



Plan Commission

6801 Delmar Boulevard, University City, Missouri 63130 | 314-505-8500 | Fax: 314-862-3168

AGENDA

PLAN COMMISSION MEETING

Wednesday, August 28, 2024 at 6:30 pm

Location: Hybrid meeting (both in-person and virtual* attendance options)

Heman Park Community Center (975 Pennsylvania Avenue)

**For virtual meeting details, see next page.*

1. Roll Call

2. Approval of Minutes

- a. July 24, 2024 Plan Commission Minutes

3. Public Comments – (Limited to 3 minutes for individual’s comments, 5 minutes for representatives of groups or organizations.)

4. Old Business

5. New Business

a. CUP-24-03

Applicant: Michael S. Stevenson of Royal Banks of Missouri

Request: Conditional Use Permit (CUP) to allow for drive-through facilities for a bank

Location: 8550 Olive Boulevard

PUBLIC HEARING AND VOTE REQUIRED

b. TXT-24-03 (Sign code amendments)

Applicant: City of University City

Request: Approval of a zoning Text Amendment regarding code sections §400.2320(A), §400.780(D)(3), § 415.030(A) and creating a new section §400.2345

VOTE REQUIRED

c. TXT-24-05 (New coffee shop parking requirement)

Applicant: City of University City

Request: Approval of a zoning Text Amendment to regarding code section §400.2140, off-street parking requirements, and §400.030, definitions

VOTE REQUIRED

6. Other Business

- a. Discuss the creation of an Architectural Review Board (ARB) – see link to City Council study session presentation [here](#)

7. Reports

- a. Council Liaison Report
- b. Code Review Committee
- c. Comprehensive Plan Committee
- d. Housing & Third Ward Revitalization Task Force Report
- e. Staff Updates

8. Adjournment



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VIRTUAL MEETING DETAILS

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Wednesday, August 28, 2024 at 6:30 pm

Location: Hybrid meeting (both in-person and virtual* attendance options)

Heman Park Community Center (975 Pennsylvania Avenue)

Observe and/or Listen to the Meeting (your options to join the meeting are below):

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/87059116973?pwd=gGVKgOV1H3Fczfpzzk7fPPBqSCyELg.1>

Passcode: 042850

Or One tap mobile:

+13052241968,,87059116973#,,,,*042850# US

+13092053325,,87059116973#,,,,*042850# US

Or Telephone:

Dial(for higher quality, dial a number based on your current location):

+1 305 224 1968 US

+1 719 359 4580 US

+1 309 205 3325 US

+1 253 205 0468 US

+1 312 626 6799 US (Chicago)

+1 253 215 8782 US (Tacoma)

+1 646 931 3860 US

+1 346 248 7799 US (Houston)

+1 929 205 6099 US (New York)

+1 360 209 5623 US

+1 301 715 8592 US (Washington DC)

+1 386 347 5053 US

+1 669 444 9171 US

+1 507 473 4847 US

+1 669 900 6833 US (San Jose)

+1 564 217 2000 US

+1 689 278 1000 US

Webinar ID: 870 5911 6973

Passcode: 042850

International numbers available: <https://us02web.zoom.us/j/87059116973>

Citizen Participation

Comments may be sent via email to: jwagner@ucitymo.org or mailed to the City Hall – 6801 Delmar Blvd. – Attention John L. Wagner, Director of Planning and Development. Such comments will be provided to the Plan Commission prior to the meeting. Comments will be made a part of the official record and made accessible to the public online following the meeting. Please note, when submitting your comments or invites, a **name and address must be provided**. Please also note if your comment is on an agenda or non-agenda item, and a name and address are not provided, the provided comment will not be recorded in the official record.



DRAFT MEETING MINUTES
PLAN COMMISSION

Location: Heman Park Community Center and via Zoom
Wednesday, July, 24th, 2024 at 6:30pm

The Plan Commission held its regular session on Wednesday, June 26th, 2024 at the Heman Park Community Center (975 Pennsylvania Ave) and via Videoconference (Zoom). The meeting commenced at 6:30 pm and adjourned at 8:33 pm.

Call to Order – (6:30 pm)

1. Roll Call

Present

- Margaret Holly (Chair)
- Al Fleischer Jr.
- Mark Harvey
- Patricia McQueen
- Tori Gonzalez
- Ellen Hartz
- Jeff Hales (Council Liaison)
- Charles Gascon

Staff Present

- Mary Kennedy, Planner
- Noah Chapin, Planner
- John Wagner, Director of Planning & Development
- John Mulligan, City Attorney

2. Approval of Minutes – No corrections to minutes from June 26th, minutes were approved as presented.

3. Public Comments - None

4. Old Business - None

5. New Business

a. Working Session

Applicant: Jack and Mike Ehlers of William James Capital, LLC.

Request: Working session to get feedback from the Plan Commission on a proposed 106-unit townhome development (“The Enclaves at Canton Avenue”) at 7701 Canton Ave.

Chair Holly introduced the project by describing the various times this site has been addressed over the past 3 years, then Ms. Kennedy introduced the new applicants and presented a brief overview of the proposed development.

The applicants introduced themselves and presented their current site plan, showing proposed streets, unit locations, amenities, parking, detention, utilities, and more. Applicants also showed architectural elevations and renderings.

Commissioners began asking clarifying questions about rent, street width, vouchers, parking, mail, trash, etc. Ms. Kennedy confirmed that the plans would be reviewed by both Public Works and the fire department to ensure safety and compliance with all city codes. Applicants clarified that all 106 units will share a mail room at the entrance to the site which consolidates services and ensures a secure space for packages.



Department of Planning and Development

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Commissioner Fleischer asked about what type of buffer would be maintained along the western property line. Applicants clarified that the property line has a substantial grade difference, and the existing trees would be maintained as landscape buffer. They also showed the grading plan and explained how the drainage/detention has been designed to not impact any off-site properties.

Commissioner McQueen asked about how the building designs came to be, and expressed concern that the building design and materials may not be a good fit for the third ward of University City, and fears that they may age poorly. Applicants clarified that the properties would be maintained, including street trees and regular grass cutting. They were also receptive to comments about adding windows, changes to materials and architectural elements, and minimizing the visual impact of the garages.

Trash pickup is reserved to several dumpster enclosures, not individual bins for each unit. Councilmember Hales inquired about whether there are enough dumpsters to be practical, as well as concerns about street width as it relates to fire/emergency vehicles on private drives. Applicant's engineer helped clarify that the street width and turnaround designs are all standard for emergency vehicles and should not pose a problem.

They also clarified that each building would vary in exact colors/materials, as well as stepping as necessitated by the site grading, to avoid a "cookie-cutter" appearance.

Commissioner Gascon questioned whether this site was the right location for a new "neighborhood node" as recommended by the comprehensive plan. Applicant clarified that the proposed commercial site (coffee shop) and amenities will be open to the public. Commissioner Gascon asked if they shouldn't be moved off site or to additionally provide amenities in Millar Park down the street.

Commissioner Holly asked if any units would be universally designed for accessibility. Applicants clarified that they aren't required to based on HUD rules, but that the first floor of all units would be ADA accessible and that tenants are welcome to add whatever accommodations they need.

Staff stated that they would review the requirements for private drives compared to public streets as it relates to sidewalks, widths, cross sections, and other standards.

6. **Other Business** - None

7. **Reports**

- a. **Staff:** Ms. Kennedy presented a possible exterior façade design change for the Subtext Development (6630-6654 Delmar). The Commission agreed the proposed changes were negative and Ms. Kennedy agreed to instruct the applicants to not pursue the change.
- b. **Third Ward Housing Task Force:** Commissioner McQueen reported that the final plan may take as long as September to be presented to the City Council, but that it is coming along.

8. **Adjournment** – The meeting was adjourned at 8:33 pm.



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STAFF REPORT

Meeting Date	28 th August, 2024
File Number	CUP-24-03
Council District	3
Location	8550 Olive Blvd.
Applicant	Michael S. Stevenson of Royal Banks of Missouri
Property Owner	Royal Banks of Missouri
Request	Conditional Use Permit (CUP) to allow for: 1) Drive-through facilities

Comprehensive Plan Conformance:

Yes No No reference

Staff Recommendation:

Approval Approval with Conditions Denial

Attachments:

1. Application form
2. Applicant letter
3. Site plans
4. Legal description

Applicant Request

The applicant, Brandon A. Harp of Civil Engineering and Design Consultants, Inc., on behalf of Royal Banks of Missouri, is requesting a Conditional Use Permit (CUP) to authorize the following for the property located at 8550 Olive Boulevard:

- 1) Bank with drive-through facilities

Existing Property

The subject property has a total area of approximately 0.47 acres and was previously occupied by a gas station. The previous structure was demolished in early 2024 along with all impervious surfaces.



Analysis

Land Use and Zoning

The subject property is currently zoned General Commercial (GC), in which banks and financial institutions are a permitted use. The Conditional Use Permit is required due to the proposed drive-through facilities.

Table 1. Surrounding Zoning & Land Use

North	General Commercial (GC); retail, office
East	General Commercial (GC) and Single-Family Residential (SR); personal services (salon), retail, single-family dwellings
South	Public Activity (PA); Ruth Park
West	Planned Development – Commercial (PD-C); restaurant with drive-through facilities, retail, bank (Market at Olive)

Map 1. Surrounding Zoning



Off-Street Parking and Loading Requirements

Required parking: Bank and Other Financial Institutions

1 space per 200 square feet of floor area

2,797 square feet / 200 = 14 required parking spaces

The applicant is providing 14 parking spaces (including 1 ADA) to satisfy the off-street parking requirements. The applicant is also providing the required 3 bicycle parking spaces, and 10 stacking spaces for the drive through facilities. Loading spaces are not required because the use is less than 6,000 square feet.

Site Coverage

The applicant will be reducing the site coverage from 89.5% formerly to 68.75%, which satisfies the 70% site coverage maximum for developments on lots over 20,000 square feet of area.

Dimensional Regulations

The proposed development complies with the dimensional regulations (height, setback, minimum lot size) of the GC district. The development is exempt from the Motor Vehicle Oriented Business dimensional requirements set forth in §400.2730, due to the exemption recently passed in TXT-24-02.

Landscape and Screening Requirements

Landscaping and screening are required along the southeast property line, where the proposed development is abutting properties zoned Single-Family Residential (SR). The applicant is providing adequate landscaping and buffer where required.

Circulation and Access

Access to the site is reserved to one curb cut placed as far away from the intersection of Olive and McKnight as possible. The previous site had several curb cuts, including on Olive, which will now be closed, and the streetscape will be improved for pedestrian use. The proposed site also features a crosswalk access from McKnight to the main entry of the building.

Comprehensive Plan

The future character and land use map designates this site as a Community Corridor. "Community commercial" is considered a primary use in the Community Corridor land use type, and properly builds upon the momentum of the Market at Olive development to the west.

Olive Boulevard Design Guidelines

The proposed building and site design comply with the Olive Boulevard Design Guidelines, and the proposed landscaping and streetscape is consistent with the Market at Olive development.

Review Criteria

The applicant is in accordance with the Conditional Use Permit review criteria, as set forth in §400.2710 of the Zoning Code, and listed below:

1. The proposed use complies with the standards of this Chapter, including performance standards, and the standards for motor vehicle-oriented businesses, if applicable, as contained in Section 400.2730 of this Article.
2. The impact of projected vehicular traffic volumes and site access is not detrimental with regard to the surrounding traffic flow, pedestrian safety, and accessibility of emergency vehicles and equipment.
3. The proposed use will not cause undue impacts on the provision of public services such as police and fire protection, schools, and parks.
4. Adequate utility, drainage and other such necessary facilities have been or will be provided.
5. The proposed use is compatible with the surrounding area.
6. The proposed use will not adversely impact designated historic landmarks or districts.
7. Where a proposed use has the potential for adverse impacts, sufficient measures have been or will be taken by the applicant that would negate, or reduce to an acceptable level, such potentially adverse impacts. Such measures may include, but not necessarily be limited to:
 - a. Improvements to public streets, such as provision of turning lanes, traffic control islands, traffic control devices, etc.
 - b. Limiting vehicular access so as to avoid conflicting turning movements to/from the site and access points of adjacent properties, and to avoid an increase in vehicular traffic in nearby residential areas.
 - c. Provision of cross-access agreement(s) and paved connections between the applicant's property and adjacent property(ies) which would help mitigate traffic on adjacent streets;
 - d. Provision of additional screening and landscape buffers, above and beyond the minimum requirements of this Chapter;

- e. Strategically locating accessory facilities, such as trash storage, loading areas, and drive-through facilities, so as to limit potentially adverse impacts on adjacent properties while maintaining appropriate access to such facilities and without impeding internal traffic circulation;
- f. Limiting hours of operation of the use or certain operational activities of the use (e.g., deliveries); and
- g. Any other site or building design techniques which would further enhance neighborhood compatibility.

Findings of Fact

According to §400.2720, the Plan Commission shall not recommend approval of a conditional use permit unless it shall, in each specific case, make specific written findings of fact based directly upon the particular evidence presented to it supporting the conclusion that the proposed conditional use:

1. Complies with all applicable provisions of this Chapter;
2. At the specific location will contribute to and promote the community welfare or convenience;
3. Will not cause substantial injury to the value of neighboring property;
4. Is consistent with the Comprehensive Plan, neighborhood development plan (if applicable), the Olive Boulevard Design Guidelines (if applicable), and any other official planning and development policies of the City; and
5. Will provide off-street parking and loading areas in accordance with the standards contained in Article VII of this Chapter.

Process – Required City Approvals

Plan Commission. Section 400.2700(C) of the Zoning Code requires that CUP applications be reviewed by Plan Commission. The Plan Commission shall make a recommendation to the City Council for their consideration. A public hearing is required at the Plan Commission meeting.

City Council. Section 400.2700(D) of the Zoning Code requires that CUP applications be reviewed by City Council for final decision, subsequent to a public hearing and recommendation from Plan Commission. In conducting its review, City Council shall consider the staff report, Plan Commission’s recommendation, and application to determine if the proposed CUP application meets the requirements of the Zoning Code.

Staff Recommendation

Staff recommends approval of the Conditional Use Permit for the property located at 8550 Olive Blvd.



Department of Planning & Development

6801 Delmar Boulevard • University City, Missouri 63130 • 314-505-8500 • Fax: 314-862-3168

APPLICATION FOR CONDITIONAL USE PERMIT
Under Article 11 of the Zoning Code of University City, Missouri

1. Address/Location of Site/Building: 8550 OLIVE BLVD.

2. Zoning District (check one):

SR LR MR HR HRO GC LC CC IC PA PD

3. Applicant's Name, Corporate or DBA Name, Address, Phone Number, and Email: _____

Michael S. Stevenson, SVP and COO, Royal Banks of Missouri

8021 Olive Boulevard, St. Louis, MO 63130

314-212-1500 michael.stevenson@royalbanksnet.com

4. Applicant's Interest in the Property: Owner Owner Under Contract Tenant*

Tenant Under Contract* Other* (explain):

* Zoning Code Section 400.2680 requires that the application come from one (1) or more of the owners of record or owners under contract of a lot of record (or zoning lot), or their authorized representative. If you are applying as a tenant, tenant under contract or other, you must attach a signed letter from the property owner stating that they authorize you to file this Conditional Use Permit application on their behalf.

5. Owner's Name, Corporate or DBA Name, Address, Phone Number, and Email (if other than Applicant):

6. Please state, as fully as possible, how each of the following standards are met or will be met by the proposed development or use for which this application is being made. Attach any additional information to this application form.

a) Complies with all applicable provisions of the University City Zoning Code (e.g. required yards and setbacks, screening and buffering, signs, etc.).

YES

b) At the specific location will contribute to and promote the community welfare or convenience.

Yes, provides a needed service

c) Will not cause substantial injury to the value of neighboring property.

no

d) Is consistent with the Comprehensive Plan, neighborhood development plan (if applicable), and any other official planning and development policies of the City.

yes

e) Will provide off-street parking and loading areas in accordance with the standards contained in Article 7 of the University City Zoning Code

yes

**** In addition to this application form, memo detailing the following information is required:**

1) Description of the proposed Conditional Use, in narrative form. Please include historical information about the applicant, the company and/or the organization. Explain why this site was chosen for the proposal, state the number of employees that will be working at the site, state the hours of operation, explain other features unique to the proposed use and submit any other information that will help the Plan Commission and City Council in their decisions. 2) Estimated impact of the conditional use on the surrounding properties and adjacent streets, including, but not limited to, average daily and peak hour traffic generation, existing traffic volumes of adjacent streets, if available, use of outdoor intercoms, and any other operational characteristics of the proposed use that may have impacts on other adjacent or nearby properties. 3) Legal description of the property(s) proposed for the Conditional Use Permit when the proposed use involves a substantial addition or new construction.

A Public Hearing before the Plan Commission is required. Notice of such Public Hearing must be published in a newspaper of general circulation at least fifteen (15) days in advance. Upon receipt of a Plan Commission Recommendation, the City Council must consider this application and supporting information before a Use Permit may be granted. A fee of \$250 must accompany this application.

7-29-24 _____
Date Applicant's Signature and Title

Representing (if applicable)

FOR OFFICE USE ONLY

_____ Date Application was Received.
_____ Application Fee in the Amount of \$ _____ Receipt # _____
_____ Application returned for corrections or additional data, drawings, etc.
_____ Case # _____ created.

July 29, 2024

City of University City
Department of Planning & Development
6801 Delmar Blvd
University City, Missouri 63130

Subject: Application for Conditional Use Permit

Royal Banks of Missouri has served the City of University City for 60 years. The Bank has been considering options to replace our current building location at 8021 Olive Boulevard.

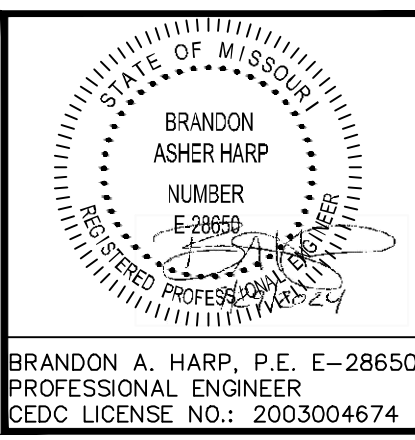
The Bank has purchased property at 8550 Olive Boulevard to build a new full-service branch. This site will allow the Bank to continue to meet the financial services needs of the community, specifically the 3rd ward, while keeping our roots in University City.

The new branch will be located at the corner of McKnight and Olive, which has an electrical signal and provides traffic control that will make access to the property convenient and safer.

Sincerely,



Michael S. Stevenson
Senior Vice President
Chief Operating Officer



SITE DEVELOPMENT PLAN

for a

ROYAL BANK

PART OF LOT 30 IN BLOCK 1 OF DARTSDALE SUBDIVISION NO. 3
ST. LOUIS COUNTY, MISSOURI

SHEET INDEX

SDP1 TITLE SHEET & DETAILS

SDP2 SITE DEVELOPMENT PLAN

GENERAL NOTES

1. ALL UTILITIES SHOWN HAVE BEEN LOCATED FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED. THE CONTRACTOR SHALL BE ON RECORD WITH THE MISSOURI ONE CALL SYSTEM. ALL PROPOSED UTILITIES SHALL BE UNDERGROUND.
2. ALL ELEVATIONS ARE BASED ON THE BENCHMARK SHOWN.
3. BOUNDARY AND TOPOGRAPHIC SURVEY BY MARLER SURVEYING COMPANY, INC.
4. ALL ON-SITE MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF UNIVERSITY CITY, ST. LOUIS COUNTY, AND M.S.D.
5. ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDING AND MULCHING AS REQUIRED BY THE CITY OF UNIVERSITY CITY.
6. PRIOR TO BEGINNING ANY WORK ON THE SITE, THE SUBCONTRACTOR SHALL CONTACT THE GENERAL CONTRACTOR FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
7. GRADING CONTRACTOR SHALL INSTALL SILTATION CONTROL PRIOR TO STARTING THE GRADING. ADDITIONAL SILTATION CONTROL DEVICES SHALL BE INSTALLED AS DIRECTED BY THE CITY OF UNIVERSITY CITY.
8. ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.
9. GRADING CONTRACTOR SHALL KEEP EXISTING ROADWAYS CLEAN OF MUD AND DEBRIS AT ALL TIMES.
10. PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS ON PAVED AREAS.
11. ALL GRADING AND DRAINAGE TO BE IN CONFORMANCE WITH THE CITY OF UNIVERSITY CITY, M.S.D. AND ST. LOUIS COUNTY.
12. THE DRIVE ENTRANCE IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF UNIVERSITY CITY AND ST. LOUIS COUNTY DEPARTMENT OF TRANSPORTATION.
13. SEEDING, SODDING, MULCHING AND PLANTINGS FOR ALL DISTURBED AREAS SHALL BE SPECIFIED ON THE LANDSCAPE PLAN.
14. SIDEWALKS ALONG THE ACCESSIBLE ROUTE SHALL NOT HAVE A SLOPE EXCEEDING 1V:20H. SLOPES GREATER THAN 1V:20H MUST BE DESIGNED AS A RAMP. SIDEWALKS TO BE CONSTRUCTED TO ST. LOUIS COUNTY ADA STANDARDS.
15. SIDEWALKS, CURB RAMPS, RAMPS AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY APPLICABLE "ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ADA GUIDELINES AND THE INFORMATION ON THE PLANS, THE ADA GUIDELINES SHALL TAKE PRECEDENCE AND THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER PRIOR TO ANY CONSTRUCTION.
16. NO GRADE SHALL EXCEED 3:1 SLOPE UNLESS APPROVED BY GEOTECHNICAL ENGINEER
17. STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE NATURAL DISCHARGE POINTS.
18. ALL LANDSCAPED AREAS TO BE FILLED WITH A MINIMUM OF 6" OF TOPSOIL.
19. ALL LANDSCAPED AREAS DISTURBED BY OFF-SITE WORK SHALL BE IMMEDIATELY SEED OR SODDED, AS DIRECTED BY THE CITY OF UNIVERSITY CITY.
20. ADEQUATE TEMPORARY OFF-STREET PARKING FOR CONSTRUCTION EMPLOYEES SHALL BE PROVIDED. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEES' VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVEWAY CONDITIONS.
21. ALL SEWER CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE METROPOLITAN ST. LOUIS SEWER DISTRICT STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWER AND DRAINAGE FACILITIES, (LATEST EDITION).
22. MINIMUM LOT SIZE (SEC. 400.520(A)) NO LESS THAN 12,500 SQ. FT. EXCEPT FOR PUBLIC UTILITIES. - SITE = 21,087.49 SQ. FT.
23. SETBACKS (SEC. 400.520(B))
MINIMUM RIGHT-OF-WAY SETBACK: EXCEPT AS PROVIDED FOR IN ARTICLE V "SUPPLEMENTARY REGULATIONS", DIVISION 2, NO BUILDING SHALL BE LOCATED WITHIN THIRTY-FIVE (35) FEET OF A STREET RIGHT-OF-WAY, UNLESS NO PARKING AREAS ARE LOCATED BETWEEN THE STREET RIGHT-OF-WAY AND ANY PRINCIPAL OR ACCESSORY BUILDING. UNDER THESE CONDITIONS, THE MINIMUM SETBACK MAY BE REDUCED TO FIFTEEN (15) FEET.
MINIMUM PROPERTY LINE SETBACK: NO BUILDING SETBACK IS REQUIRED FROM A PROPERTY LINE, OTHER THAN A RIGHT-OF-WAY LINE, EXCEPT WHERE A LOT ABUTS A RESIDENTIAL DISTRICT OR ABUTS AN ALLEY RIGHT-OF-WAY WHICH SEPARATES THE LOT FROM A RESIDENTIAL DISTRICT. UNDER THESE CONDITIONS, THE MINIMUM BUILDING SETBACK REQUIREMENT SHALL BE TWENTY-FIVE (25) FEET FROM THE APPLICABLE PROPERTY LINE(S). ALSO SEE ARTICLE V "SUPPLEMENTARY REGULATIONS", DIVISION 6 FOR SCREENING REQUIREMENTS.
WHERE A PROPERTY LINE SETBACK IS NOT REQUIRED, BUT A BUILDING IS SET BACK OFF THE PROPERTY LINE, THEN IT SHALL BE SET BACK AT LEAST FIVE (5) FEET.
MODIFICATION OF PROPERTY LINE SETBACK: THE MINIMUM PROPERTY LINE SETBACK REQUIREMENTS MAY BE MODIFIED VIA THE CONDITIONAL USE PERMIT PROCEDURE UNDER ARTICLE XI, "CONDITIONAL USES". SUCH MODIFICATIONS MAY BE MORE OR LESS STRINGENT, DEPENDING ON THE POTENTIAL IMPACT OF THE PROPOSED DEVELOPMENT IN THE "GC" DISTRICT WHICH IS ADJACENT TO A RESIDENTIAL DISTRICT. IN THE CASE OF A REQUEST FOR A LESS STRINGENT SETBACK, THE CONDITIONAL USE PERMIT APPLICANT MUST DEMONSTRATE SCREENING BETWEEN THE PROPOSED DEVELOPMENT AND THE ADJACENT RESIDENTIAL DISTRICT, ABOVE AND BEYOND THE MINIMUM SCREENING REQUIREMENTS CONTAINED IN ARTICLE V "SUPPLEMENTAL REGULATIONS", DIVISION 6.
24. PARKING SETBACKS (SEC. 400.1190)
IN SITUATIONS WHERE A NON-RESIDENTIAL USE IS ESTABLISHED ABUTTING OR ADJACENT TO RESIDENTIALLY ZONED PROPERTY, THE DEVELOPER OF THE NON-RESIDENTIAL USE SHALL PROVIDE THE FOLLOWING SCREENING WITHIN THE REQUIRED REAR AND/OR SIDE YARD BUILDING SETBACK AREAS:
1. WITHIN THE SETBACK BUFFER AREA NOT LESS THAN TEN (10) FEET IN WIDTH PLANTED WITH ONE (1) EVERGREEN TREE FOR EVERY TWENTY (20) LINEAL FEET OF COMMON PROPERTY LINE. IN ADDITION, COMBINATIONS OF CANOPY TREES, ORNAMENTAL TREES AND SHRUBS SHALL BE PROVIDED AS APPROVED BY THE ZONING ADMINISTRATOR, PROVIDED THAT SUCH LANDSCAPING WILL EFFECTIVELY SCREEN THE NON-RESIDENTIAL USES FROM THE VIEW OF THE ADJUTING RESIDENTIALLY ZONED PROPERTIES.
2. IN ADDITION, THERE SHALL BE PLACED AT THE PROPERTY LINE A NEAT, CLEAN AND MAINTAINED SIGN-PROOF FENCE OR WALL HAVING A MINIMUM HEIGHT OF SIX (6) FEET BUT NOT MORE THAN EIGHT (8) FEET. WHERE A LOADING AREA OR ACCESS DRIVE THERETO IS WITHIN THIRTY-FIVE (35) FEET OF RESIDENTIALLY ZONED PROPERTY, THE FENCE SHALL BE EIGHT (8) FEET IN HEIGHT.
25. PARKING CALCULATIONS (SEC. 400.2140)
REQUIRED PARKING: (BANKS AND OTHER FINANCIAL INSTITUTIONS)
1 SPACE FOR EACH 200 SQ. FT. OF FLOOR AREA
200/2,797 = 14 SPACES REQUIRED
= 14 SPACES PROVIDED (INCLUDING 1 ADA)

LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- RIGHT-OF-WAY
- EASEMENT
- CENTERLINE
- EXISTING TREE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- SWALE
- TO BE REMOVED
- TO BE REMOVED & RELOCATED
- TO BE USED IN PLACE
- ADJUST TO GRADE
- BACK OF CURB
- FACE OF CURB
- WATER MAIN
- GAS MAIN
- UNDERGROUND TELEPHONE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- SILTATION CONTROL
- FIRE HYDRANT
- POWER POLE
- WATER VALVE
- LIGHT STANDARD

ABBREVIATIONS

- N NORTH
- S SOUTH
- E EAST
- W WEST
- CONC CONCRETE
- ASPH ASPHALT
- PB PLAT BOOK
- DB DEED BOOK
- PG PAGE
- SF SQUARE FEET
- AC ACRES
- ELEV ELEVATION
- FF FINISH FLOOR
- FL FLOWLINE
- PVC POLYVINYL CHLORIDE PIPE
- RCP REINFORCED CONCRETE PIPE
- STM STORM
- SAN SANITARY
- S(S) REMOVE
- (R) REMOVE
- ((T.B.R.)) TO BE REMOVED
- ((T.B.R.&R.)) TO BE REMOVED AND REPLACED

MARLER SURVEYING COMPANY, INC.
11402 Gravois Road, Suite 200 St. Louis, MO 63126
Phone: (314) 729-1001 Fax: (314) 729-1044

Marty L. Marler
MO PLS 2501
R. PL. 038-003891

JOB NO. 2405-061

LAND DESCRIPTION

A TRACT OF LAND BEING PART OF LOT 30 IN BLOCK 1 OF DARTSDALE SUBDIVISION NO. 3 AS RECORDED IN PLAT BOOK 22 PAGE 40 OF THE ST. LOUIS COUNTY LAND RECORDS OFFICE IN CLAYTON, MISSOURI AND BEING FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND SPINDLE MARKING THE SOUTHWEST CORNER OF SAID LOT 30, BEING ON THE EAST RIGHT-OF-WAY LINE OF NORTH MCKENIGHT ROAD (WIDTH VARIES) AND THE NORTH RIGHT-OF-WAY LINE OF CRIDDALE AVENUE (PLATTED AS WILSON AVENUE 50' WIDE), THENCE WITH THE EAST RIGHT-OF-WAY LINE OF NORTH MCKENIGHT ROAD, NORTH 60 DEGREES 17 MINUTES 08 SECONDS EAST A DISTANCE OF 132.85 FEET TO A FOUND MAG SPIKE, BEING ON THE SOUTH RIGHT-OF-WAY LINE OF MISSOURI ROUTE NO. 40 ALSO KNOWN AS OLIVE BOULEVARD.

THENCE DEPARTING THE EAST RIGHT-OF-WAY LINE OF NORTH MCKENIGHT ROAD AND CONTINUING ALONG OLIVE BOULEVARD, NORTH 47 DEGREES 09 MINUTES 57 SECONDS EAST A DISTANCE OF 33.14 FEET TO A CURT CROSS IN A CONCRETE WALK.

THENCE SOUTH 88 DEGREES 40 MINUTES 02 SECONDS EAST A DISTANCE OF 106.56 FEET TO A SET REBAR WITH CAP STAMPED "MARLER 347-D" BEING ON THE EAST LINE OF LOT 30, FROM WHICH A FOUND SPINDLE BEARS SOUTH 32 DEGREES 49 MINUTES 08 SECONDS WEST A DISTANCE OF 1.03 FEET.

THENCE DEPARTING SAID RIGHT-OF-WAY LINE AND CONTINUING ALONG THE EAST LINE OF LOT 30, SOUTH 01 DEGREES 19 MINUTES 08 SECONDS WEST A DISTANCE OF 104.06 FEET TO A POINT BEING THE SOUTHWEST CORNER OF LOT 29 AND BEING THE MOST NORTHERN POINT OF A TRACT OF LAND CONVEYED TO THE CITY OF UNIVERSITY CITY, MISSOURI IN DEED BOOK 549 PAGE 34, FROM WHICH A FOUND 5/8" IRON ROD BEARS NORTH 47 DEGREES 28 MINUTES 11 SECONDS EAST A DISTANCE OF 0.12 FEET.

THENCE ALONG THE WEST LINE OF SAID TRACT OF LAND, SOUTH 47 DEGREES 28 MINUTES 11 SECONDS WEST A DISTANCE OF 493 FEET TO A FOUND CROSS.

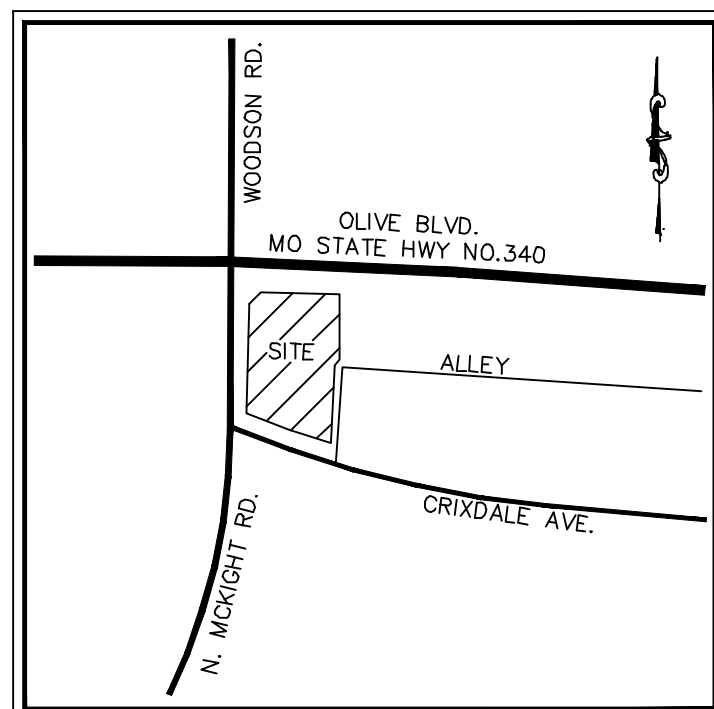
THENCE SOUTH 01 DEGREES 19 MINUTES 08 SECONDS WEST A DISTANCE OF 88.25 FEET TO A FOUND 1/2" IRON PIPE BEING THE MOST SOUTHWEST CORNER OF SAID TRACT AND BEING ON THE NORTH RIGHT-OF-WAY LINE OF CRIDDALE AVENUE (50' WIDE).

THENCE DEPARTING SAID TRACT AND CONTINUING ALONG THE NORTH RIGHT-OF-WAY LINE OF CRIDDALE AVENUE WITH A NON-RADIAL CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 123.06 FEET, A RADIUS OF 1432.69 FEET, A CHORD BEARING OF NORTH 70 DEGREES 34 MINUTES 47 SECONDS WEST, AND A CHORD LENGTH OF 123.02 FEET TO THE POINT OF BEGINNING AND CONTAINING AN AREA OF 104.8 SQUARE FEET OR 0.483 ACRES MORE OR LESS AS SURVEYED BY MARLER SURVEYING COMPANY, INC. IN THE MONTH OF JUNE 2024.

END OF DESCRIPTION.

SUBJECT TO EASEMENTS, RESTRICTIONS, CONDITIONS AND REGULATIONS OF RECORD, IF ANY.

Page 1 of 1



LOCATION MAP

(NOT TO SCALE)

PROPERTY DATA

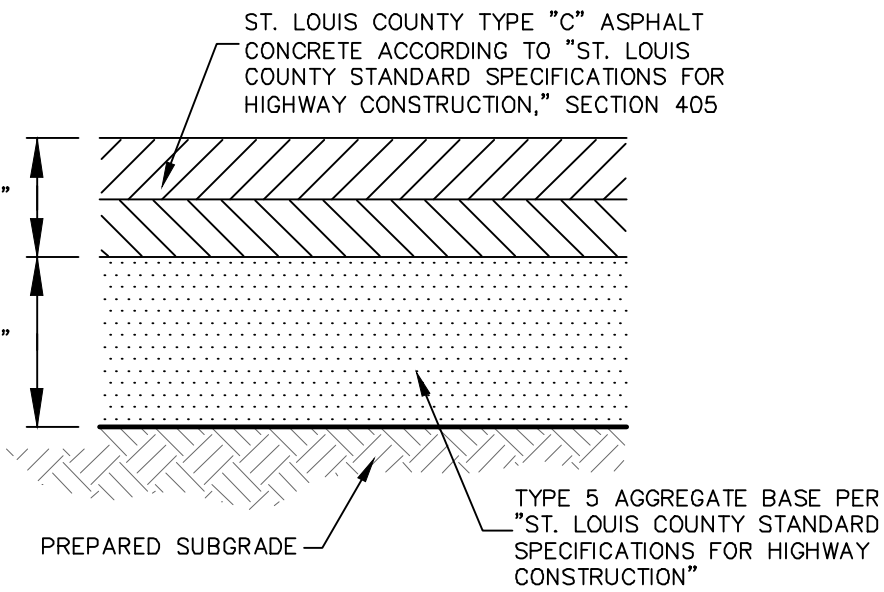
OWNER	= BK OLIVE LLC
SITE ADDRESSES	= 8550 OLIVE BLVD. UNIVERSITY CITY, MO 63132
LOCATOR NO.	= 174430137
SITE AREA (TOTAL)	= 0.48+ ACRES (21,046 s.f.+)
EXISTING ZONING	= "GC" GENERAL COMMERCIAL
WATER SHED	= DEER CREEK
FIRM PANEL	= 29189CO211K
FIRE DISTRICT	= UNIVERSITY CITY FIRE DEPARTMENT
SCHOOL DISTRICT	= UNIVERSITY CITY

BENCHMARK

MSD. BENCHMARK NO.14509
NAVDB8(SLC2011A) ELEV = 558.98 FTUS (OR) 170.376 METER NGVD29 ELEV = 559.34 FTUS STANDARD DNR ALUMINUM DISK STAMPED SL-08A SITUATED IN THE ASPHALT SIDEWALK NORTH OF OLIVE BOULEVARD IN FRONT OF #3375 OLIVE BOULEVARD, ROUGHLY 35.6' SOUTH OF A BRICK BUILDING, 49' EAST OF THE CENTERLINE OF GOOLIDGE DRIVE, AND 12' SOUTHEAST OF AN ORNAMENTAL TREE.

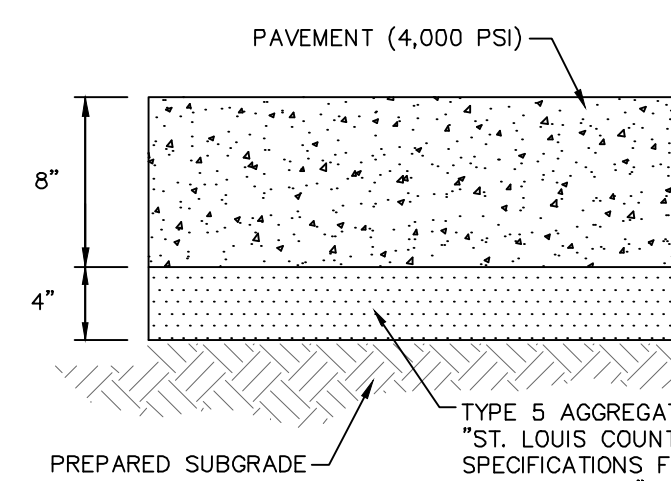
SITE BENCHMARK

SPIKE IN UTILITY POLE LOCATED ON THE MOST SOUTHWEST CORNER OF SUBJECT PROPERTY.
ELV. 563.26 FTUS NAVD88



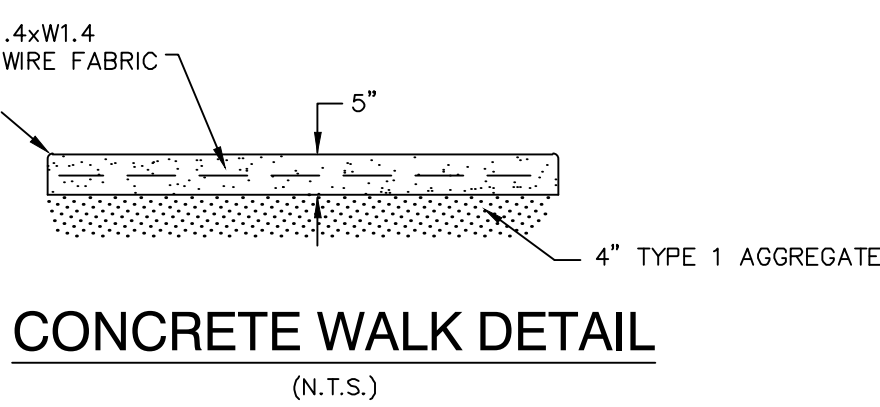
ASPHALT PAVEMENT DETAIL

(NOT FOR USE IN ST. LOUIS COUNTY RIGHT-OF-WAY)



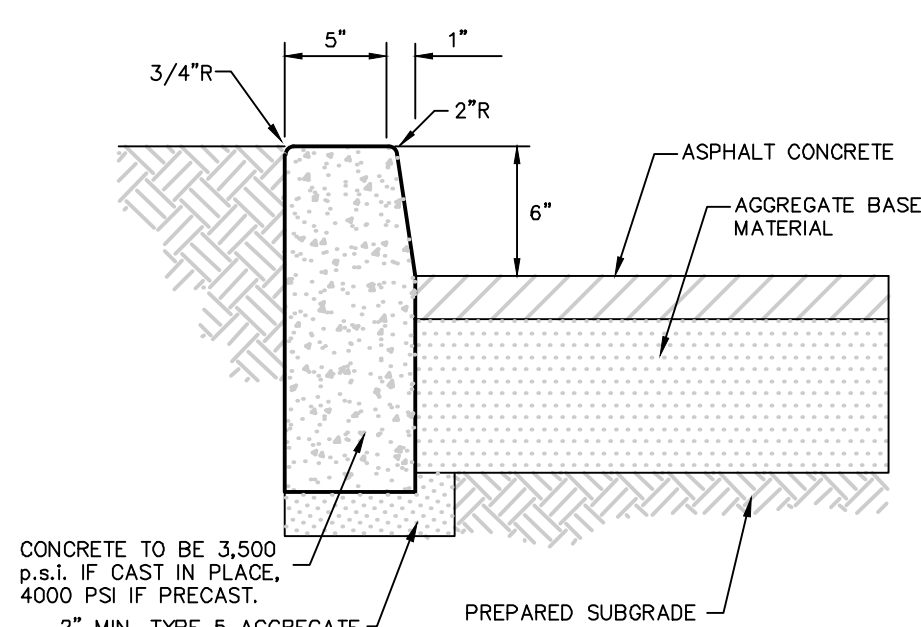
CONCRETE PAVEMENT DETAIL

(NOT FOR USE IN ST. LOUIS COUNTY RIGHT-OF-WAY) (AT ATM LOCATION AND DRIVE ENTRANCES)



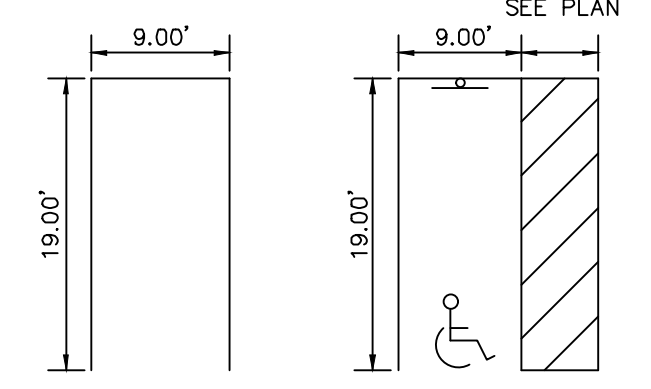
CONCRETE WALK DETAIL

(N.T.S.)



CONCRETE VERTICAL CURB DETAIL

(NOT FOR USE IN RIGHT-OF-WAY)



NOTES:
1. ADA STALLS AND ACCESS AISLES SHALL BE 2% MAX. SLOPE IN ANY DIRECTION

TYPICAL PARKING STALLS

(n.t.s.)

(NOT FOR USE IN ST. LOUIS COUNTY RIGHT-OF-WAY)

STORMWATER RUNOFF CALCULATIONS

(15 YEAR/20 MINUTE STORM)

EXISTING SITE (PER STLCO MAPS-AERIAL 2018 AND GOOGLE MAPS-AERIAL 5/2022)			
GRASS	0.08 AC. X 1.70 C.F.S./AC.	=	0.14 C.F.S.
PAVEMENT	0.32 AC. X 3.54 C.F.S./AC.	=	1.13 C.F.S.
BLDG	0.08 AC. X 4.20 C.F.S./AC.	=	0.34 C.F.S.
TOTAL	0.48 AC.	=	1.61 C.F.S.

PROPOSED SITE			
GRASS	0.15 AC. X 1.70 C.F.S./AC.	=	0.26 C.F.S.
PAVEMENT	0.27 AC. X 3.54 C.F.S./AC.	=	0.96 C.F.S.
BLDG	0.06 AC. X 4.20 C.F.S./AC.	=	0.25 C.F.S.
TOTAL	0.48 AC.	=	1.47 C.F.S.

DIFFERENTIAL RUN-OFF = 1.47 - 1.61 = 0.14 C.F.S. DECREASE

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AMEREN MISSOURI ELECTRIC, EVERSTREAM SOLUTIONS, AT&T DISTRIBUTION, CHARTER COMMUNICATIONS, MODOT ST. LOUIS DISTRICT, EXTENET SYSTEMS LLC, MISSOURI AMERICAN WATER CO., SPIRE MO EAST, ST. LOUIS METROPOLITAN SEWER DIST., ST. LOUIS COUNTY TRANSPORTATION, CITY OF UNIVERSITY CITY

LAND DESCRIPTION

LOT THIRTY (30) IN BLOCK ONE (1) OF DARTSDALE SUBDIVISION NO. 3, A SUBDIVISION IN THE COUNTY OF ST. LOUIS, STATE OF MISSOURI, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 22 PAGE 40 OF THE ST. LOUIS COUNTY RECORDS, EXCEPTING THEREFROM THAT PART CONVEYED TO THE CITY OF UNIVERSITY CITY BY DEED RECORDED IN BOOK 2942 PAGE 525, AND FURTHER LESS EXCEPTING THEREFROM THAT PART DEDICATED TO THE CITY OF UNIVERSITY CITY FOR ALLEY PURPOSES, ACCORDING TO INSTRUMENT RECORDED IN BOOK 5430 PAGE 33, AND FURTHER LESS EXCEPTING THEREFROM THAT PART TAKEN FOR THE WIDENING OF OLIVE BOULEVARD BY THE STATE OF MISSOURI IN CAUSE NO. 240954 OF THE CIRCUIT COURT OF ST. LOUIS COUNTY, MISSOURI.

FLOOD NOTES

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY DOES NOT LIE WITHIN ANY SPECIAL FLOOD ZONE AREAS ACCORDING TO THE FLOOD INSURANCE RATE MAP PANEL NUMBER 29189CO211K AND COMMUNITY NUMBER 290390 (UNIVERSITY CITY) WHICH BEARS AN EFFECTIVE DATE OF 2/4/2016. THE PROPERTY LIES WITHIN UNSHADED ZONE X (AREAS DETERMINED TO BE OUTSIDE 500 YEAR FLOOD PLAINS), THE STREET ADJOINING TO THE SOUTH LIES WITHIN 0.22% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE. SEE SURVEY MAP APPROXIMATE LOCATION OF AREA AS SHOWN ON PREVIOUSLY STATE MAP PANEL NUMBER.

St. Louis County Notes

1. All sidewalks to be constructed to current St. Louis County ADA Standards.
2. All proposed improvements shall be constructed to St. Louis County Standards.
3. All grading and drainage to be in conformance with St. Louis County and MSD Standards.
4. Storm water shall be discharged at an adequate natural discharge point. Sinkholes are not adequate discharge points.
5. Provide a sidewalk conforming to St. Louis County ADA standards adjacent to a driveway. (Sidewalk to be shown along the entire frontage of the property adjacent to a County roadway. Any variation to be determined during construction plan review.)
6. Any entity that performs work on St. Louis County maintained property shall provide the County with a Certificate of Insurance evidencing general liability coverage (bodily injury and property damage) in the amounts specified as the limits of liability set by the State for public entities. Such certificate shall include St. Louis County as an additional insured and shall be provided prior to the issuance of any permit. Certificate shall provide for a 30 day policy cancellation notice to St. Louis County. Upon request, the County will provide the specific amounts for both per person and per occurrence limits.
7. All above-ground utilities or other potential obstructions within the St. Louis County Road right-of-way, shall have a minimum setback, as directed by the St. Louis County Department of Transportation, as prescribed in Section 5.10 of the St. Louis County Design Criteria Manual "Roadside Design Requirements".
8. No slopes shall exceed 3 (horizontal) to 1 (vertical) within St. Louis County Right-of-Way unless justified by a geotechnical report, which has been approved by St. Louis County, and designed in full compliance with roadside safety standards.+
9. A land disturbance permit will be required.
10. The permit process requires an improvement plan submitted to the Department of Transportation.
11. Continuous pedestrian access shall be provided during the construction process. Prior to the start of construction, adequate pedestrian access around the site shall be provided and verified. No existing sidewalk shall be removed without providing adequate pedestrian facilities and routes during construction activities.
12. A signed/sealed note shall be added to the Construction Plans indicating that the unimproved existing sidewalk/pedestrian path along the project frontage meets current St. Louis County ADA standards.

PREPARED FOR:

RPA CONSTRUCTION SERVICES
10677 TRENTON AVE.
ST. LOUIS, MISSOURI 63132
(314) 254-0338

PREPARED BY:

CEDC
10820 Sunset Office Drive
Suite 200
St. Louis, Missouri 63127
314.729.1400
Fax: 314.729.1404
www.cedc.net

10820 Sunset Office Drive
Suite 200
St. Louis, Missouri 63127
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Fax: 314.729.1404
www.cedc.net

CEDC
CIVIL ENGINEERING
DESIGN CONSULTANTS

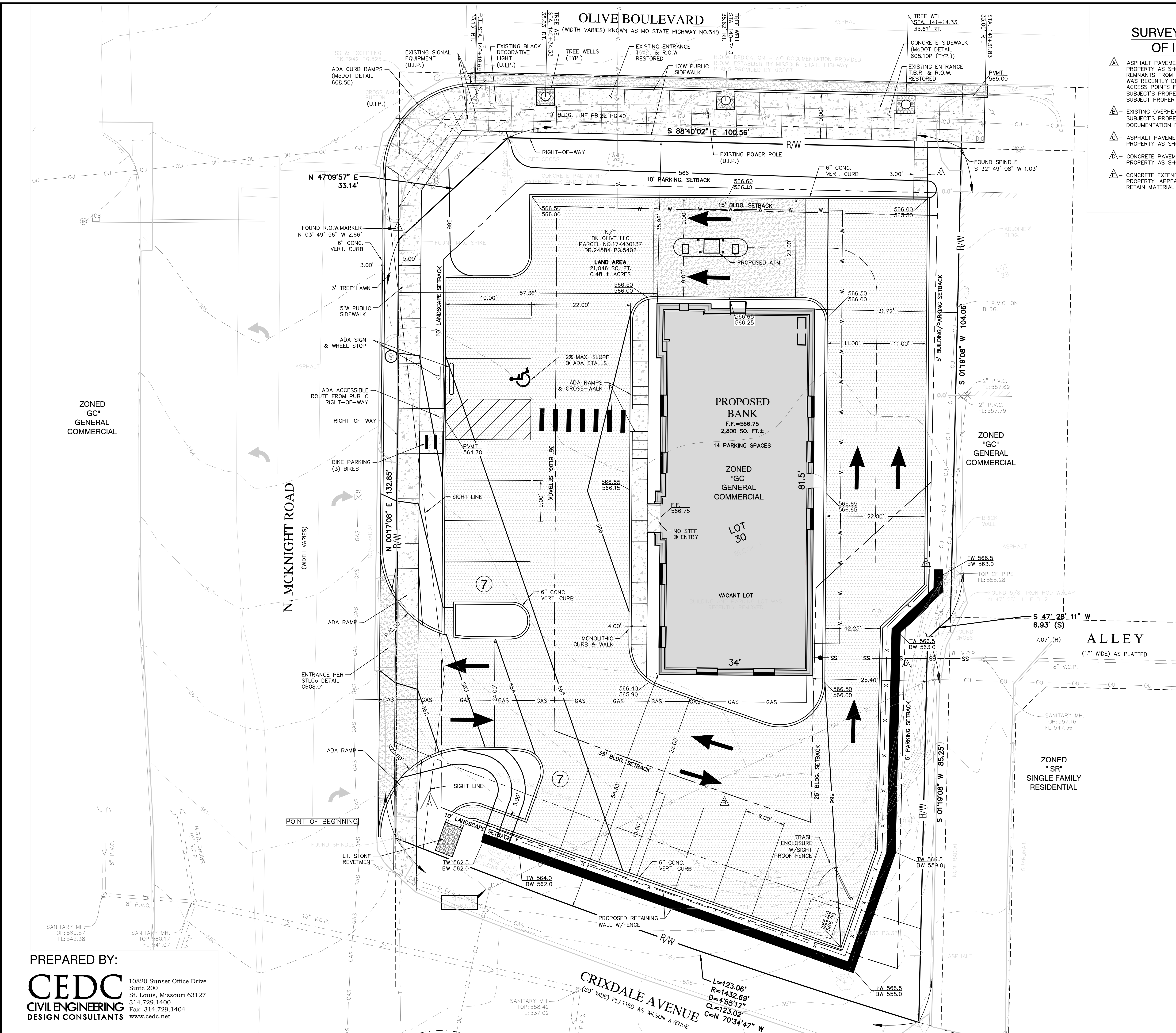
Site Development Plan for
ROYAL BANK
8550 OLIVE BLVD.
UNIVERSITY CITY, MO 63132

No.	Description	Date
1	STLCo Review	07/24/24
2	City Submittal	07/29/24

TITLE SHEET

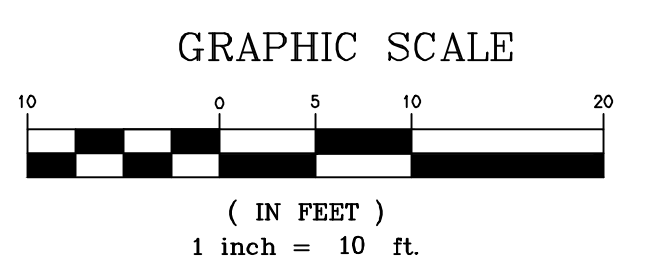
DRAWING NO.

SDP1



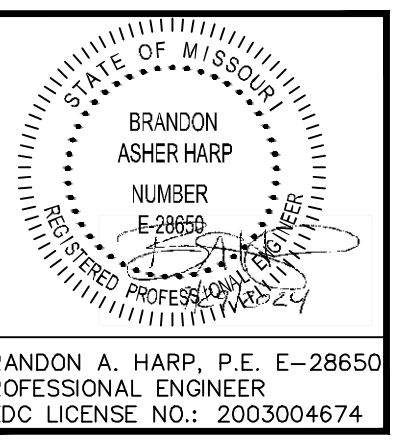
SURVEYORS NOTES OF INTEREST

- ▲ ASPHALT PAVEMENT EXTENDS ONTO SUBJECT'S PROPERTY AS SHOWN. THIS APPEARS TO BE REMNANTS FROM PREVIOUS DEVELOPMENT WHICH WAS RECENTLY DEMOLISHED. THIS GAVE MULTIPLE ACCESS POINTS FROM PUBLIC ROADWAYS ONTO SUBJECT'S PROPERTY FOR THE BENEFIT OF THE SUBJECT PROPERTY.
- ▲ EXISTING OVERHEAD UTILITIES EXTEND ACROSS SUBJECT'S PROPERTY AS SHOWN. NO EASEMENT OR DOCUMENTATION PROVIDED.
- ▲ ASPHALT PAVEMENT EXTENDS ONTO SUBJECT'S PROPERTY AS SHOWN.
- ▲ CONCRETE PAVEMENT EXTENDS ONTO SUBJECT'S PROPERTY AS SHOWN.
- ▲ CONCRETE EXTENDS FROM ALLEY TO SUBJECT'S PROPERTY. APPEARS TO BE JOINT EFFORT TO RETAIN MATERIAL ON SUBJECT PROPERTY.



LEGEND

	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	CONCRETE SIDEWALK



BRANDON A. HARP, P.E. E-28650
 PROFESSIONAL ENGINEER
 CEDC LICENSE NO.: 2003004674

CEDC
 CIVIL ENGINEERING
 DESIGN CONSULTANTS

Site Development Plan for
ROYAL BANK
 8550 OLIVE BLVD.
 UNIVERSITY CITY, MO 63132

Proj. #	2512
No. Description	Date
STLCo Review	07/24/24
City Submittal	07/29/24

SITE DEVELOPMENT PLAN

DRAWING NO.
SDP2

PREPARED BY:
CEDC
 CIVIL ENGINEERING
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 Suite 200
 St. Louis, Missouri 63127
 314.729.1400
 Fax: 314.729.1404
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LANDSCAPE PLANS FOR
Royal Bank
 Olive Blvd. & N. McKnight Rd., University, MO



LOCATION MAP

Prepared for:
RPA Construction Services
 10677 Trenton Ave.
 St. Louis, MO 63132-1208

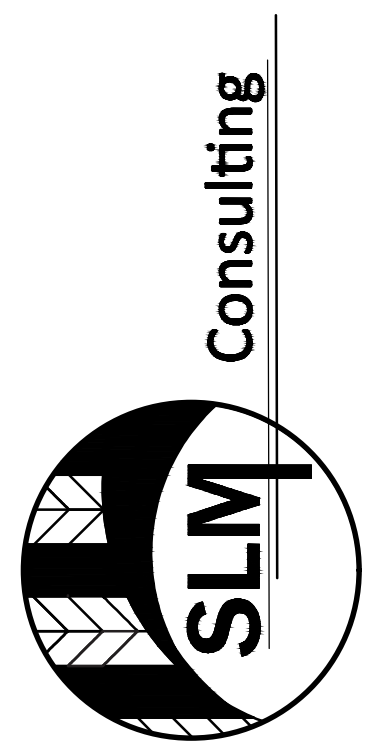
GENERAL NOTES

- Contractor shall: A.) Verify all existing and proposed features shown on drawings prior to the commencement of work. B.) Report all discrepancies found with regard to existing conditions or proposed design to the owners immediately for a decision. C.) All utilities shall be located prior to any landscape installation.
- Contractor shall be responsible for obtaining any permitting related to landscape installation.
- No substitutions of plant material or landscape materials shall be allowed without approval of landscape architect.
- Plant materials shall conform to the American Standard for Nursery Stock of the American Association of Nurserymen (ANSI Z60.1)
- All trees shall be staked. Corrective tree & shrub pruning shall conform to ANSI A300 standards.
- All plant material shall receive adequate watering until plant establishment has occurred. Minimum time period for establishment is one year.
- All landscape beds and trees shall receive 3" brown dyed mulch unless otherwise noted. Under no circumstances shall mulch exceed 1" depth around a 4" radius at base of trees. See Tree Planting Detail Sheet L-10
- All lawn areas shall be sodded with a fescue mix. Sod shall be watered and maintained until establishment.
- Amend all planting beds with organic compost containing plant material only. No animal waste should be in mix. Compost should have earthy smell, not moldy or decaying. Incorporate 2" into existing soil to a depth of 6".
- Spade cut edge all landscape beds to a depth of 4".
- Remove all construction debris and excavate construction soil from tree well to a 24" depth. Install 6" depth of Meramec gravel- 2" size in bottom of tree well. Install tree at proper depth, removing wire basket and burlap as specified in Detail 1 on Sheet L-4. Backfill rootball with Topsoil Plus directly over the Meramec gravel. Topsoil Plus is available from St Louis Composting www.stlcompost.com.
- Plant materials should be maintained outside of siteline.

SHEET INDEX

- L-1 TITLE PAGE
- L-2 SITE PLAN
- L-3 LANDSCAPE PLAN
- L-4 DETAILS

University City Landscape Requirements							
Location	Each	SF	SF Actual	LF	Trees	Trees Actual	Shrubs Actual
Olive				124	4	4	16
McKnight				130	4	4	16
Crixdale				129	4	4	16
Alley				75	4	4	
Parking spaces	14	280	527		0		



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 cell: 636-357-1800

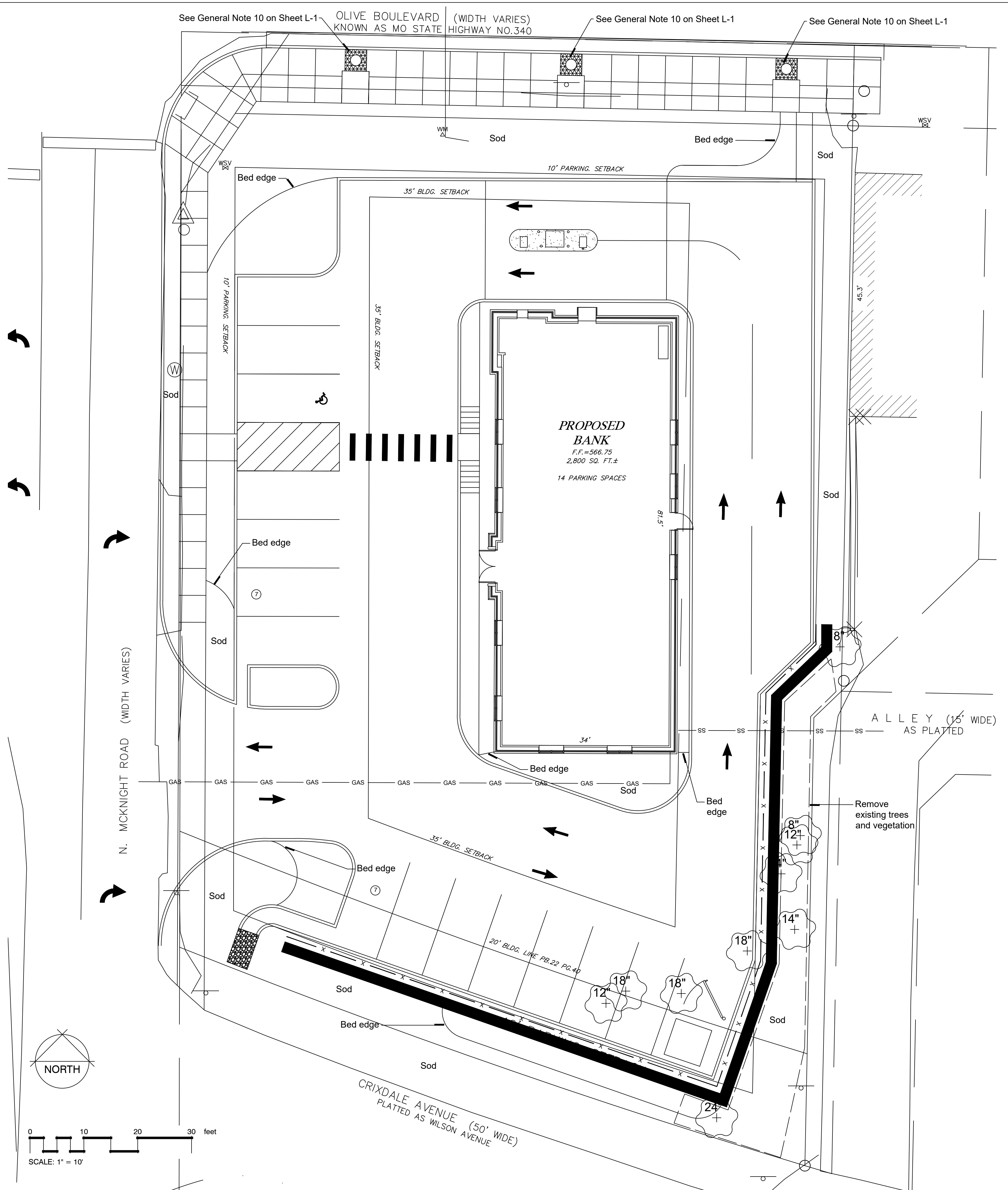
Royal Bank
 8550-8560 Olive Blvd. University City, MO

TITLE PAGE

No.	Revision/Issue	Date



Drawn S. Maag	L-1
Checked SLM	
Project No. 2024-C02	
Date 07/24/2024	
Scale	



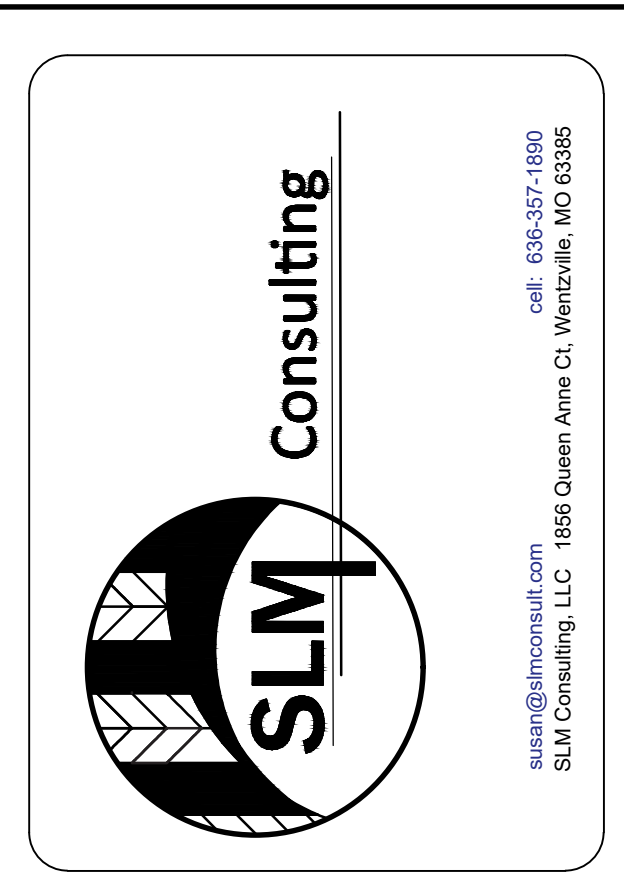
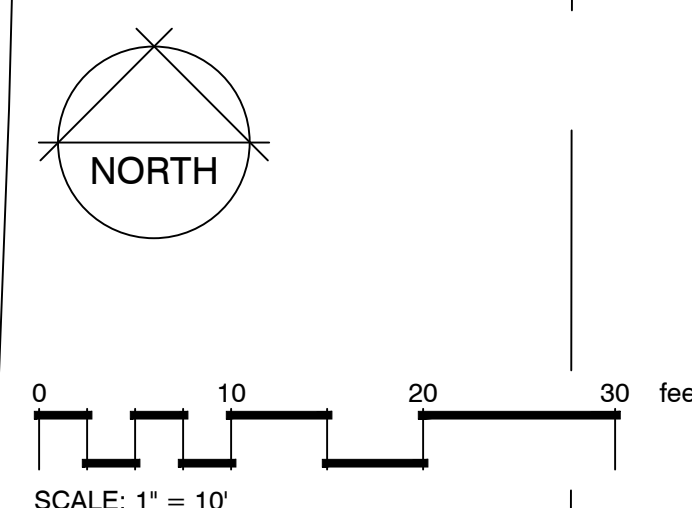
See General Note 10 on Sheet L-1 OLIVE BOULEVARD (WIDTH VARIES) KNOWN AS MO STATE HIGHWAY NO. 340 See General Note 10 on Sheet L-1 See General Note 10 on Sheet L-1

N. MCKNIGHT ROAD (WIDTH VARIES)

CRIXDALE AVENUE (50' WIDE) PLATTED AS WILSON AVENUE

PROPOSED BANK
F.F. = 566.75
2,800 SQ. FT. ±
14 PARKING SPACES

ALLEY (15' WIDE) AS PLATTED



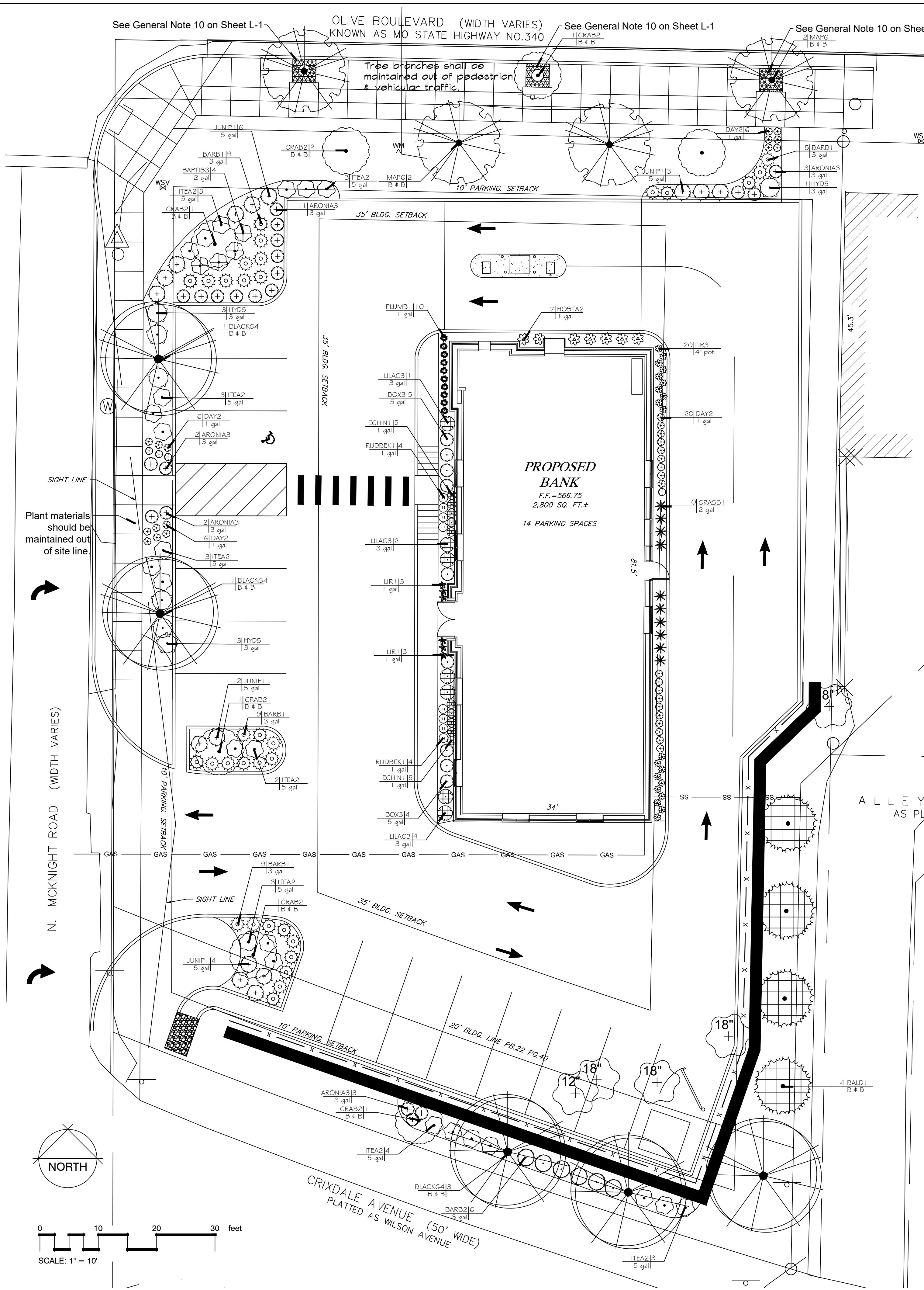
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8550-8560 Olive Blvd. University City, MO
SITE PLAN

No.	Revision/Issue	Date

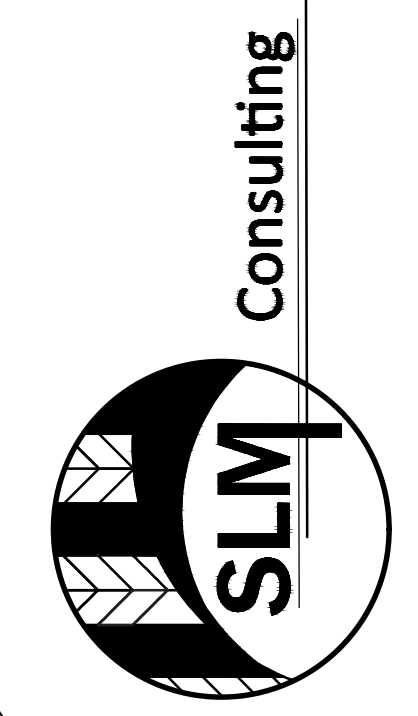


Drawn S. Maag	Sheet L-2
Checked SLM	
Project No. 2024-C02	
Date 07/24/2024	
Scale 1" = 10'	



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
CONIFER - NATIVE CULTIVAR						
	BALDI	Taxodium distichum 'Skynard' / Lindsey's Columnar Bald Cypress	B & B		6' HT	4
ORNAMENTAL						
	CRAB2	Malus x 'Raspberry Spear' / Raspberry Spear Crabapple	B & B	2" Cal		7
TREES - NATIVE CULTIVARS						
	MAP6	Acer rubrum 'Bowhall' / Bowhall Red Maple	B & B	2.5" Cal		4
	BLACK64	Nyssa sylvatica 'David Odom' / Afterburner Tupelo	B & B	2.5" Cal		5
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
SHRUBS						
	BARB1	Berberis x 'Mini Salsa' / Sunjoy Mini Salsa Barberry	3 gal			32
	BARB2	Berberis x 'Tangelo' / Sunjoy Tangelo Barberry	3 gal			6
	HYD5	Hydrangea paniculata Little Lime Punch / Panicle Hydrangea	3 gal			7
	LILAC3	Syringa x 'SMNSDTP' / Baby Kim Dwarf Lilac	3 gal			7
GRASS						
	GRASS1	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	2 gal			10
PERENNIAL - NATIVE CULTIVARS						
	BAPTIS3	Baptisia x 'Cherries Jubilee' / Decadence Cherries Jubilee Wild Indigo	2 gal			4
	ECHIN1	Echinacea purpurea 'Magnus' / Magnus Purple Coneflower	1 gal			10
	RUDBEK1	Rudbeckia fulgida 'Little Goldstar' / Little Goldstar Coneflower	1 gal			8
PERENNIAL						
	PLUMB1	Ceratostigma plumbaginoides / Dwarf Plumbago	1 gal			10
	DAY2	Hemerocallis x 'Little Business' / Little Business Daylily	1 gal			38
	HOSTA2	Hosta x 'Frances' / Frances Hosta	1 gal			7
	LIR1	Liriope muscari 'Big Blue' / Big Blue Lilyturf	1 gal			6
	LIR3	Liriope spicata / Creeping Lilyturf	4" pot			20
SHRUBS - NATIVE CULTIVARS						
	ARONIA3	Aronia melanocarpa 'CONNAMI65' TM / Low Scape Mound Black Chokeberry	3 gal			21
	ITEA2	Itea virginica 'SMNIVMM' / Fizzy Muzzy Sweetspire	5 gal			24
SHRUBS - EVERGREEN						
	BOX3	Buxus sinica insularis 'Franklin's Gem' / Franklin's Gem Korean Boxwood	5 gal			4
	JUNIP1	Juniperus communis 'SMNJCB' / Tortuga Common Juniper	5 gal			15

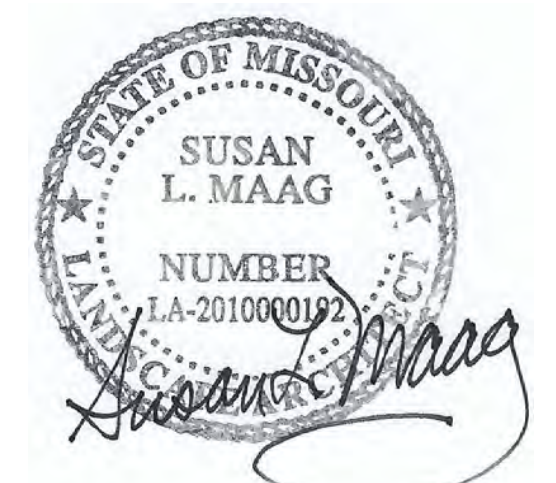


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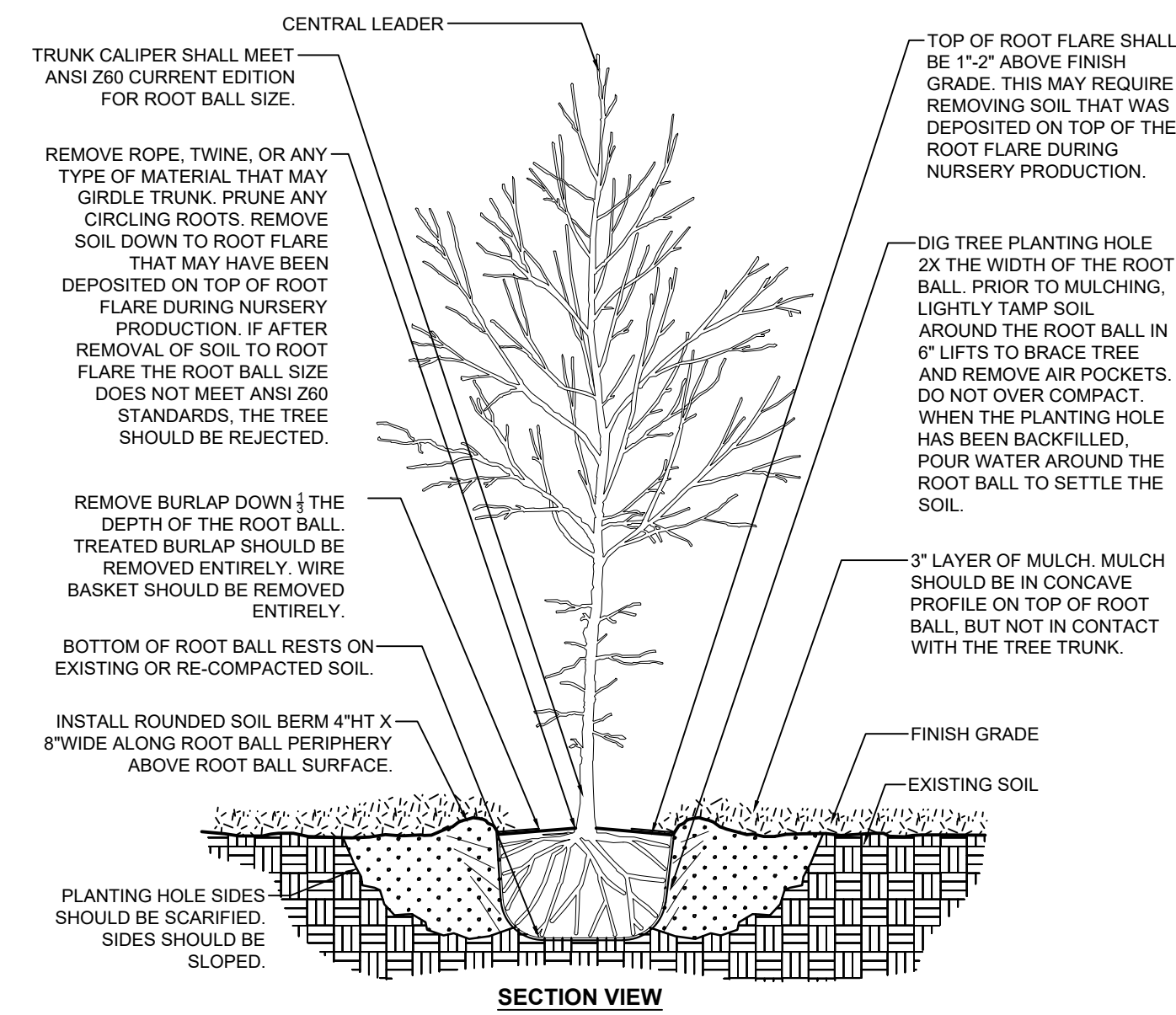
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LANDSCAPE PLAN

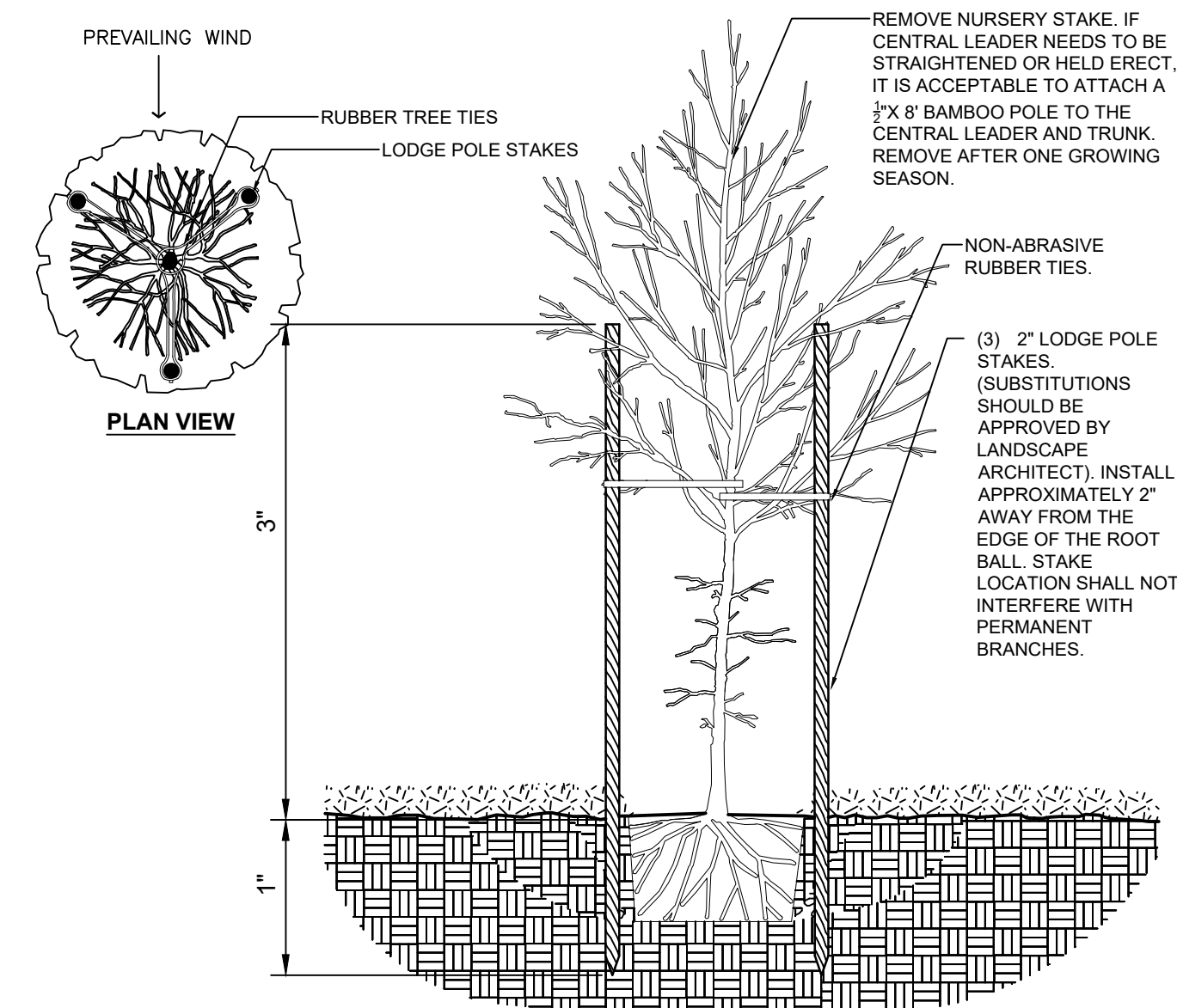
No.	Revision/Issue	Date



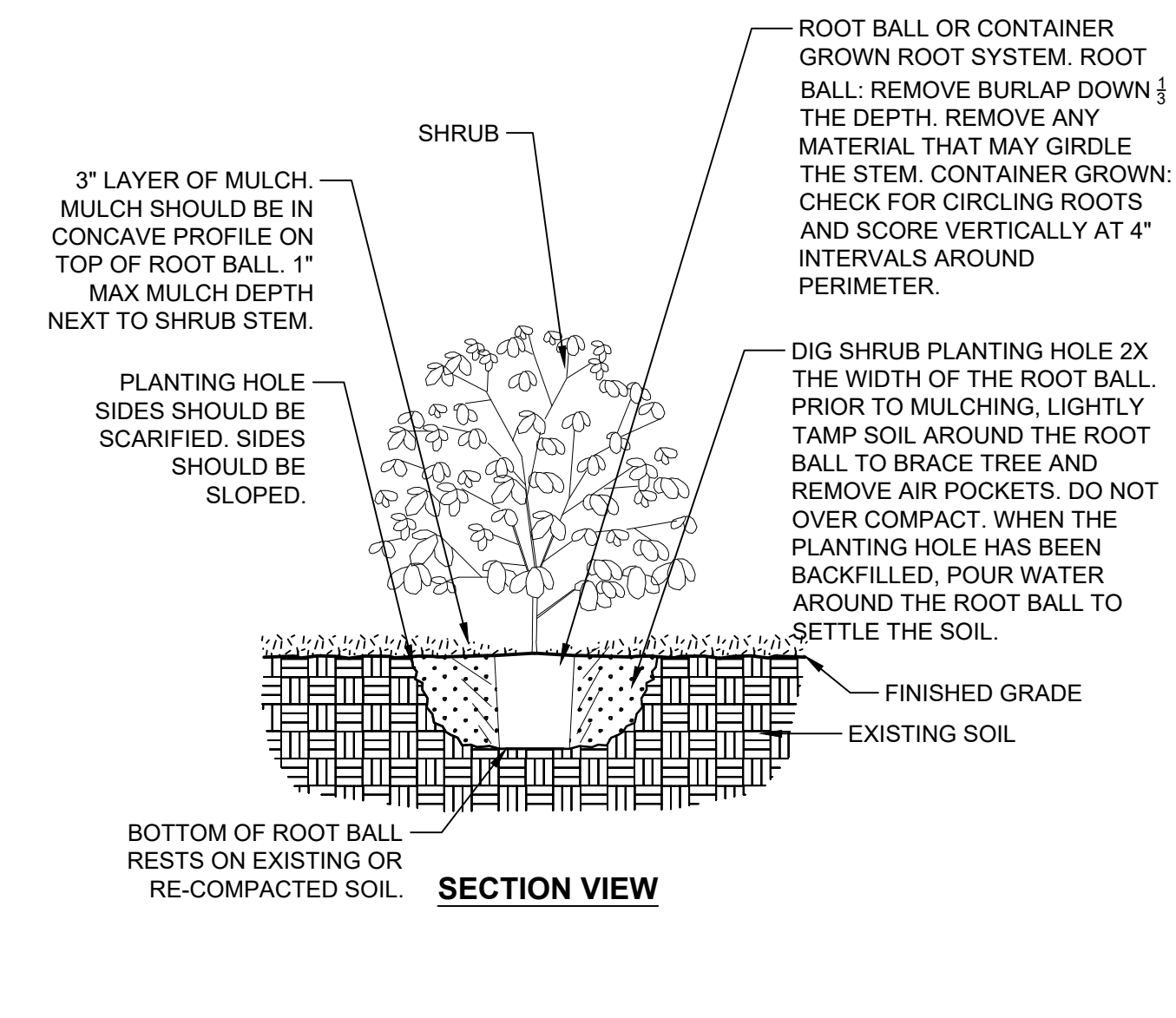
Drawn S. Maag	Sheet L-3
Checked SLM	
Project No. 2024-C02	
Date 07/24/2024	
Scale 1" = 10'	



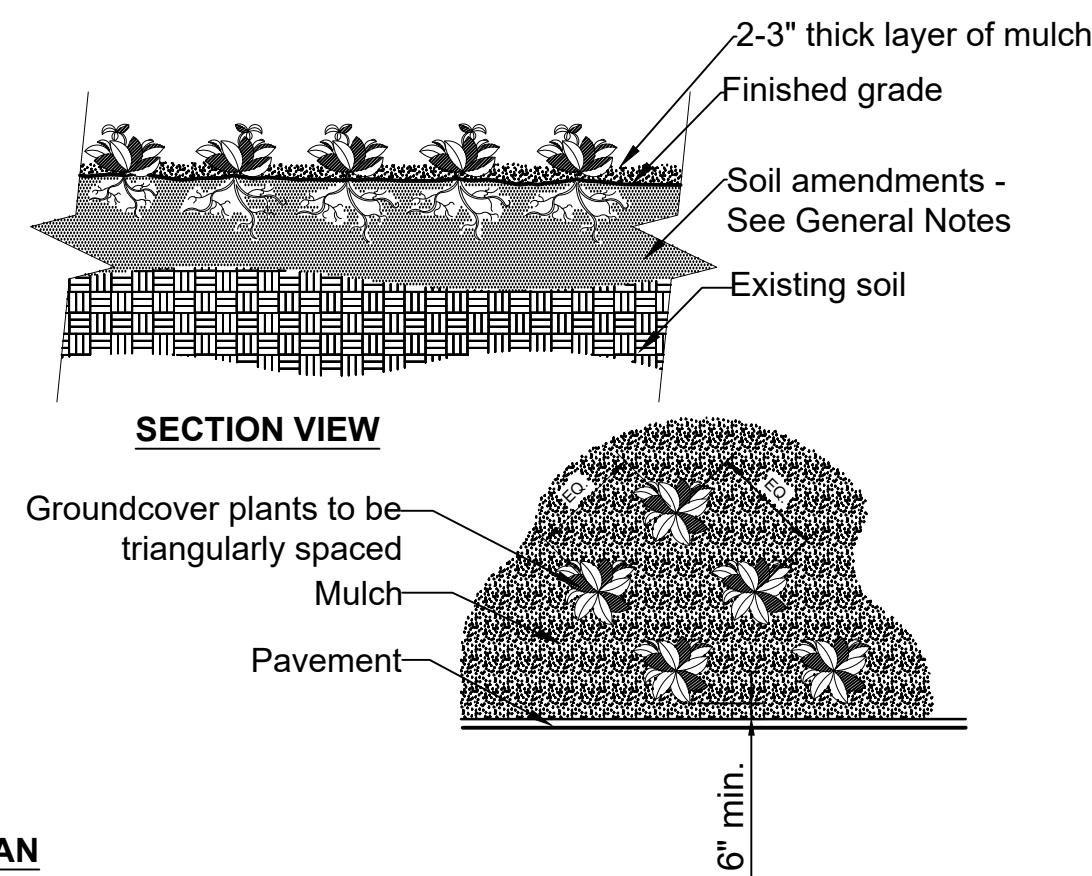
1 TREE PLANTING NTS



2 TREE STAKING NTS

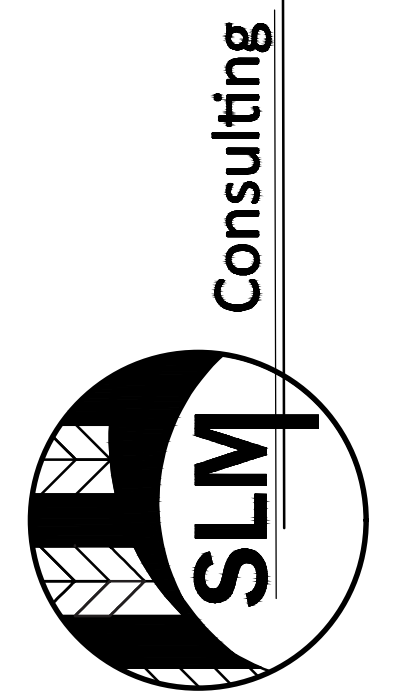


3 SHRUB PLANTING NTS



- PLAN**
1. See planting schedule for groundcover species, size, and spacing dimension.
 2. Small roots (1/4" or less) that grow around, up, or down the root ball periphery are considered a normal condition in container production and are acceptable however they should be eliminated at the time of planting. Roots on the periphery can be removed at the time of planting.
 3. Settle soil around root ball of each groundcover prior to mulching.

4 GROUNDCOVER PLANTING NTS

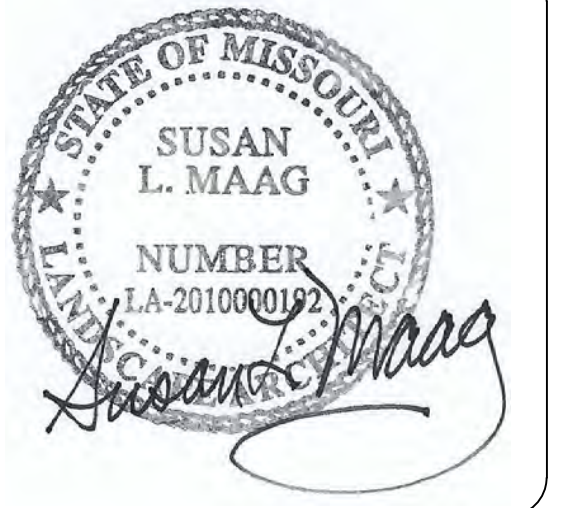


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 cell: 636-572-1800
 SLM Consulting, LLC 1856 Queen Anne Ct, Wentzville, MO 63385

Royal Bank
 8550-8560 Olive Blvd. University City, MO

DETAILS

No.	Revision/Issue	Date



Drawn S. Maag	L-4
Checked SLM	
Project No. 2024-C02	
Date 07/24/2024	
Scale	



NORTH OLIVE BOULEVARD ELEVATION



WEST MCKNIGHT ROAD ELEVATION

Royal Banks University City

8550 Olive Boulevard, University City, Missouri 63132

ELEVATIONS
SCALE: 1/4" = 1'-0"

27124182.00

08.01.2024





SOUTH CRIXDALE AVENUE ELEVATION



EAST ELEVATION

Royal Banks University City

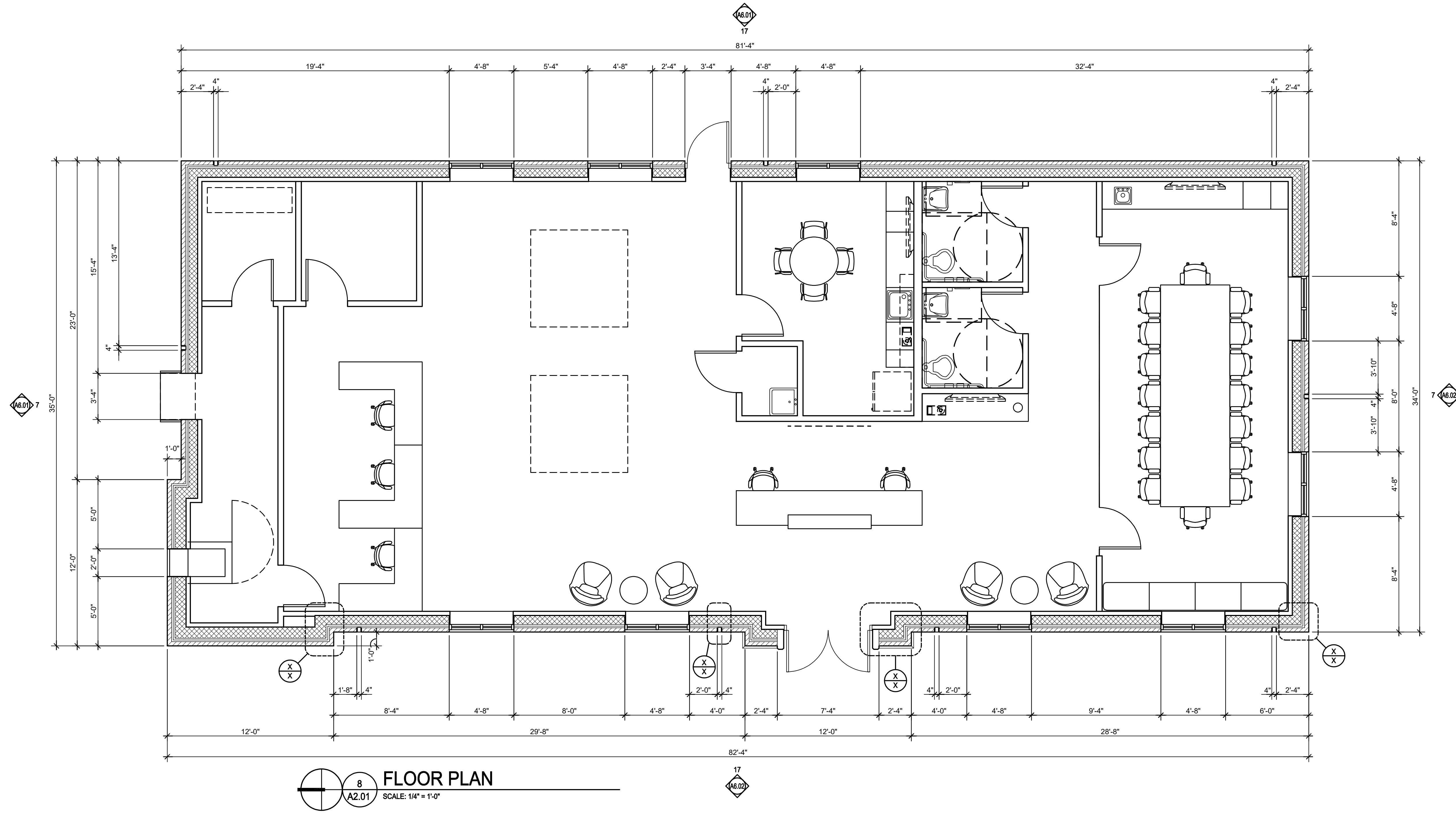
8550 Olive Boulevard, University City, Missouri 63132

ELEVATIONS
SCALE: 1/4" = 1'-0"

27124182.00

08.01.2024



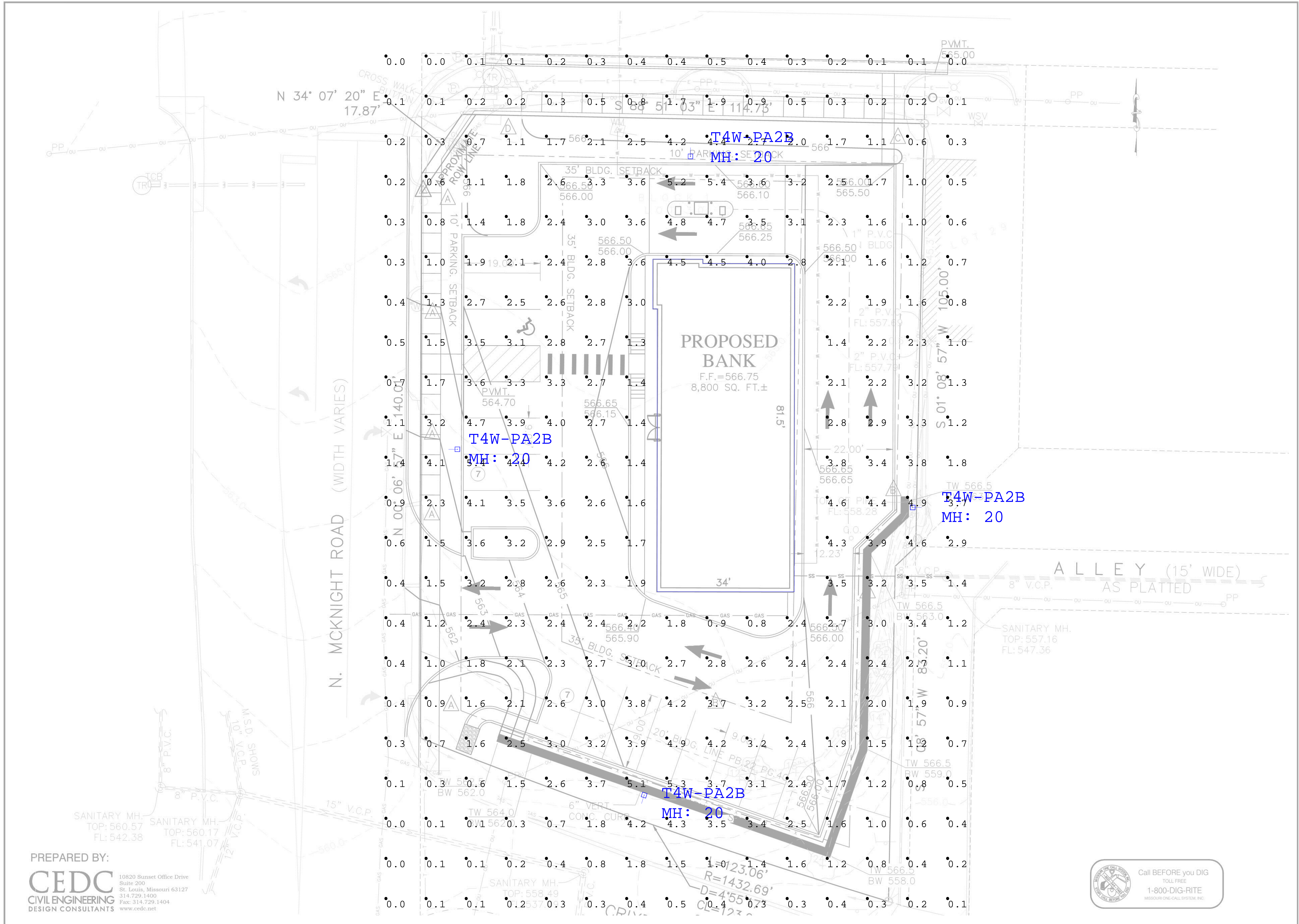


Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Total Watts
□	4	T4W-PA2B	Single	0.900	PRV-PA2B-740-U-T4W	151	604

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	illumiance	Fc	1.94	5.4	0.0	N.A.	N.A.

MOUNTING HEIGHT NEXT TO EACH FIXTURE
CALCS EVERY 10' ON GROUND

DESIGN IS BASED ON CURRENT INFORMATION PROVIDED AT THE TIME OF REQUEST.
ANY CHANGES IN MOUNTING HEIGHT OR LOCATION, LAMP WATTAGE, LAMP TYPE, AND
EXISTING FIELD CONDITIONS, THAT EFFECT ANY OF THE PREVIOUSLY MENTIONED, WILL
VOID CURRENT LAYOUT AND REQUIRE A CHANGE REQUEST AND RECALCULATION.



BRANDON A. HARP, P.E. E-28650
PROFESSIONAL ENGINEER
CEDC LICENSE NO.: 2003004674

10820 Sunset Office Drive
Suite 200
St. Louis, Missouri 63127
314.729.1400
Fax: 314.729.1404
www.cedc.net

CEDC
CIVIL ENGINEERING
DESIGN CONSULTANTS

Site Development Plan for
ROYAL BANK
8550 OLIVE BLVD.
UNIVERSITY CITY, MO 63132

No.	Description	Date

SITE
DEVELOPMENT
PLAN

DRAWING NO.
C1

PREPARED BY:
CEDC
CIVIL ENGINEERING
DESIGN CONSULTANTS

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Suite 200
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Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark

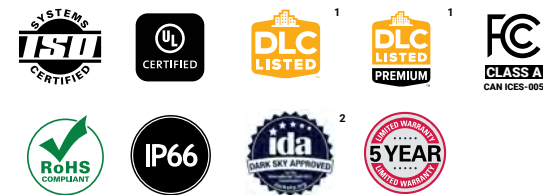
Prevail Discrete LED

Area / Site Luminaire

Product Features



Product Certifications



Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3, 4](#)
- Optical Configurations [page 5](#)
- Product Specifications [page 5](#)
- Energy and Performance Data [page 6](#)
- Control Options [page 8](#)

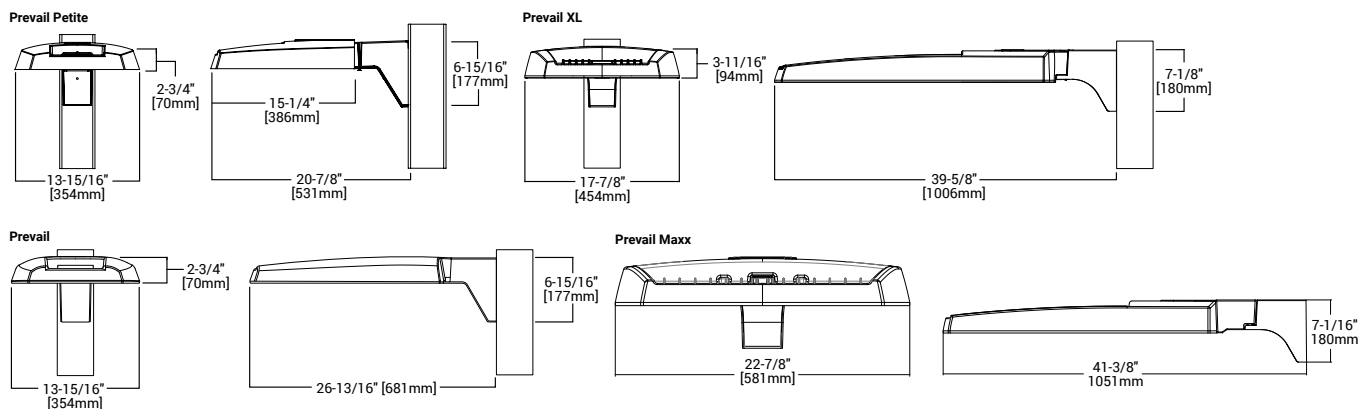
Quick Facts

- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 - 68,000 nominal lumens (30W - 550W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 157 lumens per watt
- Standard universal quick mount arm with universal drill pattern

Connected Systems

- WaveLinx PRO Wireless
- WaveLinx LITE Wireless

Dimensional Details




NOTES:
 1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.
 2. IDA Certified for 3000K CCT and warmer only.

Ordering Information

SAMPLE NUMBER: PRV-XL-PA4B-740-U-T4W-BZ

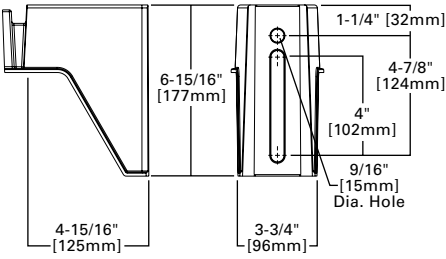
Product Family ^{1,2}	Light Engine		Color Temperature	Voltage	Distribution	Mounting (Included)	Finish		
	Configuration	Drive Current ⁴							
PRV-P =Prevail Petite BAA-PRV-P =Prevail Petite BAA Buy American Act Compliant ³ TAA-PRV-P =Prevail Petite TAA Trade Agreements Act Compliant ³	PA1 =1 Panel, 24 LED Rectangle	A =400mA Nominal B =700mA Nominal C =950mA Nominal D =1200mA Nominal	740 =70CRI, 4000K 730 =70CRI, 3000K 750 =70CRI, 5000K 8540 =85CRI, 4000K	U =Universal, 120-277V H =High Voltage, 347-480V 1=120V 2=208V 3=240V 4=277V 8=480V ⁵ 9=347V DV =DuraVolt, 277-480V ^{5,6}	T2R =Type II Roadway T2U =Type II Urban T3 =Type III T4W =Type IV Wide 5WQ =Type V Square Wide	SA =QM Standard Versatile Arm MA =QM Mast Arm FMA =Fixed Mast Arm ²⁷ WM =QM Wall Mount Arm ADJA-WM = Adjustable Arm - Wall Mount ²⁹ ADJA =Adjustable Arm - Pole Mount ²⁹ ADJS =Adjustable Arm - Slipfitter, 3" vertical tenon ²⁹ SP2 =Adjustable Arm - Slipfitter, 2 3/8" vertical tenon ^{27, 29}	AP =Grey BZ =Bronze BK =Black DP =Dark Platinum GM =Graphite Metallic WH =White		
PRV =Prevail BAA-PRV =Prevail BAA Buy American Act Compliant ³ TAA-PRV =Prevail TAA Trade Agreements Act Compliant ³	PA1 =1 Panel, 24 LED Rectangle PA2 =2 Panels, 48 LED Rectangles	A =700mA Nominal B =950mA Nominal							
PRV-XL =PRV XL BAA-PRV-XL =Prevail XL BAA Buy American Act Compliant ³ TAA-PRV-XL =Prevail XL TAA Trade Agreements Act Compliant ³	PA3 =3 Panels, 72 LED Rectangles PA4 =4 Panels, 96 LED Rectangles	A =750mA Nominal B =950mA Nominal							
PRV-M =Prevail Maxx BAA-PRV-M =Prevail Maxx BAA Buy American Act Compliant ³ TAA-PRV-M =Prevail Maxx TAA Trade Agreements Act Compliant ³	PA6 = 6 Panels, 144 LED Rectangles	A =600mA Nominal B =800mA Nominal C =1000mA Nominal D =1200mA Nominal							
Options (Add as Suffix)			Accessories (Order Separately) ^{20,21}						
10K =10kV UL 1449 Fused Surge Protective Device 20MSP =20kV MOV Surge Protective Device 20K =20kV UL 1449 Fused Surge Protective Device F =Single Fuse (Used with Voltages 120, 277 or 347V) FF =Double Fuse (Used with Voltages 208, 240 or 480V) FADC =Field Adjustable Dimming Controller ³⁰ L90 =Optics Rotated 90° Left R90 =Optics Rotated 90° Right CC =Coastal Construction finish ⁹ HSS =House Side Shield (Factory Installed) ⁷ HA =50°C High Ambient Temperature ⁸ PR =NEMA 3-PIN Twistlock Photocontrol Receptacle ¹⁰ PR7 =NEMA 7-PIN Twistlock Photocontrol Receptacle ¹⁰ MS/DIM-L08 =Motion Sensor for Dimming Operation, Up to 8' Mounting Height ^{11,12,13} MS/DIM-L20 =Motion Sensor for Dimming Operation, 9' - 20' Mounting Height ^{11,12,13} MS/DIM-L40 =Motion Sensor for Dimming Operation, 21' - 40' Mounting Height ^{11,12,13} SPB1 =Motion Sensor for Dimming Operation, BLE Interface, Up to 8' Mounting Height ^{11,14} SPB2 =Motion Sensor for Dimming Operation, BLE Interface, 8' - 20' Mounting Height ^{11,14,27,28} SPB4 =Motion Sensor for Dimming Operation, BLE Interface, 21' - 40' Mounting Height ^{11,14,28}			WPS2XX =Wavelinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting Height ^{11,12,15,16,17} WPS4XX =Wavelinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting Height ^{11,12,15,16,17} WLS2XX =WaveLinx Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting ^{11,12,15,16,17} WLS4XX =WaveLinx Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting ^{11,12,15,16,17} (See Table Below) =LumenSafe Integrated Network Security Camera ^{18,19}		PRVSA-XX =Standard Arm Mounting Kit ²² PRVMA-XX =Mast Arm Mounting Kit ²² PRVWM-XX =Wall Mount Kit ²² PRV-ADJA-XX =Adjustable Arm - Pole Mount Kit ²² PRV-ADJS-XX =Adjustable Arm - Slipfitter Kit ²² PRV-ADJA-WM-XX =Adjustable Arm - Wall Mount Kit ²² PRVXLSA-XX =Standard Arm Mounting Kit ²⁸ PRVXLMMA-XX =Mast Arm Mounting Kit ²⁸ PRVXLWM-XX =Wall Mount Kit ²⁸ PRV-XL-ADJA-XX =Adjustable Arm - Pole Mount Kit ²⁸ PRV-XL-ADJA-WM-XX = Adjustable Arm - Wall Mount Kit ²⁸ PRV-XL-ADJS-XX = Adjustable Arm - Slipfitter Kit ²⁸ PRV-M-ADJA-XX =Adjustable Arm - Pole Mount Kit ²⁷ PRV-M-ADJS-XX =Adjustable Arm - Slipfitter Kit ²⁷ PRV-M-ADJA-WM-XX =Adjustable Arm - Wall Mount Kit ²⁷ MA1010-XX =Single Tenon Adapter for 3-1/2" O.D. Tenon MA1011-XX =2@180° Tenon Adapter for 3-1/2" O.D. Tenon			MA1017-XX =Single Tenon Adapter for 2-3/8" O.D. Tenon MA1018-XX =2@180° Tenon Adapter for 2-3/8" O.D. Tenon SRA238 =Tenon Adapter from 3" to 2-3/8" PRV/DIS-FDV =Full Drop Visor ²³ PRVXL/DIS-FDV =Full Drop Visor ¹⁸ HSS-VP =House Side Shield Kit, Vertical Panel ^{7,24} HSS-HP =House Side Shield Kit, Horizontal Panel ^{7,24} VGS-ARCH = Panel Drop Shield, Short VGL-ARCH = Panel Drop Shield, Long OA/RA1013 =Photocontrol Shorting Cap OA/RA1014 =NEMA Photocontrol - 120V OA/RA1016 =NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201 =NEMA Photocontrol - 347V OA/RA1027 =NEMA Photocontrol - 480V FSIR-100 =Wireless Configuration Tool for Occupancy Sensor ²⁵ WOLC-7P-10A =WaveLinx Outdoor Control Module (7-PIN) ²⁶	
NOTES: 1. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 2. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications. Refer to installation instructions and pole white paper WPS13001EN for additional support information. 3. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC.PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. 4. Nominal drive currents shown here. For actual drive current by configuration, refer to Power and Lumens tables. 5. 480V not to be used with ungrounded or impedance grounded systems. 6. DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit www.signify.com/duravolt for more information. 7. House Side Shield not for use with 5WQ distribution. 8. Not available with PATD light engine in Petite housing (PRV-P). 9. Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654. 10. If High Voltage (H) or DuraVolt (DV) is specified, use a photocontrol that matches the input voltage used. 11. Controls system is not available in combination with a photocontrol receptacle (PR or PR7) or another controls system (MS SPB). 12. Option not available with High Voltage (H) or DuraVolt (DV). Must specify Universal (U), 347V (9), or 480V (8) voltage. 13. Utilizes the Wattstopper sensor FSP-211. Sensor color white unless specified otherwise via PDR. To field-configure, order FSIR-100 accessory separately. 14. Utilizes the Wattstopper sensor FSP-3XX series. Sensor color determined by product finish. See Sensor Color Reference Table. Field-configures via mobile application. See Controls section for details. 15. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F). 16. In order for the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinx system and software and requires system components to be installed for operation. See website for more WaveLinx application information. 17. Replace XX with sensor color (WH, BZ or BK). 18. Only available in PRV-XL configurations. 19. Not available with High Voltage (H, DV, 8 or 9) or HA options. Consult LumenSafe system product pages for additional details and compatibility information. 20. Replace XX with paint color. 21. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information. 22. Not for use with PRV-XL or PRV-M configurations. 23. Only for use with PRV. Not applicable to PRV-M, PRV-XL, or PRV-P. 24. Must order one per optic/LED when ordering as a field-installable accessory (1, 2, 3, 4, or 6). Refer to House Side Shield reference table for details. 25. This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information. 26. Requires 7-PIN NEMA twistlock photocontrol receptacle (PR7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS or LWR). Only for use at 120-347V. 27. Only available for PRV-M configurations. 28. Only for use with PRV-XL. 29. Fixed for PRV-M. 30. Cannot be used with PR7 or other motion response control options.									

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

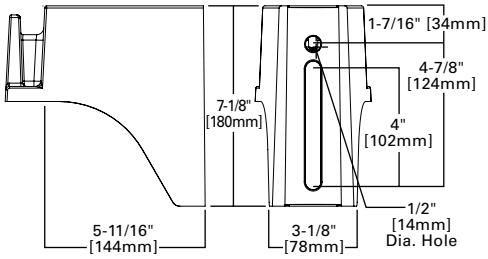
Product Family	Camera Type	Data Backhaul
L =LumenSafe Technology 	H =Dome Camera, High Res Z =Dome Camera, Remote PTZ	C =Cellular, Customer Installed SIM Card A =Cellular, Factory Installed AT&T SIM Card V =Cellular, Factory Installed Verizon SIM Card S =Cellular, Factory Installed Sprint SIM Card E =Ethernet Networking

Mounting Details

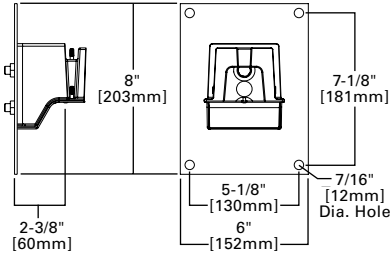
SA=QM Pole Mount Arm (PRV & PRV-P)



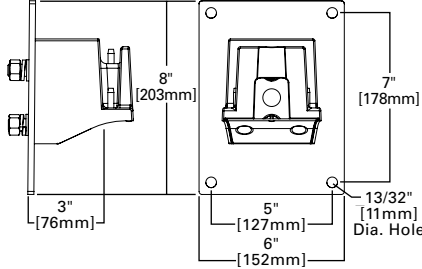
SA=QM Pole Mount Arm (PRV-XL)



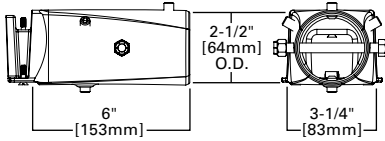
WM=QM Wall Mount Arm (PRV & PRV-P)



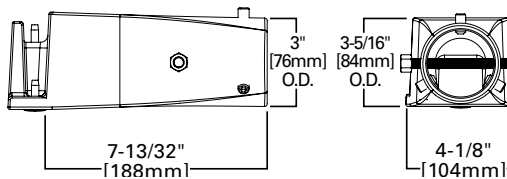
WM=QM Wall Mount Arm (PRV-XL)



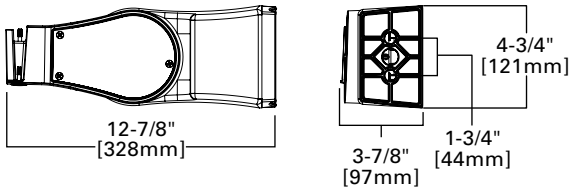
MA=QM Mast Arm (PRV & PRV-P)



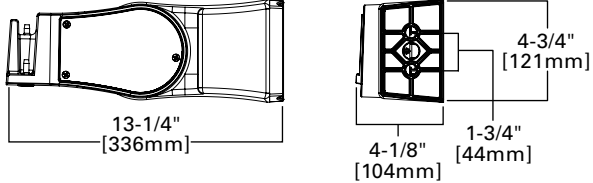
MA=QM Mast Arm (PRV-XL)



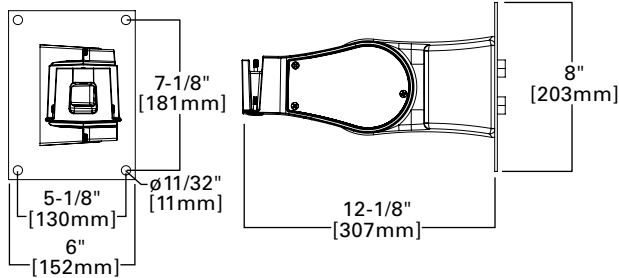
ADJA=Adjustable Arm Pole Mount (PRV & PRV-P)



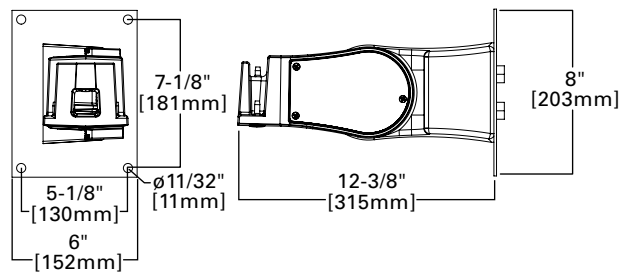
ADJA=Adjustable Arm Pole Mount (PRV-XL)



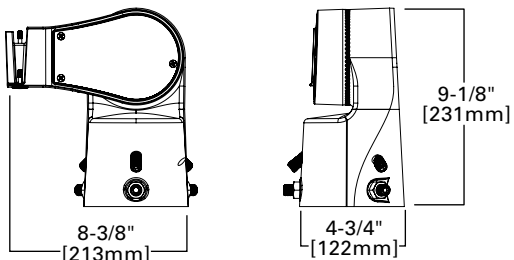
ADJA-WM=Adjustable Arm Wall Mount (PRV & PRV-P)



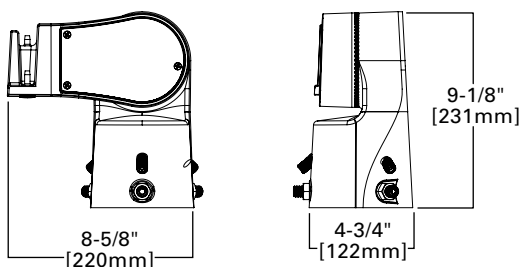
ADJA-WM=Adjustable Arm Wall Mount (PRV-XL)



ADJS=Adjustable Slipfitter 3 (PRV & PRV-P)

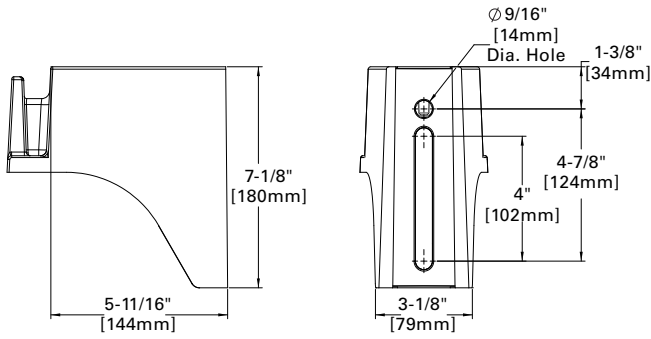


ADJS=Adjustable Slipfitter 3 (PRV-XL)

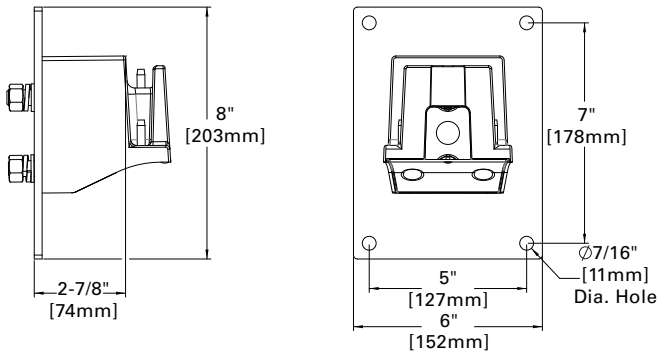


Mounting Details

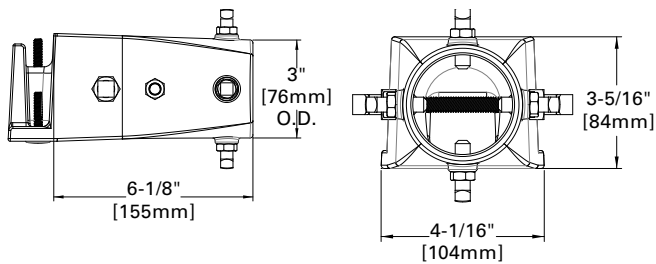
SA=QM Pole Mount Arm (PRV-M)



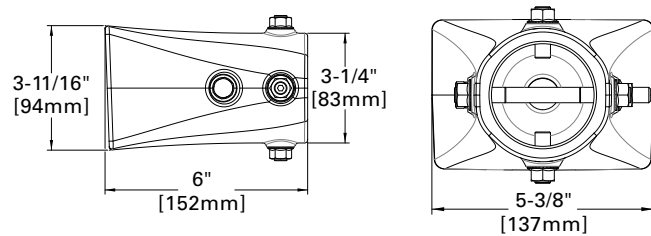
WM=QM Wall Mount Arm (PRV-M)



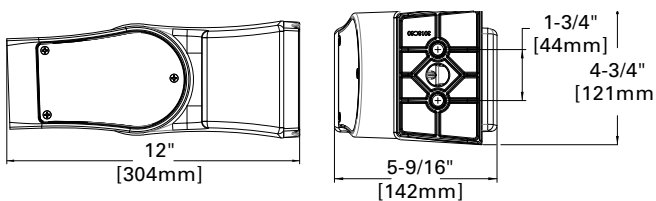
MA=QM Mast Arm (PRV-M)



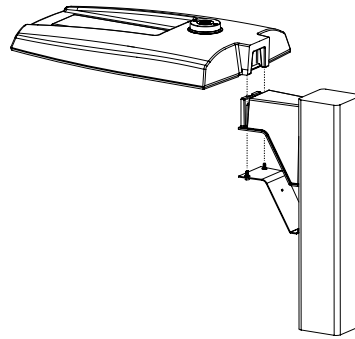
FMA=Fixed Mast Arm (PRV-M)



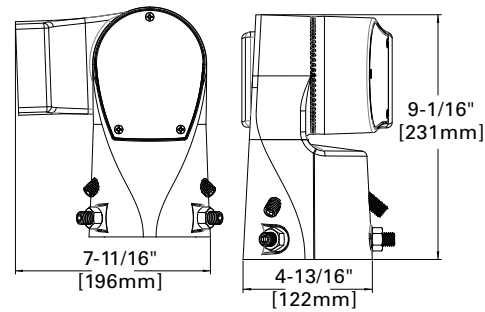
ADJA=Adjustable Pole Mount Arm (PRV-M)



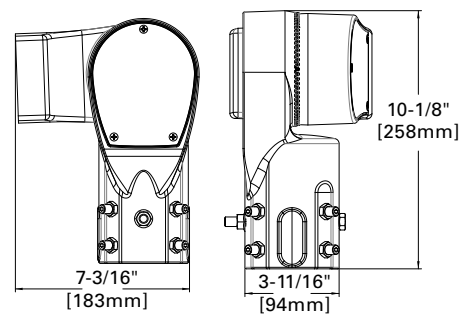
Versatile Mount System



ADJS=Adjustable Slipfitter (PRV-M)



SP2=Adjustable Slipfitter 2-3/8\" (PRV-M)



Mounting Details

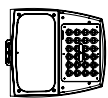
Mounting Configurations and EPAs

NOTE: For 2 PRV's mounted at 90°, requires minimum 3" square or 4" round pole for fixture clearance. For 2 PRV-XL's mounted at 90°, requires minimum 4" square or round pole for fixture clearance. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications

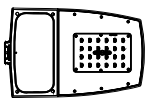
Housing Size	Tilt Angle (Degrees)	Arm Mount Single	Arm Mount 2 @ 180°	Arm Mount 2 @ 90°	Arm Mount 3 @ 90°	Arm Mount 4 @ 90°
Prevail Petite	0°	0.54	1.08	0.84	1.38	1.38
	60°	1.68	1.85	2.42	3.15	3.30
Prevail	0°	0.92	1.35	1.42	1.63	1.63
	60°	2.20	2.40	3.05	3.88	4.07
	60° + Full Drop Visor	2.20	2.40	3.25	4.28	4.47
Prevail XL	0°	1.12	2.25	2.13	2.52	2.52
	60°	3.99	4.30	5.26	6.51	6.79
	60° + Full Drop Visor	3.99	4.30	5.59	7.17	7.49
Prevail Maxx	0°	1.28	2.56	1.7	2.69	2.69
	60°	5.09	5.52	6.34	7.49	7.81

Optical Configurations

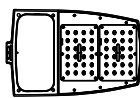
PRV-P-PA1X



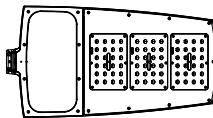
PRV-PA1X



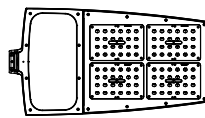
PRV-PA2X



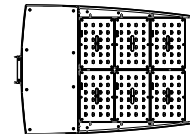
PRV-XL-PA3X



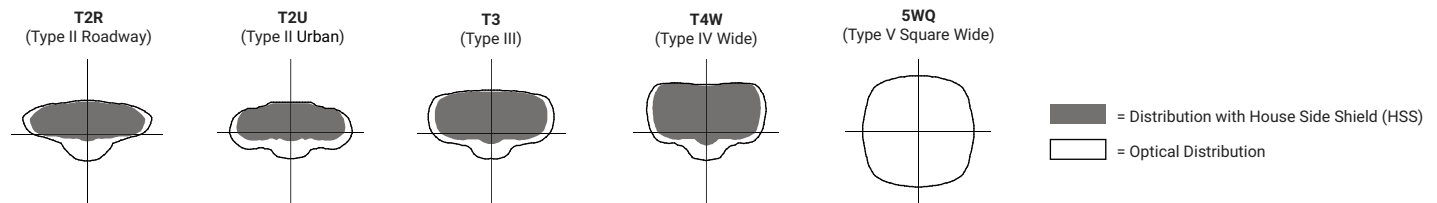
PRV-XL-PA4X



PRV-M-PA6X



Optical Distributions



Product Specifications

Construction

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door

Optics

- Dark Sky Approved (3000K CCT and warmer only)
- Precision molded polycarbonate optics

Electrical

- -40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion
- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture
- Standard MOV surge protective device designed to withstand 10kV of transient line surge

- Luminaire available with the field adjustable dimming controller (FADC) to manually adjust wattage and reduce the total lumen output and light levels; Comes pre-set to the highest position at the lumen output selected

Mounting

- Versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8" (Type M drilling recommended for new installations)
- A knock-out on the standard mounting arm enables round pole mounting
- Adjustable pole and wall mount arms adjust in 5° increments from 0° to 60°; Downward facing orientation only (Type N drilling required for ADJA mount)
- Adjustable slipfitter arm adjusts in 5° increments from -5° to 85°; Downward facing orientation only
- Prevail and Prevail Petite: 3G vibration rated (all arms)
- Prevail XL Mast Arm: 3G vibration rated

- Prevail XL Standard Arm: 1.5G vibration rated
- Adjustable Arms: 1.5G vibration rated

Finish

- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Finish is compliant to 3,000 hour salt spray standard (per ASTM B117)

Typical Applications

- Parking lots, Walkways, Roadways and Building Areas

Shipping Data

- Prevail Petite: 18 lbs. (7.94 kgs.)
- Prevail: 20 lbs. (9.09 kgs.)
- Prevail XL: 45 lbs. (20.41 kgs.)
- Prevail Maxx: 49 lbs. (22.23 kgs.)

Warranty

- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Energy and Performance Data

Power and Lumens

View PRV-P IES files

View PRV IES files

View PRV-XL IES files

Table with columns for Product Family (Light Engine, Prevail Petite, Prevail, Prevail XL, Prevail Maxx) and rows for Power (Watts), Drive Current (mA), Input Current (A) at 120V, 277V, 347V, 480V, and Distribution (Type II Roadway, Type II Roadway w/ HSS, Type II Urban, Type II Urban w/ HSS, Type III, Type III w/ HSS, Type IV Wide, Type IV Wide w/ HSS, Type V Square Wide).

NOTES:

1. For 3000K or HSS BUG Ratings, refer to published IES files

Energy and Performance Data

House Side Shield Reference Table

Product Family		Prevail	Prevail		Prevail XL		Prevail Maxx
Light Engine		PA1	PA1	PA2	PA3	PA4	PA6
Rotated Optics	Standard	HSS-HP (Qty 1)	HSS-VP (Qty 1)	HSS-HP (Qty 2)	HSS-HP (Qty 3)	HSS-VP (Qty 4)	HSS-HP (Qty 6)
	L90 or R90 option	HSS-VP (Qty 1)	HSS-HP (Qty 1)	HSS-VP (Qty 2)	HSS-VP (Qty 3)	HSS-HP (Qty 4)	HSS-VP (Qty 6)

Sensor Color Reference Table (SPBx)

Housing Finish	Sensor Color
AP=Grey	Grey
BZ=Bronze	Bronze
BK=Black	Black
DP=Dark Platinum	Grey
GM=Graphite Metallic	Black
WH=White	White

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

FADC Settings

FADC Postion	Percent of Typical Lumen Output
1	25%
2	48%
3	55%
4	62%
5	72%
6	77%
7	82%
8	85%
9	90%
10	100%

Note: +/-5% typical value

Lumen Maintenance

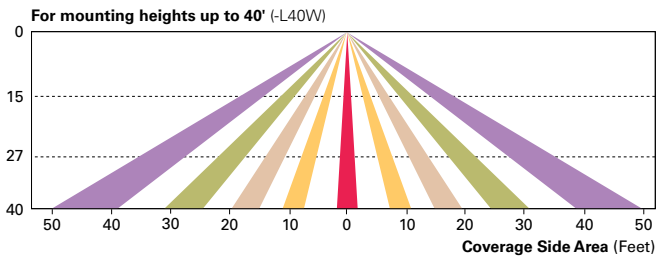
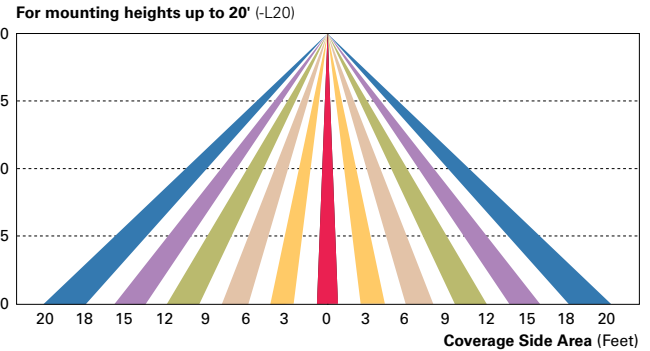
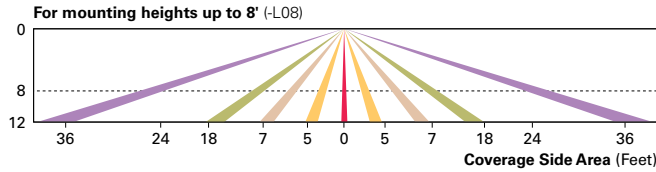
Ambient Temperature	TM-21 Lumen Maintenance (78,000 Hours)	Theoretical L70 (Hours)
Up to 50°C	96.76%	> 896,000

Control Options

0-10V This fixture provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (PR and PR7) Photocontrol receptacles provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-PIN standards can be utilized with the PR7 receptacle.

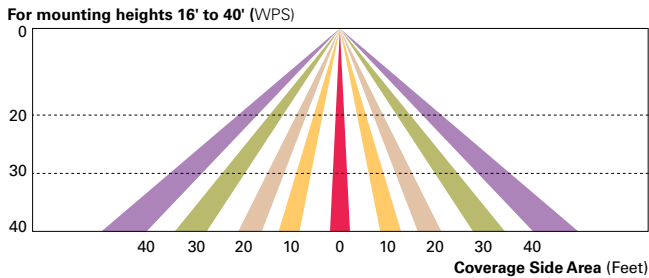
Dimming Occupancy Sensor (SPB, MS/DIM-LXX) These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the luminaire will dim down after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. These occupancy sensors include an integral photocell for "dusk-to-dawn" control or "daylight harvesting." Factory default is enabled for the MS sensors and disabled for the SPB. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes.



WaveLinx Wireless Control and Monitoring System Available in 7-PIN or 4-PIN configurations, the WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

WaveLinx Outdoor Control Module (WOLC-7P-10A) A photocontrol that enables astronomical or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

WaveLinx PRO Wireless Sensor (WPS2 and WPS4) These outdoor sensors offer passive infrared (PIR) occupancy sensing and a photocell for closed-loop daylight sensing. These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected, and the photocell for "dusk-to-dawn" control is default enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.



LumenSafe (LD) The LumenSafe integrated network camera is a streamlined, outdoor-ready camera that provides high definition video surveillance. This IP camera solution is optimally designed to integrate into virtually any video management system or security software platform of choice. No additional wiring is needed beyond providing line power to the luminaire. LumenSafe features factory-installed power and networking gear in a variety of networking options allowing security integrators to design the optimal solution for active surveillance.

Job Name: _____	Client Name: _____
Job Location - City: _____ State: _____	Created By: _____ Date: _____
Product: DS330 Quote: _____	Customer Approval: _____ Date: _____

SPECIFICATIONS

Pole Shaft - The pole shaft is fabricated from hot rolled welded steel tubing of one-piece construction with a minimum yield strength of 55 KSI.

Pole Top - A removable pole cap is provided for poles receiving drilling patterns for side-mount luminaire arm assemblies. For top mount luminaire and/or bracket consult the factory. Consult the luminaire manufacturer for correct tenon size or drill pattern. Other pole top options include pole cap only (PC) or plain top (PL) which is typical when the pole top diameter matches the necessary slip fit dimensions.

Handhole - A reinforced handhole with grounding provision is provided at 1'-6" from the base end of the pole assembly. Each handhole includes an easy to install, self-contained Swing Latch handhole cover assembly. U.S. Patent Swing Latch cover is fabricated from durable polycarbonate/ABS blend plastic. All pole assemblies are provided with a 2.50" x 5.00" rectangular handhole. Handhole dimensions are nominal.

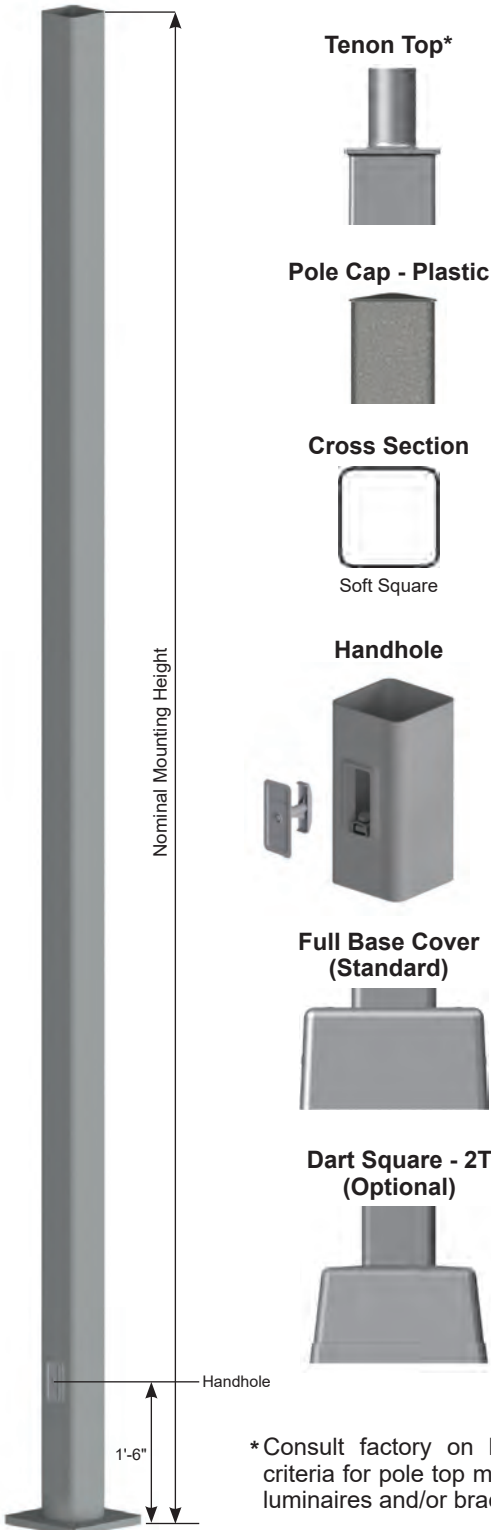
Base Cover - A two-piece full base cover fabricated from ABS plastic is provided with each pole assembly. Additional base cover options, including the dart square (2T) cast aluminum cover, are available upon request.

Anchor Bolts - Anchor bolts conform to ASTM F1554 Grade 55 and are provided with two hex nuts and two flat washers. Bolts have an "L" bend on one end and are galvanized a minimum of 12" on the threaded end.

Hardware - All structural fasteners are galvanized high strength carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.

Finish - Standard finishes are either Galvanized (GV) or Finish Painted (FP). Additional finish options including Finish Paint over Galvanizing (FPGV) or any of the V-PRO™ Finish Coating Systems are available upon request. See the product ordering code for color options.

Design Criteria - Please reference Design Criteria Specification for appropriate design conditions.



*Consult factory on loading criteria for pole top mounted luminaires and/or brackets.

DS330

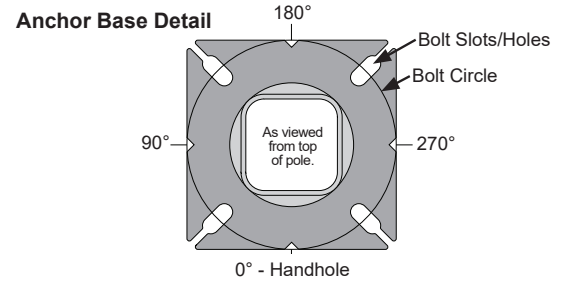
Fatigue Resistant Soft Square Steel Post



Job Name: _____	Client Name: _____
Job Location - City: _____ State: _____	Created By: _____ Date: _____
Product: DS330 Quote: _____	Customer Approval: _____ Date: _____

ANCHORAGE DATA

POLE		BASE PLATE				ANCHOR BOLTS			
POLE BASE SQUARE (IN)	WALL THK (GA)	BOLT CIRCLE		SQUARE (IN)	THK (IN)	DIA x LENGTH x HOOK (IN)	PROJECTION (IN)	± (IN)	
		DIA (IN)	± (IN)						
4.00	11	8.50	0.50	8.25	0.750	0.75 x 17.00 x 3.00	3.50	0.25	
4.00	7	8.50	0.50	8.25	0.875	0.75 x 17.00 x 3.00	3.63	0.25	
5.00	11	11.00	1.00	11.00	1.000	0.75 x 17.00 x 3.00	3.75	0.25	
5.00	7	11.00	1.00	11.00	1.000	0.75 x 17.00 x 3.00	3.75	0.25	
6.00	7	12.00	1.00	12.50	1.000	1.00 x 36.00 x 4.00	4.25	0.25	



DESIGNATION, LOAD AND DIMENSIONAL DATA

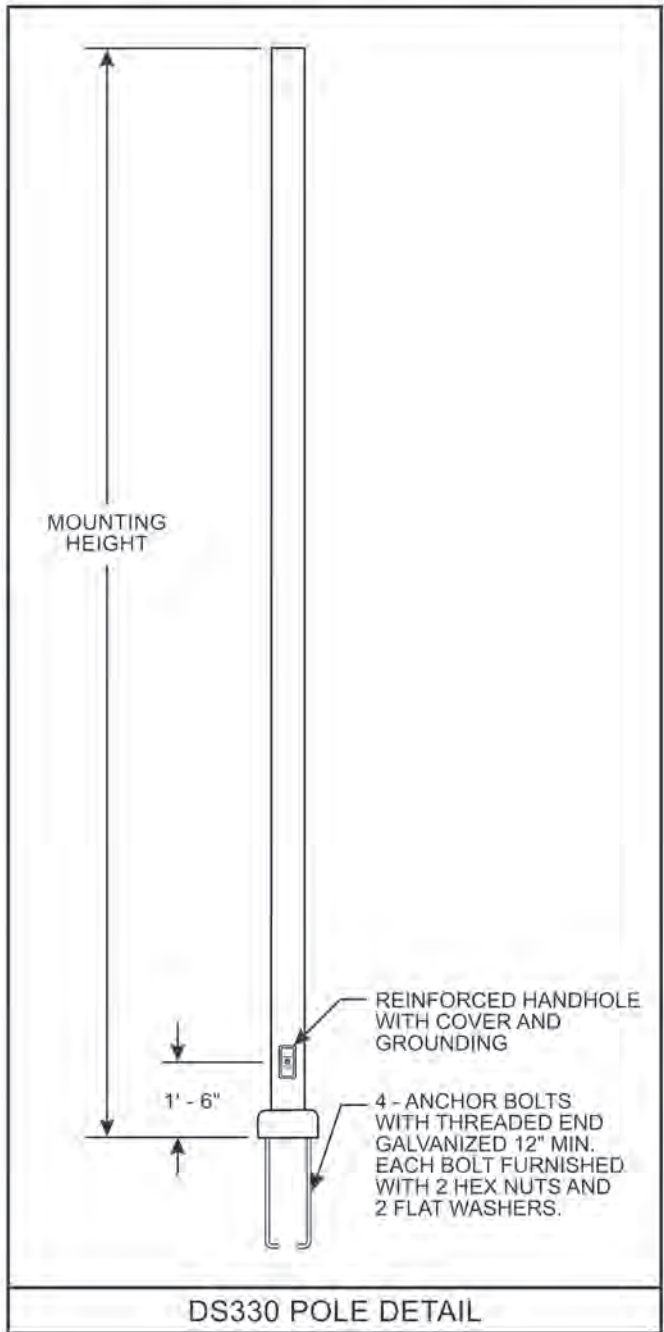
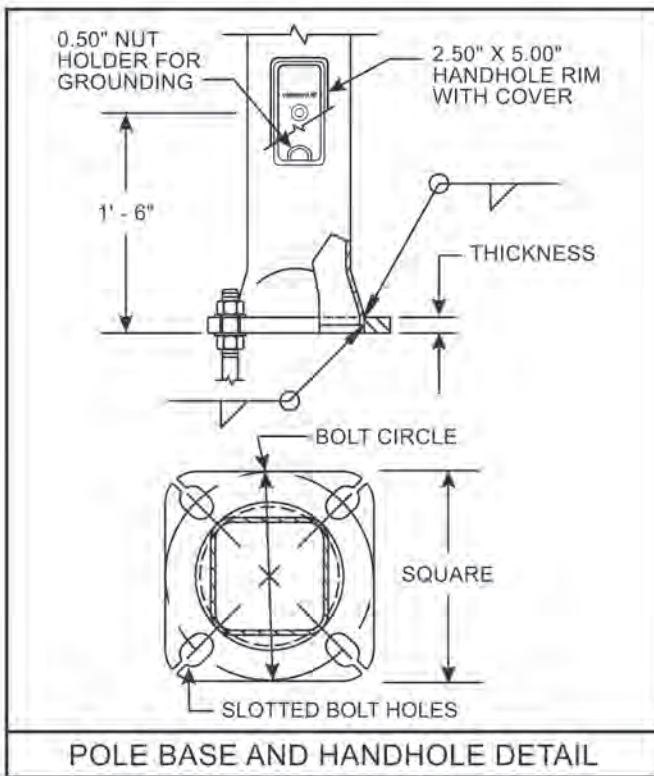
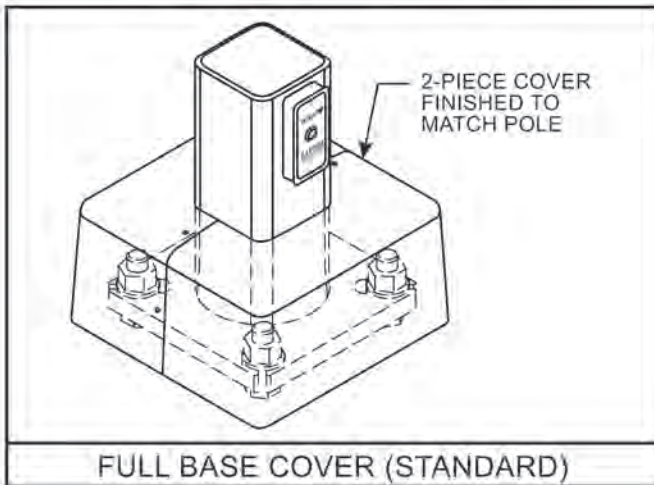
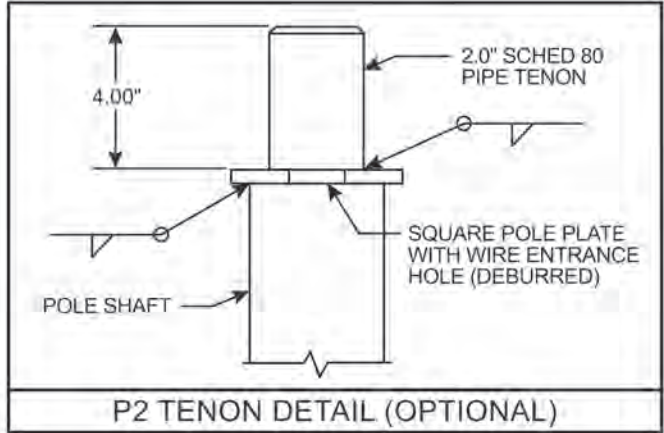
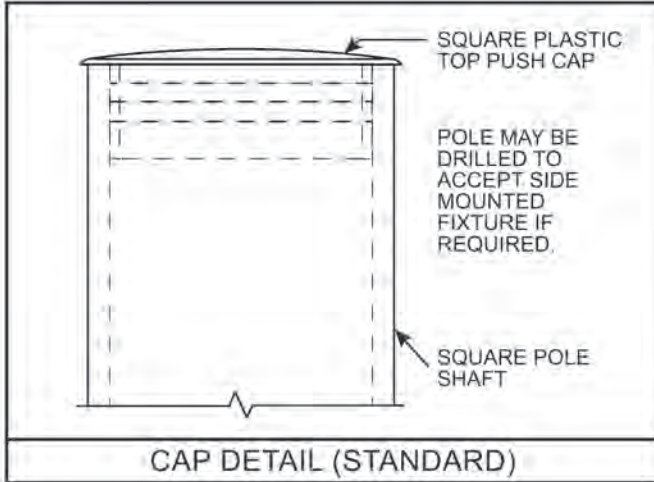
NOMINAL MOUNTING HEIGHT	DESIGN INFORMATION						POLE DIMENSIONS ³				DESIGNATION
	80 MPH w/1.3 GUST		90 MPH w/1.3 GUST		100 MPH w/1.3 GUST		SHAFT BASE SQUARE ³ (IN)	SHAFT TOP SQUARE (IN)	WALL THK (GA)	STRUCTURE WEIGHT ² (LBS)	
	MAX EPA ¹ (SQFT)	MAX WEIGHT ¹ (LBS)	MAX EPA ¹ (SQFT)	MAX WEIGHT ¹ (LBS)	MAX EPA ¹ (SQFT)	MAX WEIGHT ¹ (LBS)					
10'-0"	30.6	765	23.8	595	18.9	473	4.00	4.00	11	75	400Q100
12'-0"	24.4	610	18.8	470	14.8	370	4.00	4.00	11	90	400Q120
14'-0"	19.9	498	15.1	378	11.7	293	4.00	4.00	11	100	400Q140
16'-0"	15.9	398	11.8	295	8.9	223	4.00	4.00	11	115	400Q160
18'-0"	12.6	315	9.2	230	6.7	168	4.00	4.00	11	125	400Q180
20'-0"	9.6	240	6.7	167	4.5	150	4.00	4.00	11	140	400Q200
	17.7	443	12.7	343	9.4	235	5.00	5.00	11	185	500Q200
	28.1	703	21.4	535	16.2	405	5.00	5.00	7	265	500W200
25'-0"	4.8	150	2.6	100	1.0	50	4.00	4.00	11	170	400Q250
	10.8	270	7.7	188	5.4	135	4.00	4.00	7	245	400W250
	9.8	245	6.3	157	3.7	150	5.00	5.00	11	225	500Q250
	18.5	463	13.3	333	9.5	238	5.00	5.00	7	360	500W250
30'-0"	6.7	168	4.4	110	2.6	65	4.00	4.00	7	291	400W300
	4.7	150	2.0	50	N/A	N/A	5.00	5.00	11	265	500Q300
	10.7	267	6.7	167	3.9	100	5.00	5.00	7	380	500W300
	19.0	475	13.2	330	9.0	225	6.00	6.00	7	520	600W300
35'-0"	5.9	150	2.5	100	N/A	N/A	5.00	5.00	7	440	500W350
	12.4	310	7.6	190	4.2	105	6.00	6.00	7	540	600W350
40'-0"	7.2	180	3.0	75	N/A	N/A	6.00	6.00	7	605	600W400

- Maximum EPA (Effective Projected Area) and weight values are based on side mounted fixtures only. Consult factory on loading criteria for pole mounted luminaires and/or brackets. Variations from sizes above are available upon inquiry at the factory. Satisfactory performance of poles is dependent upon the pole being properly attached to a supporting foundation of adequate design.
- Structure weight is a nominal value which includes the pole shaft and base plate only.
- Belled-bottom will have reduced thickness due to the cold-working process. However, the belled-bottom meets or exceeds the structural capacity of the original square section. In addition, the rounded section provides better fatigue resistance.

PRODUCT ORDERING CODES

MODEL	DESIGNATION	FIXTURE MOUNTING	FINISH SYSTEM	STANDARD COLOR OPTIONS	BASE COVER	ANCHOR BOLTS	SUPPLEMENTAL INFO
DS330							
	Select Correct Designation from the Load and Dimensional Data Chart.	Drill Mounting (See Orientation) D1 = (1) Drillings @ 270° D2 = (2) Drillings @ 90° & 270° D4 = (4) Drillings @ 0°, 90°, 180°, & 270° D5 = (2) Drillings @ 180° & 270° D6 = (3) Drillings @ 90°, 180°, & 270° Tenon Mounting P2 = 2.38" OD x 4" tenon P4 = 4.00" OD x 6" tenon P5 = 2.88" OD x 4" tenon P6 = 2.88" OD x 5" tenon P7 = 2.38" OD x 5" tenon P9 = Special Size (Specify) Other Options PC = Pole Cap PL = Plain Top (No Cap)	GV = Galvanized FP = Finish Painted ----- -----OPTIONAL----- FPGV = Finish Paint over Galvanizing VP30 = V-PRO™ 30 System VP32 = V-PRO™ 32 System VP53 = V-PRO™ 53 System VP54 = V-PRO™ 54 System VP57 = V-PRO™ 57 System VP100 = V-PRO™ 100 System VP105 = V-PRO™ 105 System	GV = Galvanized BK = Black DB = Dark Bronze MB = Medium Bronze WH = White LG = Light Gray CB = Bronze DG = Dark Green ST = Sandstone HTG = Hunter Green SG = Slate Gray SL = Silver SC = Special Color (Specify)	FBC = Full Base Cover -----OPTIONAL----- 2T = Square Dart Cover	AB = With Anchor Bolts LAB = Without Anchor Bolts	

DS330 - Fatigue Resistant Square Non-Tapered Steel Pole



SPC7207 12/17 valmontstructures.com carries the most current spec information and supersedes these guidelines.



11402 Gravois Road, Suite 200 St. Louis, MO 63126

Phone: (314) 729-1001 Fax: (314) 729-1044

Marty L. Marler
MO PLS 2501
IL PLS 035-003891

JOB NO. 2405-061

LAND DESCRIPTION

A TRACT OF LAND BEING PART OF LOT 30 IN BLOCK 1 OF DARSTDALE SUBDIVISION NO. 3 AS RECORDED IN PLAT BOOK 22 PAGE 40 OF THE ST. LOUIS COUNTY LAND RECORDS OFFICE IN CLAYTON, MISSOURI AND BEING FURTHER DESCRIBED AS FOLLOWS.

BEGINNING AT A FOUND SPINDLE MARKING THE SOUTHWEST CORNER OF SAID LOT 30, BEING ON THE EAST RIGHT-OF-WAY LINE OF NORTH MCKNIGHT ROAD (WIDTH VARIES) AND THE NORTH RIGHT-OF-WAY LINE OF CRIXDALE AVENUE (PLATTED AS WILSON AVENUE 50' WIDE), THENCE WITH THE EAST RIGHT-OF-WAY LINE OF NORTH MCKNIGHT ROAD, NORTH 00 DEGREES 17 MINUTES 08 SECONDS EAST A DISTANCE OF 132.85 FEET TO A FOUND MAG SPIKE; BEING ON THE SOUTH RIGHT-OF-WAY LINE OF MISSOURI ROUTE NO.340 ALSO KNOWN AS OLIVE BOULEVARD

THENCE DEPARTING THE EAST RIGHT-OF-WAY LINE OF NORTH MCKNIGHT ROAD AND CONTINUING ALONG OLIVE BOULEVARD, NORTH 47 DEGREES 09 MINUTES 57 SECONDS EAST A DISTANCE OF 33.14 FEET TO A CUT CROSS IN A CONCRETE WALK;

THENCE SOUTH 88 DEGREES 40 MINUTES 02 SECONDS EAST A DISTANCE OF 100.56 FEET TO A SET REBAR WITH CAP STAMPED " MARLER 347-D" BEING ON THE EAST LINE OF LOT 30, FROM WHICH A FOUND SPINDLE BEARS SOUTH 32 DEGREES 49 MINUTES 08 SECONDS WEST A DISTANCE OF 1.03 FEET;

THENCE DEPARTING SAID RIGHT-OF-WAY LINE AND CONTINUING ALONG THE EAST LINE OF LOT 30, SOUTH 01 DEGREES 19 MINUTES 08 SECONDS WEST A DISTANCE OF 104.06 FEET TO A POINT BEING THE SOUTHWEST CORNER OF LOT 29 AND BEING THE MOST NORTHERN POINT OF A TRACT OF LAND CONVEYED TO THE CITY OF UNIVERSITY CITY, MISSOURI IN DEED BOOK 5430 PAGE 33, FROM WHICH A FOUND 5/8" IRON ROD BEARS NORTH 47 DEGREES 28 MINUTES 11 SECONDS EAST A DISTANCE OF 0.12 FEET;

THENCE ALONG THE WEST LINE OF SAID TRACT OF LAND, SOUTH 47 DEGREES 28 MINUTES 11 SECONDS WEST A DISTANCE OF 6.93 FEET TO A FOUND CROSS;

THENCE SOUTH 01 DEGREES 19 MINUTES 08 SECONDS WEST A DISTANCE OF 85.25 FEET TO A FOUND 1/2" IRON PIPE BEING THE MOST SOUTHWEST CORNER OF SAID TRACT AND BEING ON THE NORTH RIGHT-OF-WAY LINE OF CRIXDALE AVENUE (50' WIDE);

THENCE DEPARTING SAID TRACT AND CONTINUING ALONG THE NORTH RIGHT-OF-WAY LINE OF CRIXDALE AVENUE WITH A NON-RADIAL CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 123.06 FEET, A RADIUS OF 1432.69 FEET, A CHORD BEARING OF NORTH 70 DEGREES 34 MINUTES 47 SECONDS WEST, AND A CHORD LENGTH OF 123.02 FEET TO THE POINT OF BEGINNING AND CONTAINING AN AREA OF 21045.8 SQUARE FEET OR 0.483 ACRES MORE OR LESS AS SURVEYED BY MARLER SURVEYING COMPANY INC. IN THE MONTH OF JUNE 2024.

END OF DESCRIPTION.

SUBJECT TO EASEMENTS, RESTRICTIONS, CONDITIONS AND REGULATIONS OF RECORD, IF ANY.



Department of Planning and Development

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 505-8500, Fax: (314) 862-3168

MEMO

Meeting Date: August 28, 2024
To: Plan Commission
From: Department of Planning & Development
Case Number: TXT-24-03
Council District: n/a
Applicant: City of University City
Request: Review of proposed text amendments regarding code sections §400.2320(A), §400.780(D)(3), § 415.030(A) and creating a new section §400.2345

At the upcoming Plan Commission meeting, commissioners will consider a text amendment to the zoning code pertaining to two different ways of permitting signage on commercial developments.

On August 6, 2024, the Code Review Committee met with staff to review the below proposed amendments. The Committee recommended the text amendment to the full Plan Commission.

Item #1 – Increasing total sign area allowed for larger buildings

Section § 400.2320(A) of the University City zoning code describes the allowable square footage of primary signage based on building frontage. The amendment (shown below in blue underlined text) would add three new signage size ranges for buildings with larger frontage. Without the amendment no building in University City is allowed more than 120 square feet of primary signs. The amendment will create three new categories of allowable sign area (see below), with the largest sign allowance between 300 square feet of primary signs for buildings that have at least 500 feet of frontage. These maximums were selected by staff after review of signage permit best practices and peer city signage allowances around the region.

§ 400.2320(A) Primary Signs:

Each business or institution occupying the ground floor of a premise shall be permitted primary signs with a total gross sign area according to the table below. of not more than twenty-five (25) square feet. This total gross sign area may be increased to forty (40) square feet if the building frontage of the portion of the building occupied by the business or institution exceeds nineteen (19) feet, increased to eighty (80) square feet if the building frontage of the portion of the building occupied by the business or institution exceeds ninety (90) feet, and increased to one hundred twenty (120) square feet if the building frontage of the portion of the building occupied by the business or institution exceeds one hundred twenty (120) feet. Primary signs may be freestanding signs, wall signs, roof signs, window signs, or signs affixed to or painted on canopies or awnings, subject to the limitations stated herein. In



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the "CC" Core Commercial District the above may include wall signs perpendicular to the face of the building if erected according the regulations set forth in Section 400.2220(B)(3).

Building frontage of the portion of the building occupied by the business or institution	Total gross primary sign area
Less than 19 feet	Up to 25 square feet
20-89.99 feet	Up to 40 square feet
90-119.99 feet	Up to 80 square feet
120-149.99 feet	Up to 120 square feet
150-199.99 feet	Up to 150 square feet
200-499.99 feet	Up to 180 square feet
500 feet or greater	Up to 300 square feet

Item #2 – Expanding eligibility for comprehensive sign plan applications

Secondly, code § 400.780(D)(3) in the Planned Development zoning district regulations outlines a procedure for developments zoned PD-I and PD-C to apply for a “comprehensive sign plan” that allows for more flexibility in the size, design, placement, and other physical characteristics of signage. The comprehensive sign plan is subject to review by staff, Plan Commission, and City Council. This process acknowledges that certain uses, buildings, and locations may warrant additional signage, while allowing the city to retain the necessary discretion to ensure a cohesive and safe built environment.

Staff recommends removing the code section for the comprehensive sign plan from the Planned Development section and moving it to a new section in Article VII, Division 5, “Sign Regulations – Non-Residential Uses”. This move would allow other commercial developments, new or existing, to apply for comprehensive sign plans, not just planned developments. In addition, minor changes to the content of the comprehensive sign plan provisions are suggested. See below for the proposed amendments.

Add new section: § 400.2345 “Comprehensive Sign Plan” to Article VII, Division 5 “Sign Regulations – Non-Residential Uses”

[Section 400.2345 Comprehensive Sign Plan](#)

- A. [When a comprehensive sign plan is approved for a proposed or existing development, to the extent the terms of the comprehensive sign plan conflict with the general provisions of this Chapter, the comprehensive sign plan governs. Comprehensive sign plans are intended to provide for flexible sign criteria that promote superior design and are tailored to a specific development which may vary from general ordinance provisions; however, the applicant must demonstrate that the proposed terms would encourage and promote established principles within the Comprehensive Plan. In keeping with the intent to allow flexibility in the design of developments, the following options may be available for signs accessory to uses in non-residential zoning districts, subject to:](#)
 - 1. [Placement. All signs shall be placed where they are sufficiently visible and](#)



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- readable for their function. Factors to be considered shall include the purpose of the sign, its location relative to traffic movement and access points, site features, structures and sign orientation relative to viewing distances and viewing angles.
2. Quantity. The number of signs that may be approved within any development shall be no greater than that required to provide project identification and entry signs, internal circulation and directional information to destinations and development subareas and business identification. Factors to be considered shall include the size of the development, the number of development subareas, and the division or integration of sign functions.
 3. Size. All signs shall be no larger than necessary for visibility and readability. Factors to be considered in determining appropriate size shall include topography, volume of traffic, speed of traffic, visibility range, proximity to adjacent uses, amount of sign copy, placement of display (location and height), lettering style and the presence of distractive influences. In no event shall a plan contain a sign which exceeds by more than twice that of any maximum area standard contained in Article VIII "Sign Regulations" of this Chapter unless otherwise waived by the City Council.
 4. Materials. Sign materials shall be compatible with architectural and/or natural features of the project. This may be accomplished through similarity of materials for sign structures and faces, the use of complementary colors, similarity of architectural style or the use of consistent lettering style and typography.
 5. When a Comprehensive Sign Plan is proposed, the following must be submitted:
 - a. A narrative description of the common theme for signage within the development, how it relates to architectural and/or landscaping elements of the development, and how the comprehensive sign plan relates to each of the criteria set forth in this Section.
 - b. A site plan depicting the proposed sign location(s) and the geographic limits of the area to be covered by the comprehensive sign plan.
 - c. Descriptions and drawings of proposed sign(s) indicating placement, size, height, qualities, materials, and construction.
 - d. Illumination level, color and type.
 - e. The number of proposed signs.
 - f. Dimensions, height, square footage of all existing signs or note that none exist for both freestanding and attached signs (submit picture of all existing signage).
 - g. Landscaping of freestanding signs.
 6. The Plan Commission may recommend, and the City Council may approve, a comprehensive sign plan by ordinance. Such ordinance may contain conditions, requirements or standards regarding signs that may be stipulated by the City Council.



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Modify existing section: § 400.780(D)(3).

3. Signage. Signage shall be in compliance with Article VIII "Sign Regulations" of this Chapter unless the applicant for a "PD-C" or "PD-I" district designation elects to submit a comprehensive sign plan [in compliance with Section 400.2345](#) in addition to the submission of other required development plan documents. ~~The Plan Commission may recommend, and the City Council may approve, a comprehensive sign plan and such plan shall be made part of the ordinance approving the "PD" district. Such ordinance may contain conditions, requirements or standards regarding signs that may be stipulated by the City Council. Comprehensive sign plans approved under this Section shall be evaluated based upon the following criteria:~~
- ~~a.—Placement. All signs shall be placed where they are sufficiently visible and readable for their function. Factors to be considered shall include the purpose of the sign, its location relative to traffic movement and access points, site features, structures and sign orientation relative to viewing distances and viewing angles.~~
 - ~~b.—Quantity. The number of signs that may be approved within any development shall be no greater than that required to provide project identification and entry signs, internal circulation and directional information to destinations and development subareas and business identification. Factors to be considered shall include the size of the development, the number of development subareas, and the division or integration of sign functions.~~
 - ~~c.—Size. All signs shall be no larger than necessary for visibility and readability. Factors to be considered in determining appropriate size shall include topography, volume of traffic, speed of traffic, visibility range, proximity to adjacent uses, amount of sign copy, placement of display (location and height), lettering style and the presence of distractive influences. In no event shall a plan contain a sign which exceeds by more than twice that of any maximum area standard contained in Article VIII "Sign Regulations" of this Chapter unless otherwise waived by the City Council.~~
 - ~~d.—Materials. Sign materials shall be compatible with architectural and/or natural features of the project. This may be accomplished through similarity of materials for sign structures and faces, the use of complementary colors, similarity of architectural style or the use of consistent lettering style and typography.~~
- ~~A request for approval for a comprehensive sign plan shall accompany the request for "PD-C" or "PD-I" zoning classification and shall include, but is not limited to, the following:~~
- ~~1)—A site plan depicting the proposed plan of development and illustration of proposed sign locations;~~
 - ~~2)—Descriptions and drawings indicating size, qualities, materials and illumination; and~~
 - ~~3)—A narrative description of the common theme for signage within the development, how it relates to architectural and/or landscaping elements of the development, and how the comprehensive sign plan relates to each of the criteria set forth in this Section.~~



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Modify existing section: § 415.030 Application fees.

- A. Application fees are intended to cover the cost of processing the application and when applicable shall include charges for plan examination, site inspection, public hearing notices, review of City records, hearing recorders and a pro rata share of overhead costs. No refunds shall be made once the fee has been paid. The fees charged for each type of application shall be as scheduled below:
1. Board of Adjustment: two hundred fifty dollars (\$250.00).
 2. Conditional use permit: two hundred fifty dollars (\$250.00).
 3. Site plan review: two hundred dollars (\$200.00).
 4. Zoning amendment: two hundred dollars (\$200.00).
 5. Subdivision.
 6. Subdivision or resubdivision of a tract or parcel of real property (including a condominium): two hundred dollars (\$200.00).
 7. Plus, per lot or condominium unit: thirty-five dollars (\$35.00).
 8. Historic Preservation Commission Review: twenty-five dollars (\$25.00).
 9. Redevelopment plan, including tax abatement: four hundred dollars (\$400.00).
 10. Community Improvement District (CID) / Neighborhood Improvement District (NID): two hundred fifty dollars (\$250.00).
 11. Bonds per Chapter 100 RSMo. / commercial bonds: one thousand dollars (\$1,000.00).
 12. [Comprehensive sign plan: two hundred dollars \(\\$200.00\).](#)

Comprehensive Plan

Sign regulations are not directly addressed in the comprehensive plan. Staff has no concerns about the proposed amendments' compliance with the comprehensive plan.



Department of Planning and Development

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MEMO

Meeting Date: August 28, 2024
To: Plan Commission
From: Department of Planning & Development
Case Number: TXT-24-05
Council District: n/a
Applicant: City of University City
Request: Review of proposed text amendments regarding code section §400.2140, off-street parking requirements, and §400.030, definitions

At the upcoming Plan Commission meeting, commissioners will consider a text amendment to the zoning code which would create off-street parking requirements for coffee shops. On August 6, 2024, the Code Review Committee met with staff to review the below proposed amendments. The Committee recommended the text amendment to the full Plan Commission.

Currently, the parking requirements in § 400.2140 only include a use category for “restaurants, bars, and taverns,” which staff believes differs significantly enough from coffee shops to warrant a separate requirement. Coffee shops generate less parking demand than restaurants, mostly due to shorter visits and higher turnover of parking spaces.

Staff gathered examples from peer cities both in the St. Louis region and in other regions across the country. The non-regional examples were chosen for having similar characteristics to University City and for being known as leaders in zoning reform. Not all municipalities had a separate parking requirement for coffee shops, but when they did differentiate between coffee shops and restaurants, the parking requirement for coffee shops was always lower than the requirement for restaurants/bars.

Below is a summary of the coffee shop parking requirements in University City compared to selected peer cities. An example coffee shop with 2,000 square feet of gross floor area, 40 seats, and 4 employees on the maximum shift was used to help demonstrate the impact of the requirements.

- **University City, MO – Restaurants, bars, and taverns**
 - 1 space per 75 square feet (GFA)
 - 27 parking spaces required for example coffee shop (no maximum)
- **Webster Groves, MO – Coffee shop, no drive-thru**
 - 1 space per 300 square feet (GFA)
 - 7 spaces required for example coffee shop (9 spaces maximum)
- **Chesterfield, MO – Coffee shop**
 - 1 space per 200 square feet of commercial floor space
 - 10 spaces required for example coffee shop (12 spaces maximum)
- **St. Louis Park, MN – Coffee shop**
 - 1 space per 200 square feet of floor area
 - 10 spaces required for example coffee shop (20 spaces maximum)



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6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 505-8500, Fax: (314) 862-3168

A full comparison table is in “Attachment A.” This table includes several other peer cities, and is organized by cities that have separate parking requirements for coffee shops versus cities that only have a broader “restaurant” parking requirement.

Staff recommends modeling the coffee shop requirement on the Chesterfield, MO and St. Louis Park, MN requirement of 1 parking space per 200 square feet of gross floor area (GFA). Additionally, for coffee shops with drive-throughs, staff recommends using the same stacking requirements as required for fast-food restaurants in University City: 8 stacking spaces for each service window; plus 2 spaces for each customer service window.

Proposed text amendment:

§ 400.2140 Schedule of Off-Street Parking Space Requirements.

Table excerpt shown below (the full table continues above and below the excerpt shown below)

Use	Minimum Parking Requirements
Car wash, self-service	4 stacking spaces for each washing bay; plus 1 parking space per washing bay for drying vehicles; plus 2 stacking spaces for each vacuuming station which is separated from the stacking lanes to the washing bays
Clubs and lodges	1 space for every 3 persons based on design occupancy load per the University City Building Code
Coffee shop	1 space for each 200 square feet of gross floor area (GFA); and, when a drive-through is included, 8 stacking spaces for each service window, plus 2 spaces for each customer service window
Convalescent and nursing homes	1 space for every 3 patients based on designed maximum capacity
Convenience stores	(see Grocery store)
Day-care centers	1 space for every 5 individuals cared for as authorized by State licensing
Dormitories	2 spaces for every 3 beds based on the designed maximum capacity

§ 400.030 Definitions – add new definition for “coffee shop”

COFFEE SHOP

[An establishment that primarily sells coffee and coffee-related accessories. They may also sell other refreshment items such as donuts, bagels, muffins, cakes, sandwiches, wraps, salads, and other hot and cold beverages. Limited indoor and/or outdoor seating is generally provided for patrons, but table service is not provided.](#)



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Comprehensive Plan

The proposed text amendment complies with the comprehensive plan, particularly objective A.5.1: Revise car-oriented standards, such as parking minimums, to encourage alternatives to car-based transportation, especially in higher density, mixed-use areas (e.g., Activity Centers as described in chapter 4, pg. 109).

	City Use type	Basis of calculation	Minimum Parking Ratio	Notes	Parking required for an example 2,000 SF coffee shop (40 seats, 4 employees per maximum shift)
Baseline	University City, MO “Restaurants, bars, and taverns” link	Gross floor area (GFA)	1 per 75 GFA	A text amendment in 2019 made it so that kitchens, bathrooms, and storage areas were included in the area calculated for parking requirements. Before this amendment, those areas were excluded from the req.	27 parking spaces
Cities that differentiate coffee shops from restaurants	Chesterfield, MO “Coffee shop” link	GFA	5 spaces per 1,000 GFA (1 per 200 SF) plus stacking spaces for drive-thru (if applicable)	MAXIMUM parking (120% of the required number of spaces) Definition of coffee shop: “An informal restaurant primarily offering coffee, tea, and other beverages, and where light refreshments and limited menu meals may also be sold.”	10 parking spaces minimum 12 parking spaces maximum Plus stacking spaces for drive-through if applicable
	Chesterfield, MO “Bakery” link	GFA	3.3 spaces per 1,000 GFA (1 per 303 SF)	MAXIMUM parking (120% of the required number of spaces) Definition of bakery: “An establishment primarily engaged in the retail sale of baked products for consumption off site. The products may be prepared either on or off site. Such use may include incidental food service.”	BAKERY: 7 parking spaces minimum 9 parking spaces maximum
	Webster Groves, MO “Coffee shop, no drive-thru” link	SF of commercial floor space	1 space per 300 SF of commercial floor space	MAXIMUM parking (120% of the required number of spaces) Definition almost identical to Chesterfield'	7 parking spaces minimum 9 parking spaces maximum
	Webster Groves, MO “Coffee shop, with drive-thru” link	Seats and employees	1 space for every 2 seats plus 2 spaces for every 3 employees on the maximum shift	MAXIMUM parking (120% of the required number of spaces) Definition almost identical to Chesterfield'	22 parking spaces minimum 27 parking spaces maximum

Cities that differentiate coffee shops from restaurants	St. Louis Park, Minnesota “Coffee shop” link	SF of floor area	1 space per 200 SF of floor area	MAXIMUM parking is 1 space per 100 SF of floor area Definition: “Coffee shop means an establishment that primarily sells coffee and coffee-related accessories. They may also sell other refreshment items such as donuts, bagels, muffins, cakes, sandwiches, wraps, salads, and other hot and cold beverages. Limited indoor seating is generally provided for patrons, but table service is not provided”	10 parking spaces minimum 20 parking spaces maximum *Allows reductions for proximity to transit (10-30% reductions available depending on type of transit and frequency) – see more below in notes
	St. Louis Park, Minnesota “Food Service or Bakeries” link	SF of floor area	1 space per 300 SF of floor area	MAXIMUM parking is 1 space per 150 SF of floor area Definition: Food service means the on-site sale of food and beverages which are prepared and served in individual portions in a ready to consume state for consumption either on-site or off-site, including seating for not more than ten persons. Characteristics may include truck and vehicle traffic, cooking odors and refuse. The preferred location is on major thoroughfares with no access to local residential streets. This use is often found in conjunction with motor fuel stations and grocery stores. (no specific definition for “Bakeries”)	7 parking spaces minimum 14 parking spaces maximum *Allows reductions for proximity to transit (10-30% reductions available depending on type of transit and frequency) – see more below in notes
	Clayton, MO “Restaurants” exceeding 3,000 sf link	Seats	3 spaces for every 5 seats, except that first 3,000 SF is exempt	Parking is only required for restaurants exceeding 3,000 square feet. For example, a 4,000 square-foot restaurant would only need to provide parking for 1,000 square feet	0 parking spaces
	Brentwood, MO “Restaurants and other eating and drinking establishments” link	Square feet (SF)	14 spaces per 1,000 SF (carryout or drive-thru) 16 spaces 1,000 SF (sit-down)	MAXIMUM parking is 120% of the requirement	28 parking spaces for a carryout or drive-through 32 parking spaces for a sit-down restaurant

	<p>Creve Coeur, MO “Food services and drinking places” link</p>	<p>Maximum occupancy and GFA</p>	<p>1 space per 3 seats of maximum occupancy PLUS 1 space per 250 GFA</p>	<p>Maximum occupancy could be a better way to calculate parking requirements than the number of seats because seating layouts aren’t permanent. The downside is that parking is then based on a rare full occupancy scenario, so it may result in excess parking being built.</p>	<p>25 parking spaces (assuming maximum occupancy of 50 persons)</p>
	<p>St. Charles, MO “Restaurant (sit-down, drive-in, or carry out)” link</p>	<p>Square feet (SF) of floor area</p>	<p>1 space per 100 square feet of floor area</p>	<p>“Floor area” is defined to the area of a building used for service to the public as customers/patrons. Floor area does NOT include storage, janitorial closets, stairways/elevators, restrooms, utility closets, employee lounges</p>	<p>15 parking spaces (assumes 25-50% of the gross floor area is used for storage, restrooms, etc., - non-customer serving areas)</p>
	<p>Kirkwood, MO “Restaurant” link</p>	<p>Square feet (SF) of floor area</p>	<p>1 space per 100 square feet of floor area</p>	<p>Up to 15% of gross floor area can be excluded from the calculation if the area is used for storage, restrooms, utilities or other maintenance areas, loading and unloading docks, and other areas incidental to the principal use</p>	<p>17 parking spaces (assumes 15% of GFA is for storage, restrooms, etc.)</p>
	<p>Indianapolis, IN “Eating Establishment or Food Preparation” link</p>	<p>Square feet (SF)</p>	<p>1 space per 150 square feet</p>	<p>MAXIMUM parking ratio of 1 per 100 square feet</p>	<p>14 parking spaces minimum 20 parking spaces maximum</p>
	<p>Evanston, IL “Restaurants, type 1 and 2” link</p>	<p>GFA</p>	<p>1 space per 1,000 GFA (except that first 2,000 or 3,000 SF are exempt)</p>	<p>Type 1 is a sit-down restaurant; Type 2 is a carryout restaurant The first 2,000 SF for any building on a nonresidential lot is exempt from req; the first 3,000 SF for any building in downtown is exempt.</p>	<p>0 parking spaces</p>
	<p>Kansas City, MO “Eating and drinking establishments”</p>	<p>GFA</p>	<p>10 spaces per 1,000 GFA</p>		<p>20 parking spaces</p>
	<p>Minneapolis, MN</p>	<p>-</p>	<p>None</p>	<p>Minneapolis eliminated parking requirements city-wide for all uses in 2021</p>	<p>0 parking spaces</p>
	<p>Cincinnati, OH</p>	<p>Square feet (SF)</p>	<p>1 space per 150 SF</p>	<p>Their code differentiates between drinking, full service restaurants, and limited service restaurants; but same ratio for all three types</p>	<p>14 parking spaces</p>

Other notes:

St. Charles, MO

- Drinking place, bar, or tavern - 6 per 1,000 GFA (1 per 167 sf)
- Their code also allows 15% of parking to be for compact cars

Crestwood

- Restaurants, bars and taverns (no drive thru) - 1 space for every 4 seats, plus 1 for every 30 sf of floor area devoted to standing or waiting areas

Evanston, IL

- Size of parking stalls - 8.5' x 18'
- Allows a parking reduction of 20% in their core/downtown areas for commercial uses (ie residential uses don't get the 20% reduction)
- Drive thru - 4 stacking spaces for the first window, plus 2 stacking spaces for each additional window, plus parking as required

St. Louis Park, MN

- Parking requirements can be "revised upward or downward by the city council as part of an application for a conditional use permit or planned unit development based on verifiable information pertaining to parking."
- **Reductions available:** The following off-street parking reductions may be utilized jointly or separately except as indicated otherwise:
 - Transit deductions. Only one of the following deductions may apply:
 - Parking requirements may be reduced based on the proximity to a light rail station (LRT). Distance shall be measured from the station platform to the property line by walking distance via sidewalk, trail, and/or city centerlines.
 - 30 percent reduction when the use is located up to ¼ mile from the LRT station.
 - 20 percent reduction when the use is located up to ½ mile from the LRT station.
 - High frequency bus service. Parking may be reduced by up to 15 percent for any parcel located within one-quarter mile of high-bus transit with service at least every 15 minutes. The service must operate between 6 a.m. and 7 p.m. on weekdays and 9 a.m. and 6 p.m. on Saturdays.
 - Regular bus service. Parking may be reduced by up to 10 percent for any parcel located within one-quarter mile of regular bus transit service on all days of the week and adequate pedestrian access must be available between the transit stop and the parcel. Regular transit service shall operate at least twice hourly between 7:30 a.m. and 6:30 p.m. on weekdays and once hourly after 6:30 p.m. Regular transit service shall operate on Saturdays, Sundays, and holidays.
 - On-Street Parking. Parking may be reduced on a one-for-one basis through the use of on-street parking adjacent to the parcel. To qualify, adequate pedestrian access must be available between the principal structure and all on-street parking spaces. On-street parking reductions may be approved by the Zoning Administrator, subject to a determination by the City Engineer that adequate off-street parking will be available to accommodate vehicles during snow removal and other periods of parking restrictions.
 - Travel Demand Management. In those instances where no transit or on-street parking reductions are available, parking may be reduced by five percent through the implementation of a travel demand management plan. Such a plan shall be filed with and approved by the Zoning Administrator and may be subject to yearly review.
- They also have robust **EV parking requirements** if the committee would ever like to review ([link](#)) on pages 7-11 of the pdf