONNECTED AND U.L. APPROVED SMOKE DETECTORS ON ALL LEVELS IN THE VICINITY OF ALL BEDROOM ENTRANCE DOORS (HALLWAY) AND WITHIN EACH BEDROOM. LOCATED BEDROOM HALFWAY DETECTOR UPSTREAM FROM OF NEAR RETURN AIR GRILLE. FLOOR LEVELS THAT DO NOT CONTAIN BEDROOMS SHALL HAVE THE DETECTOR LOCATED AT THE CEILING NEAR THE STAIRWAY. IN SPLIT LEVEL RESIDENCES A SMOKE DETECTOR INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THE LOWER LEVEL IN LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. CONNECT ALL SMOKE DETECTORS SO THAT AN ALARM WILL SOUND THROUGHOUT THE DWELLING SIMULTANEOUSLY. SEE PLANS FOR LOCATIONS. THE INSTALLATION SHALL MEET NFPA 72-99.
- ELECTRIC PANELS:
 - CIRCUIT BREAKER PANELS SHALL NOT BE INSTALLED IN BEDROOMS OR CLOTHES CLOSETS.
 - LIGHTING IS REQUIRED IN THE VICINITY OF THE ELECTRIC PANEL.
 - ELECTRIC PANELS IN NEW CONSTRUCTION SHALL NOT BE INSTALLED IN AREAS WITH LESS THAN 6'-0" HEADROOM. A MINIMUM OF 3" CLEARANCE IS REQUIRED IN FRONT OF PANELS.
- RECESSED CAN LIGHT FIXTURES IN INSULATED CEILINGS OR ATTICS SHALL BE TYPE "I.C."
- ELECTRIC RANGES AND/OR ELECTRIC DRYERS REQUIRE 3-POLE CIRCUIT BREAKER WITH GROUND TYPE RECEPTACLES.
- EXTERIOR WOOD STUD WALLS IN UNFINISHED BASEMENT AREAS SHALL HAVE GFI RECEPTACLES AT 12'-0" O.C. MAXIMUM WITH NO PLACE ALONG WALL TO BE MORE THAN 6'-0" FROM AN OUTLET. SEE FLOOR PLANS OR ELECTRICAL PLANS FOR LOCATIONS & SPACING OF OTHER RECEPTACLES AND SWITCHES.
- RECEPTACLES SHALL NOT BE INSTALLED WITHIN A BATHTUB OR SHOWER SPACE. HANGING FIXTURES, TRACK LIGHTING AND CEILING FANS SHALL NOT BE INSTALLED WITHIN 3'-0" HORIZONTALLY OF A BATHTUB, MEASURED FROM THE OUTSIDE EDGE OF THE TUB AND 8'-0" VERTICALLY FROM THE TOP OF THE TUB RISE.
- EXTERIOR WOOD STUD WALLS IN UNFINISHED BASEMENT AREAS SHALL HAVE GFI RECEPTACLES AT 12'-0" O.C. MAXIMUM WITH NO PLACE ALONG WALL TO BE MORE THAN 6'-0" FROM AN OUTLET. SEE FLOOR PLANS OR ELECTRICAL PLANS FOR LOCATIONS & SPACING OF OTHER RECEPTACLES AND SWITCHES.
- RECEPTACLES SHALL NOT BE INSTALLED WITHIN A BATHTUB OR SHOWER SPACE. HANGING FIXTURES, TRACK LIGHTING AND CEILING FANS SHALL NOT BE INSTALLED WITHIN 3'-0" HORIZONTALLY OF A BATHTUB, MEASURED FROM THE OUTSIDE EDGE OF THE TUB AND 8'-0" VERTICALLY FROM THE TOP OF THE TUB RISE.
- IF THE UNDERGROUND METAL WATER PIPE IS USED AS THE GROUNDING ELECTRODE, THE CONNECTION MUST BE MADE TO THE PIPE WITHIN 5 FEET OF THE POINT OF BUILDING ENTRANCE. SUPPLEMENTAL GROUNDING ELECTRODE SHALL BE PROVIDED PER NEC 250-50 OR 250-53.
- INTERIOR STAIRWAYS SHALL HAVE ILLUMINATED LIGHTING CONTROL AT EACH FLOOR LEVEL. SWITCHES MUST BE OPERABLE FROM THE TOP AND BOTTOM OF THE STAIRWAY WITHOUT TRAVELING ANY STEP OF THE STAIRWAY. INTERIOR STAIRWAYS TO BE PROVIDED WITH A MINIMUM OF 10 FOOT-CANDLES MINIMUM EVERY TREAD NOSING. EXTERIOR STAIRWAYS TO HAVE A MINIMUM OF 1 FOOT-CANDLE MEASURED ON THE TREAD RUNS. EXTERIOR STAIRWAY LIGHTING CONTROLLED BY A SWITCH INSIDE THE DWELLING OR AUTOMATICALLY ACTIVATED WITH A MANUAL OVERRIDE OR CONTINUOUSLY OPERATED.
- CIRCUITS PROVIDING POWER TO RECEPTACLES IN BEDROOMS MUST BE ARC-FAULT PROTECTED.
- PER SECTION 210-52 - RECEPTACLES ARE REQUIRED TO BE INSTALLED IN THE FOLLOWING AREAS:
 - IN ALL HABITABLE ROOMS EXCEPT BATHROOMS SO THAT NO SPACE ALONG A WALL IS MORE THAN 6'-0" FROM A RECEPTACLE. ALL WALL SPACES 2'-0" WIDE OR GREATER REQUIRE RECEPTACLES: FIXED PANELS OF GLASS DOORS, FIXED ROOM DIVIDERS SUCH AS FREE STANDING BAR-TYPE COUNTERS OR RAILINGS SHALL BE INCLUDED IN THE 6'-0" MEASUREMENT.
 - IN HALLWAYS OF 10'-0" OR MORE IN LENGTH. (FOYER IS AN ENTRY HALLWAY.)
 - KITCHEN AND DINING AREA COUNTER TOP RECEPTACLES SHALL BE SUPPLIED BY AT LEAST 2 DIFFERENT 20 AMP CIRCUITS. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE COUNTER IS MORE THAN 24" FROM A RECEPTACLE. ALL COUNTER TOP AREAS 12" WIDE OR GREATER SEPARATED BY SINKS, RANGES OR REFRIGERATORS SHALL BE PROVIDED WITH RECEPTACLES. RECEPTACLES INSTALLED FACE-UP IN COUNTER WORK-SURFACE ARE PROHIBITED. AT LEAST ONE RECEPTACLE SHALL BE INSTALLED TO SERVE EACH ISLAND OR PENINSULA COUNTER SPACE THAT IS 24" X 12" OR GREATER.
 - IN BATHROOMS AT LEAST ONE WALL MOUNTED RECEPTACLE INSTALLED WITHIN 36" OF EACH BASIN.
 - OUTDOOR RECEPTACLES (WEATHER-PROOF TYPE) INSTALLED AT THE FRONT AND BACK OF THE HOUSE. ACCESSIBLE TO GRADE LEVEL AND NOT MORE THAN 6'-6" ABOVE THE GRADE LEVEL.
 - AT LEAST 1 RECEPTACLE IN LAUNDRY AREA SUPPLIED BY A DEDICATED 20 AMPERE BRANCH CIRCUIT.
 - AT LEAST 1 RECEPTACLE IN UNFINISHED BASEMENT AREAS AND THE GARAGE IN ADDITION TO THE LAUNDRY RECEPTACLE.
 - REQUIRED RECEPTACLE OUTLETS LOCATED IN FLOORS SHALL BE WITHIN 18" OF WALL OR FIXED ROOM DIVIDER AND SHALL BE INSTALLED IN BOXES LISTED FOR THE PURPOSE.
- PER SECTION 210.70 - LIGHTING IS REQUIRED IN THE FOLLOWING AREAS:
 - AT LEAST 1 WALL SWITCHED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM, BATHROOM, HALLWAY, STAIRWAY, ATTACHED GARAGE, DETACHED GARAGE (WITH ELECTRICAL POWER) AND AT EXTERIOR DOORS. OCCUPANCY SENSORS MAY BE USED IN ADDITION TO A WALL SWITCH OR BE EQUIPPED WITH A MANUAL OVERRIDE AND BE LOCATED AT THE CUSTOMARY WALL SWITCH LOCATION.
 - AT LEAST 1 LIGHTING OUTLET AND ONE RECEPTACLE ARE REQUIRED IN EACH ATTIC, CRAWL SPACE, BASEMENT OR UTILITY ROOM THAT IS USED FOR STORAGE OR CONTAINS HEATING, AIR-CONDITIONING OR OTHER EQUIPMENT REQUIRING SERVICING. THE LIGHT SWITCH SHALL BE LOCATED AT THE POINT OF ENTRY.
- PER SECTION 250-140 - RECEPTACLE OUTLETS FOR RANGES AND CLOTHES DRYERS MUST BE A 3-POLE WITH GROUND TYPE.
- LIGHTING IN CLOTHES CLOSETS:
 - THE USE OF INCANDESCENT FIXTURES WITH OPEN OR ONLY PARTIALLY ENCLOSED LAMPS AND THE USE OF PENDANT FIXTURES ARE PROHIBITED.
 - FIXTURES MAY BE LOCATED ONLY WHERE THERE ARE THE FOLLOWING MINIMUM CLEARANCES TO THE NEAREST POINT OF STORAGE SPACE:
 - SURFACE MOUNTED INCANDESCENT FIXTURES - 12" MINIMUM.
 - SURFACE MOUNTED FLUORESCENT FIXTURES AND RECESSED FIXTURES - 6" MINIMUM.



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Swadener Residence - Kitchen Expansion
6330 Washington Ave.
University City, MO 63130

REVISIONS		Description
No	Date	

DATE: 10/18/2023

PROJECT NO: 23.034

Steven Merle Feeler A-005098

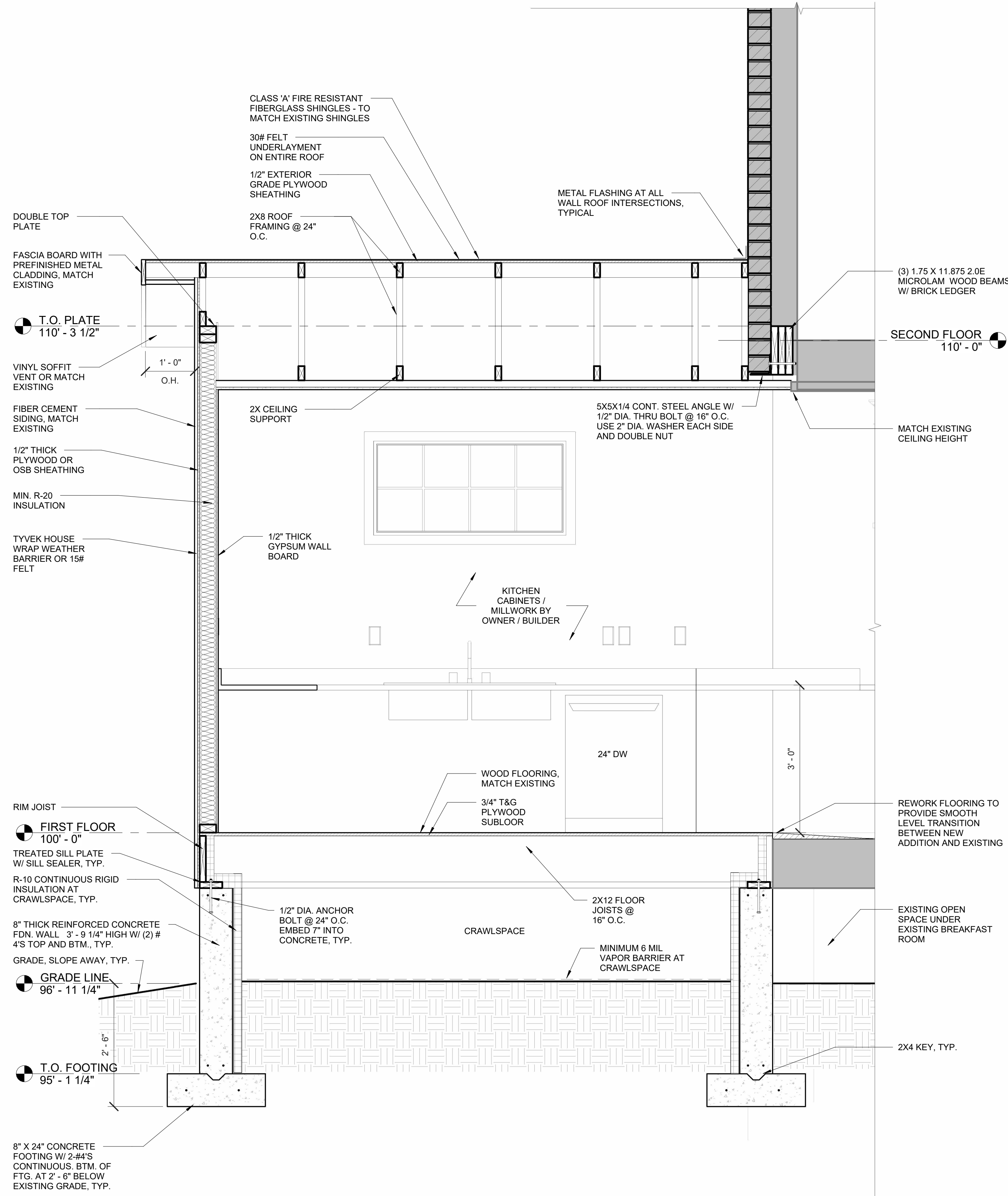
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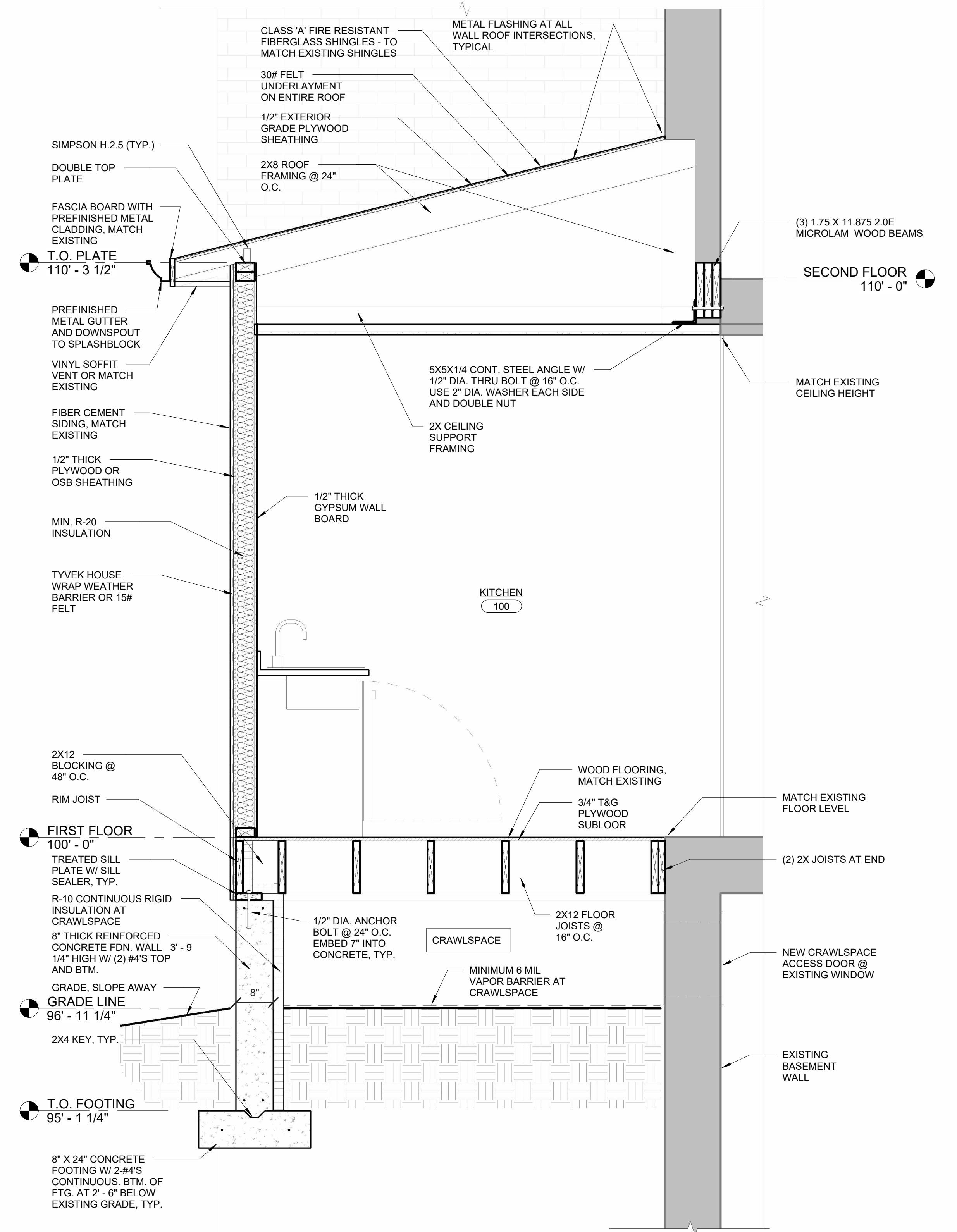
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NOTE:
 ALL EXTERIOR FRAMING TO COMPLY W/ 602.10 FULLY SHEATH ENTIRE BUILDING W/ 7/16" PLYWOOD OR OBC STRUCTURAL PANELS. UTILIZE NARROW WALL BRACING METHOD @ GARAGE DOOR OPENINGS AND @ PANELS LESS THAN 4'-0" WIDE PER 602.10.10.3 (SEE ATTACHED DETAILS).

Swadener Residence - Kitchen Expansion
6330 Washington Ave.
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2 WALL SECTION
3/4" = 1'-0"



1 WALL SECTION
3/4" = 1'-0"

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WALL SECTIONS
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