



Plan Commission

6801 Delmar Boulevard, University City, Missouri 63130 | 314-505-8500 | Fax: 314-862-3168

AGENDA

PLAN COMMISSION MEETING

Wednesday, March 26, 2025 at 6:30 pm

Location: Hybrid meeting (both in-person and virtual* attendance options)

Heman Park Community Center (975 Pennsylvania Avenue)

**For virtual meeting details, see next page.*

1. Roll Call

2. Approval of Minutes

- a. February 26, 2025 Plan Commission Minutes

3. Public Comments – (Limited to 3 minutes for individual’s comments, 5 minutes for representatives of groups or organizations.)

4. Old Business

5. New Business

a. REZ-25-01

Applicant: Drew Bextermueller (Dierbergs University City, LLC)

Request: Approval of a Map Amendment from Industrial Commercial (IC) to Planned Development – Commercial (PD-C), and Approval of Preliminary Development Plan

Location: Market at Olive Plat 7, Lots 2 and 3

VOTE REQUIRED

b. FDP-25-01

Applicant: Drew Bextermueller (Dierbergs University City, LLC)

Request: Approval of a Final Development Plan

Location: Market at Olive Plat 7, Lots 2 and 3

VOTE REQUIRED

6. Other Business

7. Reports

- a. Council Liaison Report
- b. Code Review Committee
- c. Comprehensive Plan Committee
- d. Housing & Third Ward Revitalization Task Force Report
- e. Staff Updates

8. Adjournment



Plan Commission

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VIRTUAL MEETING DETAILS

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Wednesday, March 26, 2025 at 6:30 pm

Location: Hybrid meeting (both in-person and virtual* attendance options)

Heman Park Community Center (975 Pennsylvania Avenue)

**For virtual meeting details, see next page.*

Observe and/or Listen to the Meeting (your options to join the meeting are below):

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/82007565121?pwd=Jg5xKyMyRYGfH0R34zAetM9CyRE6pu.1>

Passcode: 245048

Phone one-tap:

+19292056099,,82007565121#,,,,*245048# US (New York)

+13017158592,,82007565121#,,,,*245048# US (Washington DC)

Join via audio:

+1 929 205 6099 US (New York)

+1 507 473 4847 US

+1 301 715 8592 US (Washington DC)

+1 564 217 2000 US

+1 305 224 1968 US

+1 669 444 9171 US

+1 309 205 3325 US

+1 669 900 6833 US (San Jose)

+1 312 626 6799 US (Chicago)

+1 689 278 1000 US

+1 646 931 3860 US

+1 719 359 4580 US

+1 346 248 7799 US (Houston)

+1 253 205 0468 US

+1 360 209 5623 US

+1 253 215 8782 US (Tacoma)

+1 386 347 5053 US

Webinar ID: 820 0756 5121

Passcode: 245048

International numbers available: <https://us02web.zoom.us/j/kwgx7wmD>

Citizen Participation

Comments may be sent via email to: jwagner@ucitymo.org or mailed to the City Hall – 6801 Delmar Blvd. – Attention John L. Wagner, Director of Planning and Development. Such comments will be provided to the Plan Commission prior to the meeting. Comments will be made a part of the official record and made accessible to the public online following the meeting. Please note, when submitting your comments or invites, a **name and address must be provided**. Please also note if your comment is on an agenda or non-agenda item, and a name and address are not provided, the provided comment will not be recorded in the official record.



MEETING MINUTES (DRAFT)
PLAN COMMISSION

Location: Heman Park Community Center (975 Pennsylvania Ave)
Wednesday, February 26, 2025, at 6:30pm

The Plan Commission held its regular session on Wednesday, February 26, 2025, at the Heman Park Community Center. The meeting commenced at 6:30 pm and adjourned at 6:53 pm.

Call to Order – (6:30 pm)

1. Roll Call

Present

Matt Belz

Mark Harvey

Ellen Hartz

Charles Gascon

Tori Gonzalez

Al Fleischer Jr.

Absent

Patricia McQueen

Staff Present

John Wagner, Director of Planning & Development

Noah Chapin, Planner

2. Public Comments – None

**3. Approval of Minutes – Minutes from May 2, 2024, amended to fix a typo then approved.
Minutes from January 2, 2025, approved as printed.**

4. Old Business - None

5. New Business

a. Amendment to CUP-24-05

Applicant: Michael Del Pietro

Request: Consider amendment to conditional use permit to allow for a reduction in the required parking from 31 to 29 parking stalls.

Location: 7489 Delmar Boulevard

VOTE REQUIRED

Dr. Wagner introduced the item. The CUP for the restaurant has already been approved, but based on a change to the site design the CUP now requires a slight parking reduction of 5.2%. There was no parking reduction required previously.

Commissioner Harvey asked if there has been any discussion between the applicant and the neighboring dry-cleaning services as it relates to sharing parking. The applicant indicated that he will be exploring those options as he gets closer to opening.

Commissioner Fleischer commented that the City Fire Marshall and other staff are in support of the changes to the site design.

A motion to approve the amendment to the CUP was made by Commissioner Harvey and seconded by Commissioner Fleischer. Vote passed 6-0.

b. Amendment to CUP-22-09

Applicant: 170 and Olive Holdco, LLC.



Department of Planning and Zoning

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 505-8500, Fax: (314) 862-3168

Request: Conditional Use Permit (CUP) to allow a reduction of up to 20% in the number of required off-street parking spaces, as required by Section 400.2140 of the Zoning Ordinance, for Lot 9 of the Market at Olive, Plat 2, in the “PD-C” Planned Commercial District.

Location: 8630 Olive Boulevard

VOTE REQUIRED

Mr. Chapin introduced the item. This site at Market at Olive has already been constructed, but the ratio of uses in the building has changed, therefore slightly increasing the parking requirement. This CUP was originally approved for a 10.7% parking reduction and now requires a 14.23% parking reduction to stay in agreement with the zoning code.

No comments from the public, applicant, or commissioners. Motion to approve amendment was made by commissioner Fleischer, and the vote passed 6-0.

6. **Other Business** - none
7. **Reports** - none
8. **Adjournment** – The meeting was adjourned at 6:53 pm.

DRAFT



Department of Planning and Zoning

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 505-8500, Fax: (314) 862-3168

STAFF REPORT

Meeting Date	26 March, 2025
File Number	REZ-25-01
Council District	3
Location	Market at Olive Plat 7, Lots 2 and 3
Applicant	Drew Bextermueller (Dierbergs University City, LLC)
Property Owner	Dierbergs University City, LLC.
Request	Map Amendment from Industrial Commercial (IC) to Planned Development – Commercial (PD-C). Approval of preliminary development plan* <i>*Simultaneous application with FDP-25-01</i>

Comprehensive Plan Conformance:

Yes No No reference

Staff Recommendation:

Approval Approval with Conditions Denial No Recommendation

Attachments:

- A. Application
- B. Site Plans
- C. Boundary Adjustment Plat (included for reference)
- D. Landscape Plan
- E. Photometric Plan
- F. Building Elevations and Renderings

Applicant Request

The applicant, Drew Bextermueller, is requesting approval of a Map Amendment (rezoning) application for Lots 2 and 3 of the Market at Olive Plat 7, the last remaining out-lots on the Dierbergs site. The applicant requests both lots be rezoned from Industrial Commercial (IC) to Planned Development – Commercial (PD-C) to allow for restaurant, retail, and office uses. The PD-C zoning request matches the zoning of the rest of the Market at Olive development.

Existing Property

The properties are part of the Market at Olive development. The two subject lots have frontage on Olive and are situated directly north of the Dierbergs site (Market at Olive Plat 7, Lot 1). The lots are currently graded but undeveloped.

Figure 1. Aerial View of Subject Property and Surroundings

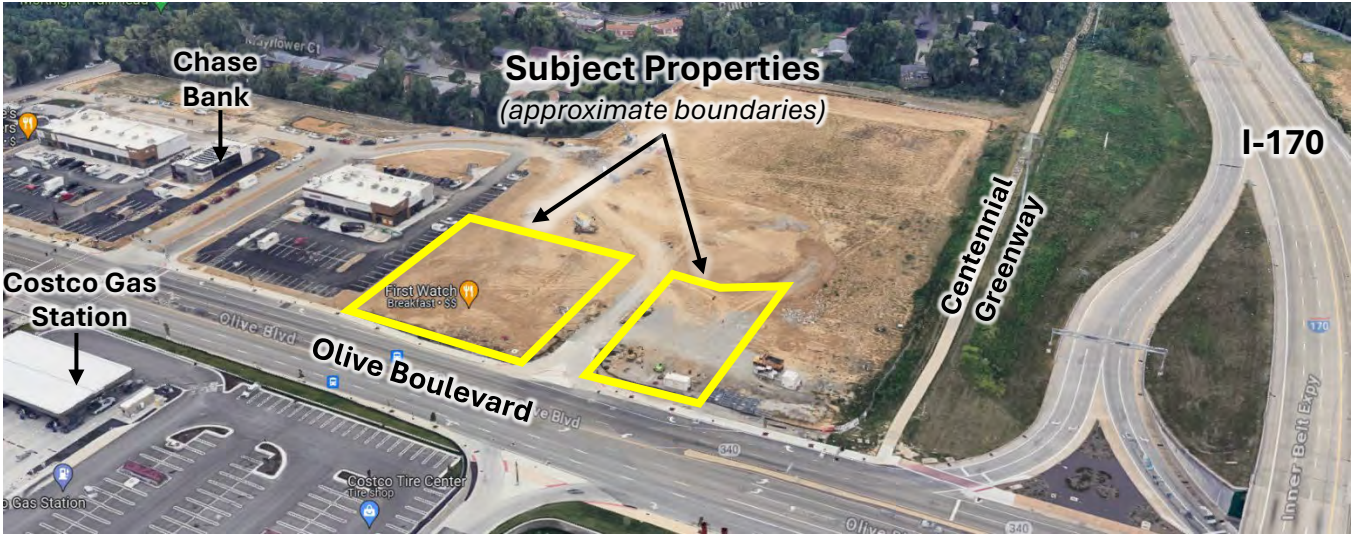


Table 1. Zoning & Land Use Context

Existing Zoning & Land Use		Surrounding Zoning & Land Use	
Existing Zoning:	Industrial Commercial (IC)	North:	PD-C; Grocery store (Costco)
Existing Land Use:	Vacant	East:	PD-C; Retail, bank, restaurant
Proposed Zoning:	Planned Development – Commercial (PD-C)	South:	PD-C; Grocery Store
Proposed Land Use:	Restaurant, Retail, Office	West:	PD-C; Coffee shop

Figure 2. Site plan showing Lots 2, 3, and 4

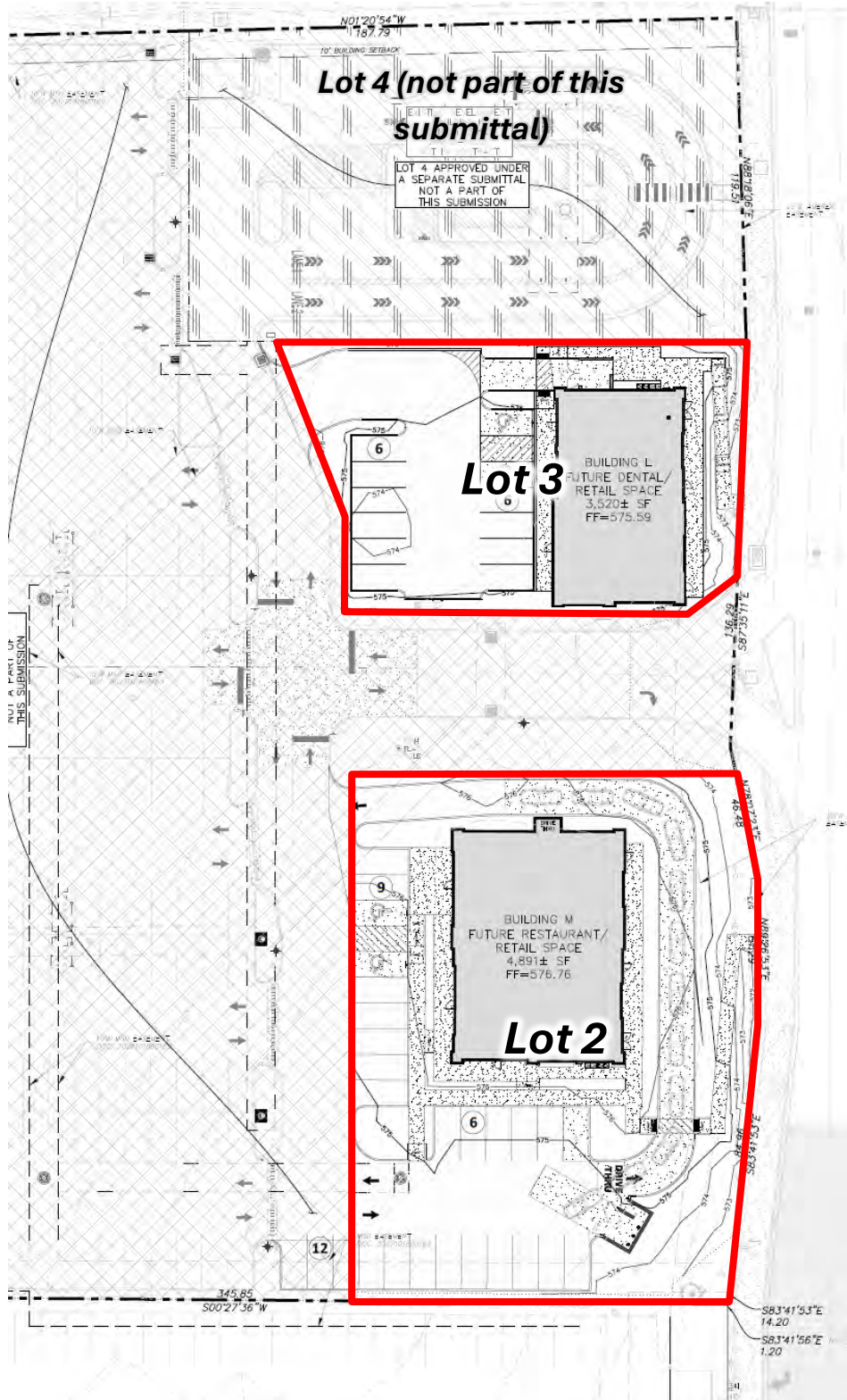
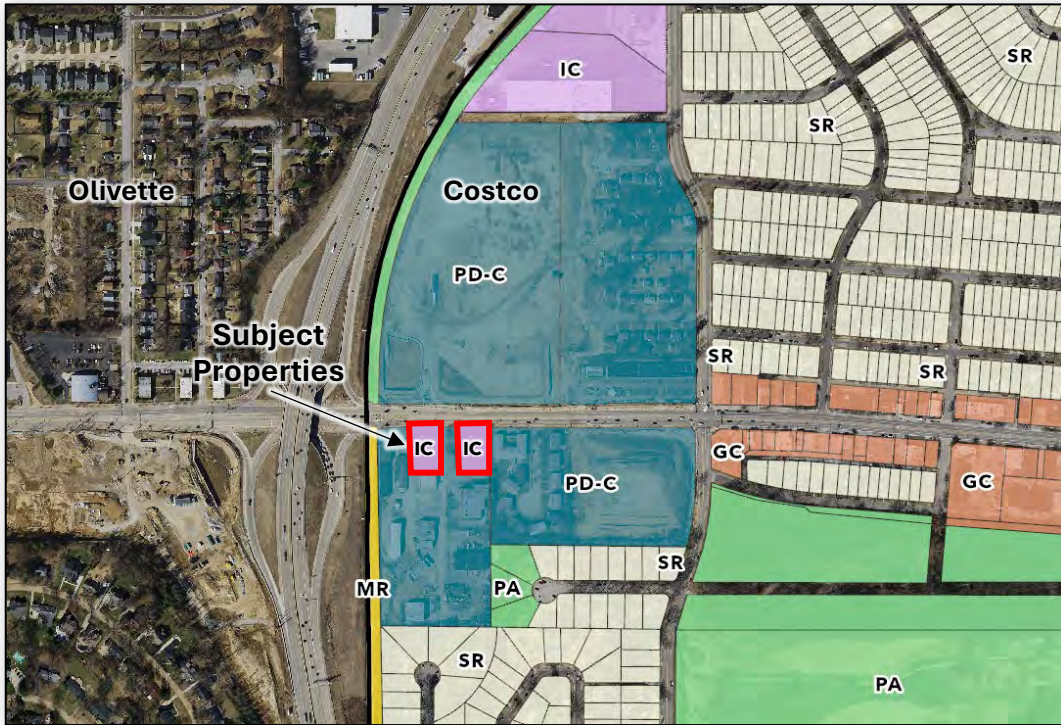


Figure 3. Surrounding Zoning



Analysis

Land Use and Zoning

The subject properties are the last two lots in the Market at Olive development to be rezoned from IC to PD-C. Given their nature as part of the larger Market at Olive development, it is appropriate for these lots be zoned PD-C to match the surrounding zoning, uses, and context.

Minimum Planned Development Size

Lot 2 is 0.59 acres in area; and Lot 3 is 0.32 acres. The minimum site size for planned developments is 1 acre. However, according to 400.770, “this minimum site size may be waived by the City Council upon report by the Plan Commission; if it is determined that the use proposed is desirable or necessary in relationship to the surrounding neighborhood; or if the City Council should determine such waiver to be in the general public interest.” Because this site is part of a larger planned development, staff is comfortable with the reduced minimum site size.

Dimensional Regulations

PD-C districts do not have setback, height, and density restrictions like the traditional zoning districts do. In addition to the minimum planned development size requirement above, there is a 70% limit on site coverage, and perimeter buffer requirements for PD-C districts that abut residential zones. The two subject properties do not abut residentially zoned property, so there is no buffer requirement.

The percentage of impervious site coverage across all 3 lots is 67.68%. Individually, Lots 2 and 3 are over 70% site coverage. However, these sites were designed in conjunction with Lot 1 to ensure that the total development would comply with the site coverage requirements.

Landscaping and Screening Requirements

Landscaping along the street frontage and parking lot landscaping are required, per Section 400.2040 of the zoning code. The landscaping requirements have been met.

Screening is required for any ground- or roof-mounted mechanical equipment, per §400.1200, and screen is also required for rubbish, garbage, and dumpster containers, per §400.1210.

Lighting Requirements

A photometric plan has been provided which demonstrates compliance with §400.2110, which describes the illumination requirements for off-street parking and loading areas.

Off-Street Parking & Loading Requirements

Parking calculations for Lots 2 and 3 are as follows:

Lot 2

- 2,308 sq.ft. retail/office (1 parking space per 200 sq.ft.) = 11.54 spaces
- 2,583 sq.ft. restaurant (1 parking space per 75 sq.ft.) = 34.44 spaces
- 46 total spaces required
- **24 provided on Lot 2**
- **Remaining 22 parking spaces provided on Lot 1** (see note below)

Lot 3

- 3,437 sq.ft. retail/office (1 parking space per 200 sq.ft.) = 17.19 spaces
- 17 total spaces required
- **12 provided on site**
- **Remaining 5 parking spaces provided on Lot 1** (see note below)

Total site (Lots 1, 2, and 3):

- 289 parking spaces required
- **297 provided for all three lots combined** (exceeds requirement by 8 spaces)

Lot 1 far exceeds the required amount of parking: 261 parking spaces have been provided, while only 226 spaces are required for the grocery store, which leaves excess parking to help satisfy the required parking for Lots 2 and 3. In addition, the total number of parking spaces provided across all three lots (297 spaces) exceeds the combined requirement (289 spaces). Therefore, Lots 2 and 3 are eligible to locate a portion of their required parking off-site, on Lot 1, which is allowed per §400.2010 of the University City zoning code. While all three lots are under common ownership, the owner is still required to record an agreement to share parking across Lots 1, 2, and 3, with the St. Louis County Recorder of Deeds as stated in §400.2010(B)(1). Lot 2 will require 22 spaces to be located on Lot 1. Lot 3 will require 5 spaces to be located on Lot 1.

Bicycle Parking

Bicycle racks have been provided, and the requirement has been satisfied.

Comprehensive Plan

The future character and land use map of the comprehensive plan identifies the subject property as “Regional Retail District”. The intent of the Regional Retail District is to “accommodate a wide range of commercial/retail uses to serve the community and region, concentrate future commercial development near major intersections, and reduce access points into developments and encourage shared access to improve pedestrian and vehicular safety.” The proposed uses are consistent with

the intent of concentrating commercial development near the I-170 interchange.

Process – Required City Approvals

Plan Commission. Section 400.3180 of the Zoning Code requires that Map Amendment applications be reviewed by Plan Commission after receipt of staff review report. The Plan Commission shall report a recommendation to the City Council for their consideration.

City Council. Sections 400.3190 and 400.3200 of the Zoning Code require that a public hearing be held by the City Council before making a final decision, subsequent to receiving a recommendation from Plan Commission.

Staff Recommendation

Staff recommends approval of the proposed Map Amendment and Preliminary Development Plan with the following condition:

1. The owner shall prepare an agreement which allows the remaining required parking spaces for Lots 2 and 3 to be located on Lot 1. Lot 2 requires 22 spaces to be located on Lot 1, and Lot 3 require 5 spaces to be located on Lot 1. This agreement shall be recorded with the St. Louis County Recorder of Deeds as required in §400.2010.



Department of Planning & Development

6801 Delmar Boulevard • University City, Missouri, 63130 • 314-505-8500 • Fax: 314-862-3168

APPLICATION FOR ZONING MAP AMENDMENT

1. Address / Location / Site of Building: _____

2. Current Zoning District (Check one):

___ CC ___ GC ___ HR ___ HRO IC ___ LC ___ LR ___ MR ___ PA ___ PD ___ SR

3. Proposed Zoning District (Check one):

___ CC ___ GC ___ HR ___ HRO ___ IC ___ LC ___ LR ___ MR ___ PA PD ___ SR

4. State proposed use: PD-C Lots 2 and 3 for future use as Business/Mercantile/Restaurant

5. Describe existing premises: Lots 2 and 3 are existing rough-graded vacant sites

6. Describe proposed construction (please attach additional narrative):

Lot 2 - site development for a 4,891sf +/- Business/Mercantile/Restaurant building

Lot 3 - Site development for a 3,437sf +/- Business/Mercantile/Restaurant building

7. State applicant's name, address and daytime telephone number: Drew Bextermueller - Director of Real Estate
Dierbergs University City, LLC 16690 Swingley Ridge Rd. 4th flr, Chesterfield, MO 63017 (636) 812-1360

8. Applicant's interest in the property (check one): Owner ___ Tenant ___ Under contract to purchase

___ Under contract to lease ___ Other (specify): _____

9. State name and address and daytime telephone number of owner, if other than applicant:

Dierbergs University City, LLC 16690 Swingley Ridge Rd. 4th flr, Chesterfield, MO 63017 (636) 812-1360

___ Other (specify): _____

The undersigned hereby makes application for a Site Plan Review and requests the authorization of the City Council to proceed with the activities described in this application. *Dierbergs University City, LLC*

2/24/25
Date

Drew Bextermueller - Director of Real Estate
Applicant's Signature and Title

FOR OFFICE USE ONLY

Date: _____ Application first received of _____

Application fee in the amount of \$ _____ Receipt # _____



1 OVERALL SITE PLAN
 A100 SCALE: 3/8" = 1'-0"

DIERBERGS MARKETS - UNIVERSITY CITY
 OUTLOT L

MARKET AT OLIVE
 UNIVERSITY CITY, MO 63132



Date

CONSTR. DOC. & REVISIONS
 Description

No.

CASCO DIVERSIFIED CORPORATION
 ARCHITECTURAL
 Registration No. 000329
 Expiration Date: 12/31/25

Professional of Record:
 KEYMA L. BULLOCK
 License No.: 2004011669
 Expiration Date: 12/31/26

Drawn/Checked	KMH/ KLB
Project Number	2504860
Owner Date	--/--
Bid Date	--/--
Permit Date	--/--

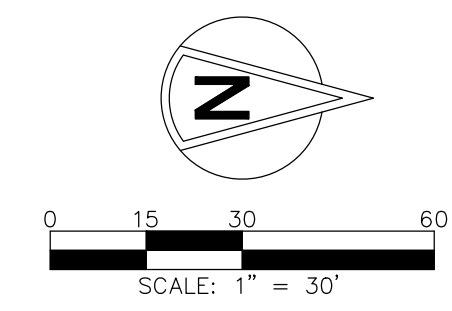
OVERALL SITE PLAN

A100

CUMULATIVE SITE COVERAGE CALCULATIONS

Lot	Total Area (sf)		Pervious Area (sf)		Impervious Area (sf)		Total Impervious Percentage
	Total Area (sf)	Area (ac)	Total Area (sf)	Area (ac)	Total Area (sf)	Area (ac)	
Lot 1	235,320	5.40	82,201	1.89	153,119	3.52	67.68%
Lot 2 (Future Development)	45,260	1.04	11,819	0.27	33,441	0.77	
Lot 3 (Future Development)	24,625	0.57	4,632	0.11	19,993	0.46	
Total Lot Area	305,205	7.01	98,652	2.26	206,553	4.74	

Site Coverage/Impervious Area includes buildings, driveways, parking lots, and loading areas.



PAVEMENT LEGEND

PROPOSED ASPHALT PAVEMENT	[Pattern]
PROPOSED CONCRETE PAVEMENT	[Pattern]
PROPOSED CONCRETE SIDEWALK	[Pattern]
ASPHALT/CONCRETE PAVEMENT OPTION	[Pattern]
EXISTING ASPHALT PAVEMENT	[Pattern]
EXISTING CONCRETE PAVEMENT	[Pattern]
EXISTING CONCRETE SIDEWALK	[Pattern]

CUMULATIVE PARKING CALCULATIONS

BUILDING USAGE:

BUILDING J - 75,934± SF TOTAL
 50,082± SF - RETAIL
 1 SPACE PER 250 SF
 25,852± SF - STORAGE
 1 SPACE PER 1,000 SF

BUILDING L - 3,437± SF TOTAL
 3,437± SF - BUSINESS/DENTAL
 1 SPACE PER 200 SF

BUILDING M - 4,891± SF TOTAL
 2,308± SF - BUSINESS
 1 SPACE PER 200 SF
 2,583± SF - RESTAURANT
 1 SPACE PER 75 SF

MUNICIPALITY REQUIRED PARKING:

BUILDING J - 75,934± SF TOTAL
 (50,082± SF / 250 SF) = 200.33 = 200
 (25,852± SF / 1,000 SF) = 25.85 = 26
 = 226 TOTAL SPACES REQUIRED

BUILDING L - 3,437± SF TOTAL
 (3,437± SF / 200 SF) = 17.19 = 17
 = 17 TOTAL SPACES REQUIRED

BUILDING M - 4,891± SF TOTAL
 (2,308 SF / 200 SF) = 11.54 = 12
 (2,583± SF / 75 SF) = 34.44 = 34
 = 46 TOTAL SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED
 226 SPACES REQUIRED
 + 17 SPACES REQUIRED
 = 243 SPACES REQUIRED

TOTAL PARKING PROVIDED:
 286 STANDARD SPACES
 + 11 ACCESSIBLE SPACES
 = 297 TOTAL SPACES PROVIDED

+ 8 CART CORRALS = 305 CUMULATIVE SPACES

ACCESSIBLE PARKING ANALYSIS:
 301-400 PROPOSED PARKING SPACES REQUIRE 8 ACCESSIBLE PARKING SPACES

8 ACCESSIBLE SPACES REQUIRED
 11 ACCESSIBLE SPACES PROVIDED

DIERBERGS MARKETS - UNIVERSITY CITY
 BUILDING L & BUILDING M
 MARKET AT OLIVE
 UNIVERSITY CITY, MO 63132



No. Preliminary Development Plan
 Description Preliminary Development Plan
 Date 02-24-25

CASCO DIVERSIFIED CORPORATION
 CERTIFICATE OF AUTHORITY - ENGINEERING
 License No. 800913 Expiration Date: 12/31/25

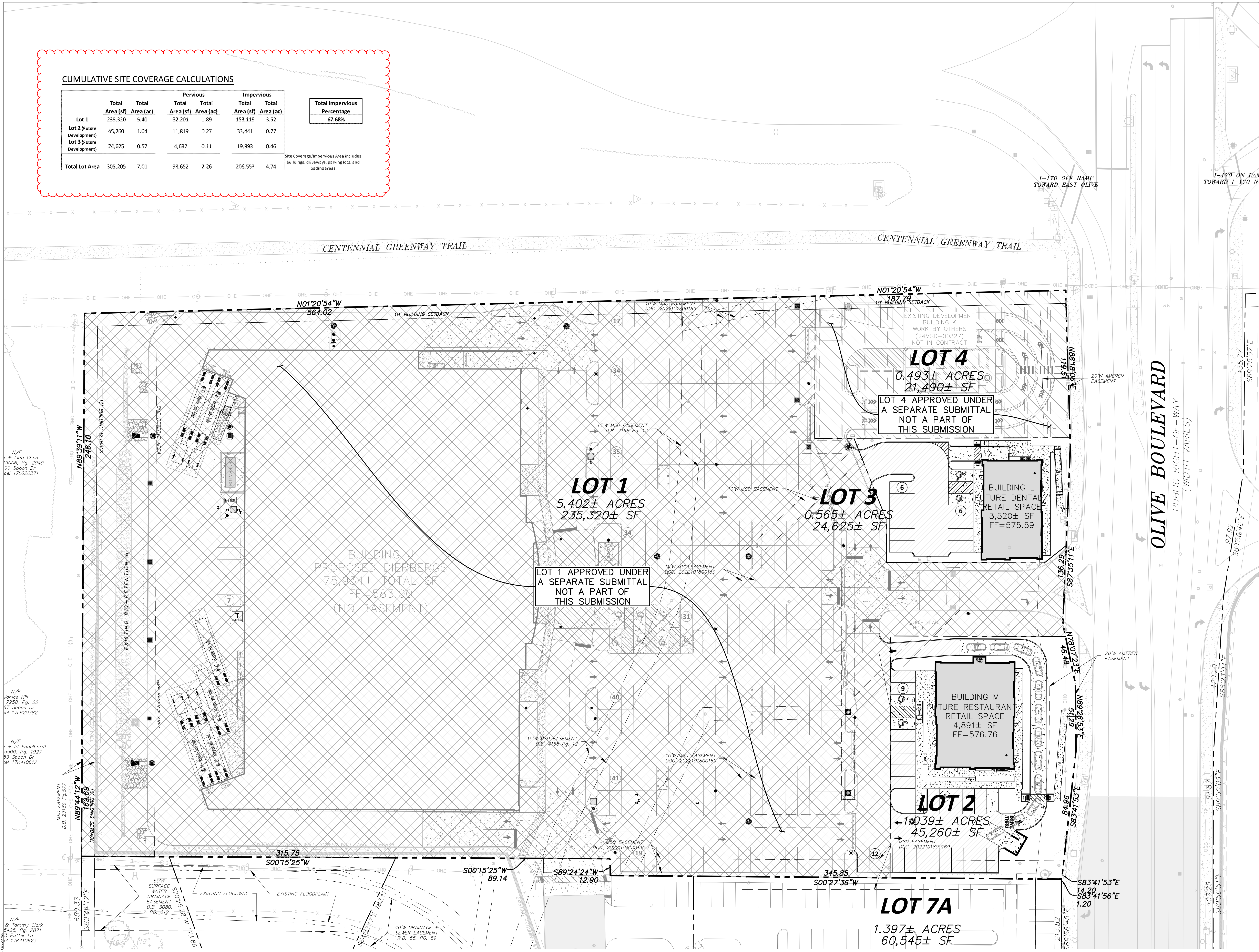
NOT FOR CONSTRUCTION
 FOR PLANNING PURPOSES ONLY

02-24-25
 PROFESSIONAL OF RECORD
 Sarah B. Fonda
 License No. PC-2021001024
 Expiration Date: 12/31/25

Drawn By/Checked By: MEB/SBF
 Project Number 2404573
 MSD Permit Date
 Permit Date
 Bid Date

FULL DEVELOPMENT - PRELIMINARY SITE PLAN

C1.0
 CALL BEFORE YOU DIG - DRILL - BLAST
 1-800-344-7483
 MISSOURI ONE-CALL SYSTEM, INC.
 25MSD-00012 | MSD Basemap: 25K/25L
 Existing Condition: 22MSD-00015



N/F & Ling Chen
 1906, Pg. 2949
 80 Spoon Dr
 cel 17620371

N/F Janice Hill
 7208, Pg. 22
 87 Spoon Dr
 cel 17620382

N/F & W Enghardt
 9500, Pg. 1927
 83 Spoon Dr
 cel 176410612

N/F Tommy Clark
 9425, Pg. 2871
 83 Spoon Dr
 cel 176410623

SHEET INDEX

C1.0 - FULL DEVELOPMENT - PRELIMINARY SITE PLAN
C2.0 - PRELIMINARY SITE PLAN
C3.0 - PRELIMINARY GRADING PLAN

EXISTING CONDITIONS NOTE

THE EXISTING TOPOGRAPHIC DATA, UTILITY LOCATIONS AND ELEVATIONS, AND ALL OTHER EXISTING SITE FEATURES SHOWN IN THIS PLAN SET ARE BASED ON THE AUTOCAD FILE PROVIDED BY ORMER CONSULTING, INC. RECEIVED OCTOBER 21, 2022 & AS-BUILT DRAWINGS OF THE EXISTING RETAINING WALL.



CONSTR. DOC. & REVISIONS
 Description
 Preliminary Development Plan
 No. -
 Date
 02-24-25

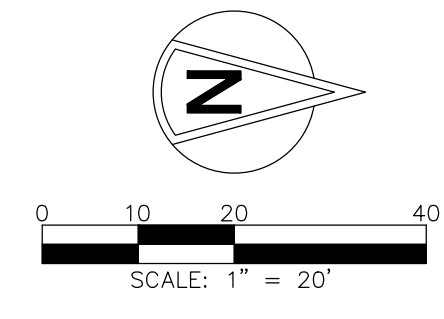
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NOT FOR CONSTRUCTION
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 Sarah B. Fonda
 License No. PE-2001001024
 Expiration Date: 12/31/25

Drawn By/Checked By: MEB/SBF
 Project Number 2404573
 MSD Permit Date ---
 Permit Date ---
 Bid Date ---

PRELIMINARY SITE
 PLAN - BUILDING L &
 BUILDING M



PAVEMENT LEGEND

PROPOSED ASPHALT PAVEMENT	
PROPOSED CONCRETE PAVEMENT	
PROPOSED CONCRETE SIDEWALK	
ASPHALT/CONCRETE PAVEMENT OPTION	
EXISTING ASPHALT PAVEMENT	
EXISTING CONCRETE PAVEMENT	
EXISTING CONCRETE SIDEWALK	

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301-400 PROPOSED PARKING SPACES REQUIRE 8 ACCESSIBLE PARKING SPACES

8 ACCESSIBLE SPACES REQUIRED
 11 ACCESSIBLE SPACES PROVIDED

INDIVIDUAL SITE COVERAGE CALCULATIONS FOR LOTS 2 AND 3

LOT #	Total Area (sf)	Pervious Area (sf)	Impervious Area (sf)	Lot Coverage %
LOT 2	45,260	11,819	33,441	73.88%
LOT 3	24,625	4,632	19,993	81.18%

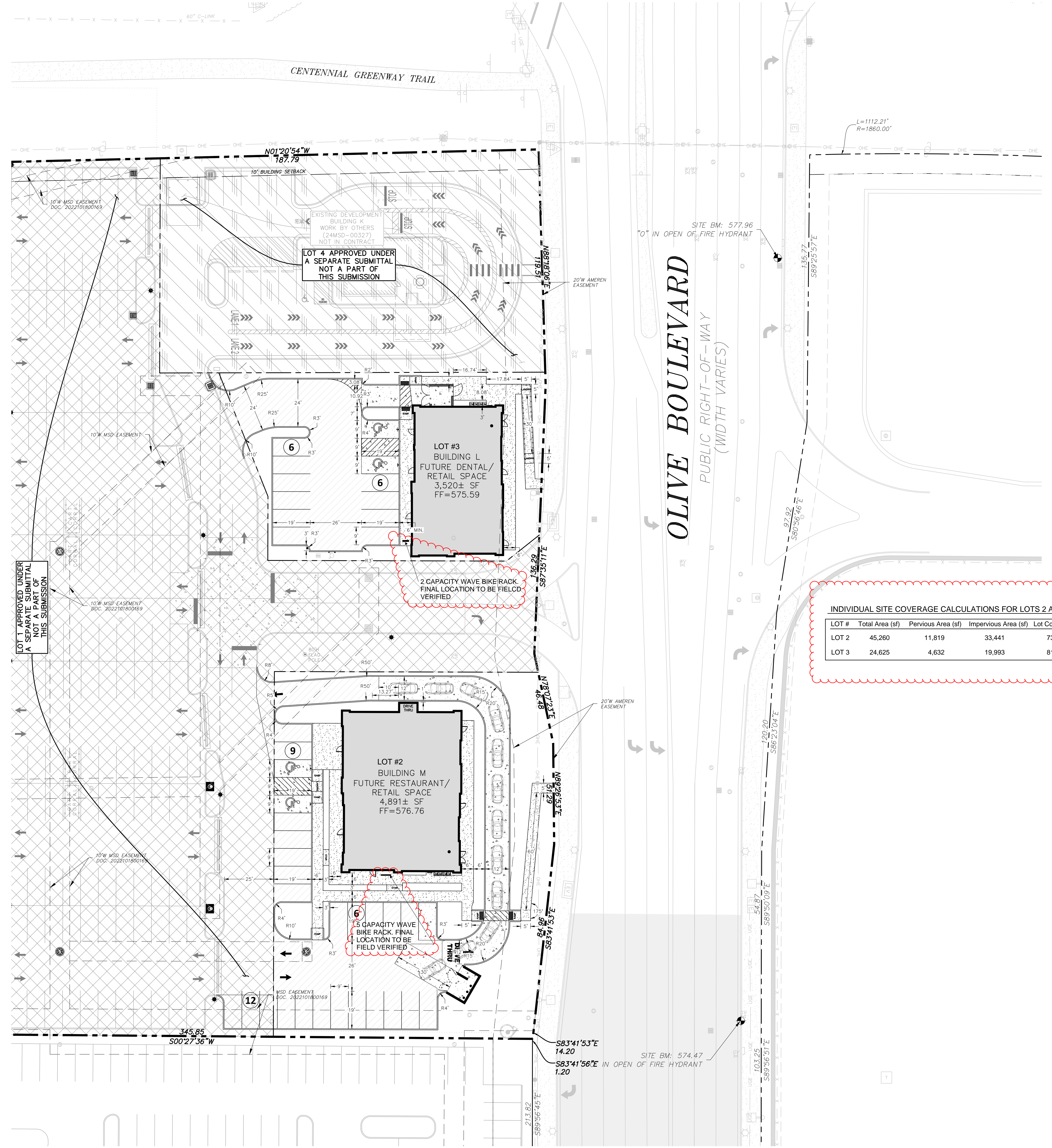
KEYNOTE LEGEND

Keynote	Description	Detail Reference
1C	80' Flag Pole	Detail 8 / C5.4
1D	Heavy Duty Concrete Pavement	Detail 1 / C5.0
1F	Heavy Duty Asphalt Pavement	Detail 2 / C5.0
1H	Concrete Sidewalk	Detail 3 and Detail 4 / C5.0
1I	Barrier Curb	Detail 7 / C5.0
1J	Extended Barrier Curb	Detail 8 / C5.0
1N	Guard Rail - Black Powder Coated	Detail 5 / C5.0
1Q	Concrete Flume with Rock	Detail 6 / C5.2
1R	Trench Drain	Detail 1 / C5.3
1S	Fire Hydrant	C5.4 Water Details
1U	Existing Retaining Wall w/ Fence	
1X	Building Downspout	Detail 5 / C5.2 & Detail 12 / C5.4
2A	Planter	Detail 6 / C5.3
2B	Trash Compactor	
2C	Trash Enclosure	
2D	Smoker	
2E	Grease Trap	Detail 2 / C5.2
2G	Standard Ballard	Detail 5 / C5.4
2H	4" Dashed Yellow Stripe	Thermoplastic (typ)
2I	4" Solid Yellow Stripe	Thermoplastic (typ)
2K	24" Solid White Stop Line	Thermoplastic (typ)
2P	Stairs	
2R	Stop Sign	

EXISTING CONDITIONS NOTE

THE EXISTING TOPOGRAPHIC DATA, UTILITY LOCATIONS AND ELEVATIONS, AND ALL OTHER EXISTING SITE FEATURES SHOWN IN THIS PLAN SET ARE BASED ON THE AUTOCAD FILE PROVIDED BY GRIMES CONSULTING, INC. RECEIVED OCTOBER 21, 2022 & AS-BUILT DRAWINGS OF THE EXISTING RETAINING WALL.

CALL BEFORE YOU DIG - DRILL - BLAST
 1-800-344-7483
 MISSOURI ONE-CALL SYSTEM, INC.



OLIVE BOULEVARD
 PUBLIC RIGHT-OF-WAY
 (WIDTH VARIES)

LOT 4 APPROVED UNDER A SEPARATE SUBMITTAL NOT A PART OF THIS SUBMISSION

LOT #3
 BUILDING L
 FUTURE DENTAL/
 RETAIL SPACE
 3,520± SF
 FF=575.59

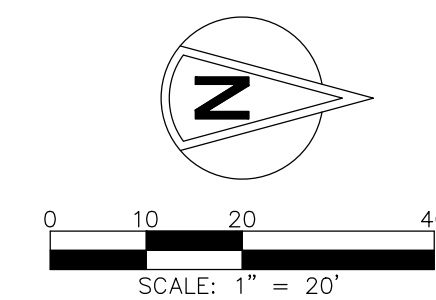
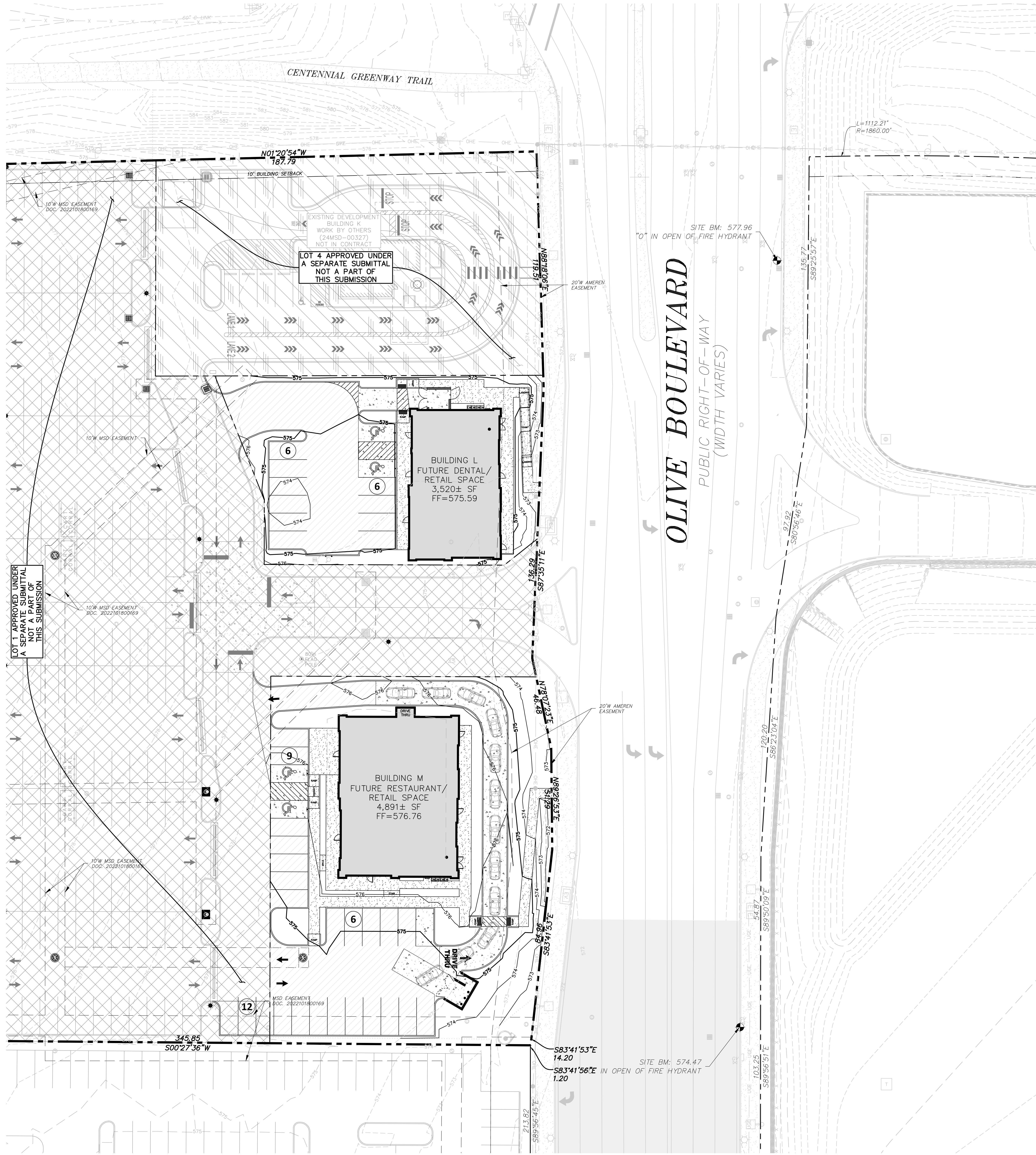
LOT #2
 BUILDING M
 FUTURE RESTAURANT/
 RETAIL SPACE
 4,891± SF
 FF=576.76

LOT 1 APPROVED UNDER A SEPARATE SUBMITTAL THIS SUBMISSION

5 CAPACITY WAVE BIKE RACK FINAL LOCATION TO BE FIELD VERIFIED

2 CAPACITY WAVE BIKE RACK FINAL LOCATION TO BE FIELD VERIFIED

12200 Olive Blvd, Suite 200, St. Louis, MO 63103 | 314.681.1100



OLIVE BOULEVARD
PUBLIC RIGHT-OF-WAY
(WIDTH VARIES)

EXISTING CONDITIONS NOTE

THE EXISTING TOPOGRAPHIC DATA, UTILITY LOCATIONS AND ELEVATIONS, AND ALL OTHER EXISTING SITE FEATURES SHOWN IN THIS PLAN SET ARE BASED ON THE AUTOCAD FILE PROVIDED BY ORMES CONSULTING, INC. RECEIVED OCTOBER 21, 2022 & AS-BUILT DRAWINGS OF THE EXISTING RETAINING WALL.

CALL BEFORE YOU DIG - DRILL - BLAST
1-800-344-7483
MISSOURI ONE-CALL SYSTEM, INC.

C3.0
25MSD-00012 | MSD Basemap: 25K/25L
Existing Condition: 22MSD-00015

PRELIMINARY GRADING PLAN

Drawn By/Checked By: MEB/SBF
Project Number: 2404573
MSD Permit Date: ---
Permit Date: ---
Bid Date: ---

PROFESSIONAL OF RECORD
Sarah B. Fonda
License No. PE-2001001024
Expiration Date: 12/31/25

NOT FOR CONSTRUCTION
FOR PLANNING PURPOSES ONLY

CASCO DIVERSIFIED CORPORATION
CERTIFICATE OF AUTHORITY - ENGINEERING
License No. 800913 Expiration Date: 12/31/25

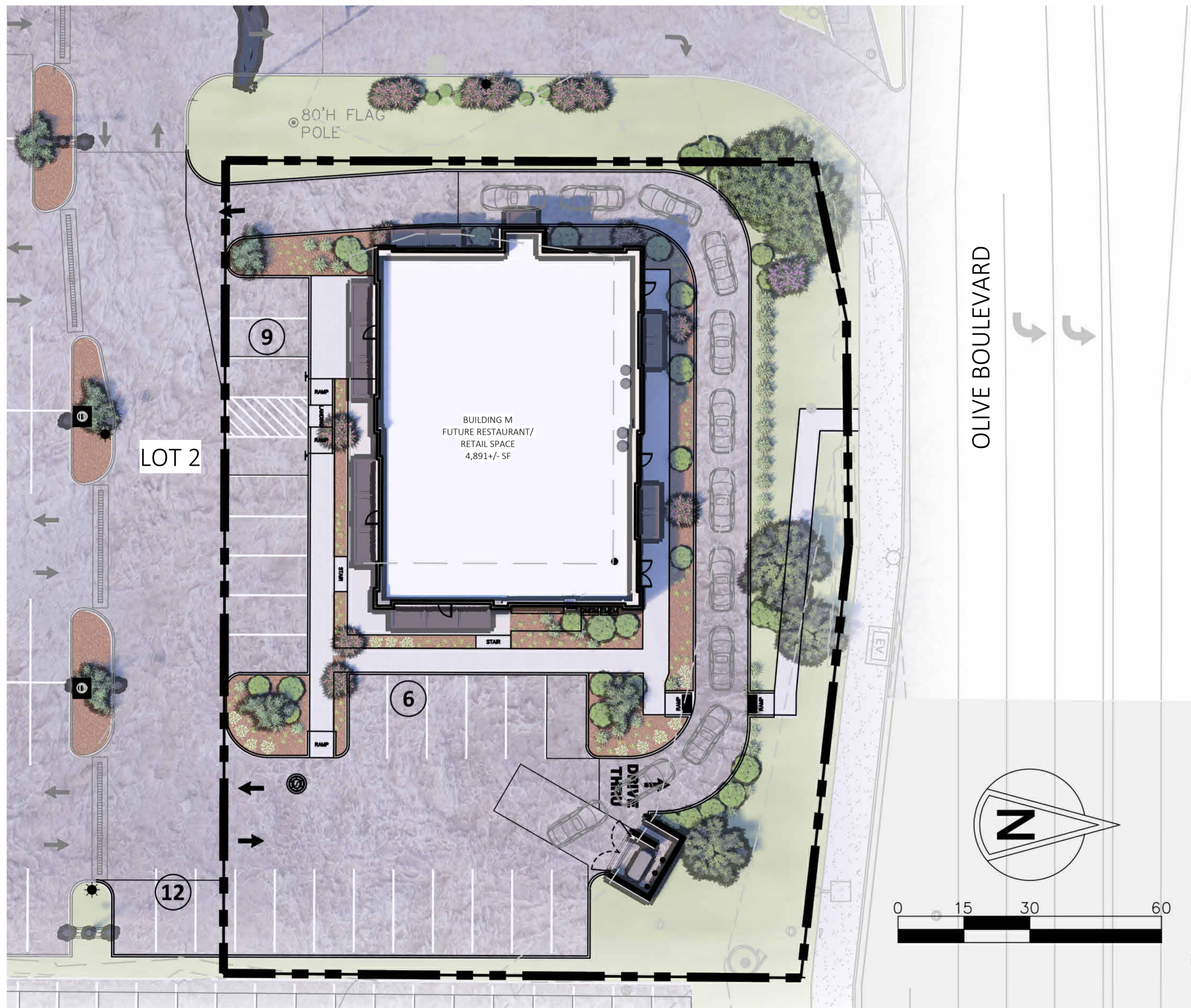
No.	Description	Date
1	Preliminary Development Plan	02-24-25

CONSTR. DOC. & REVISIONS

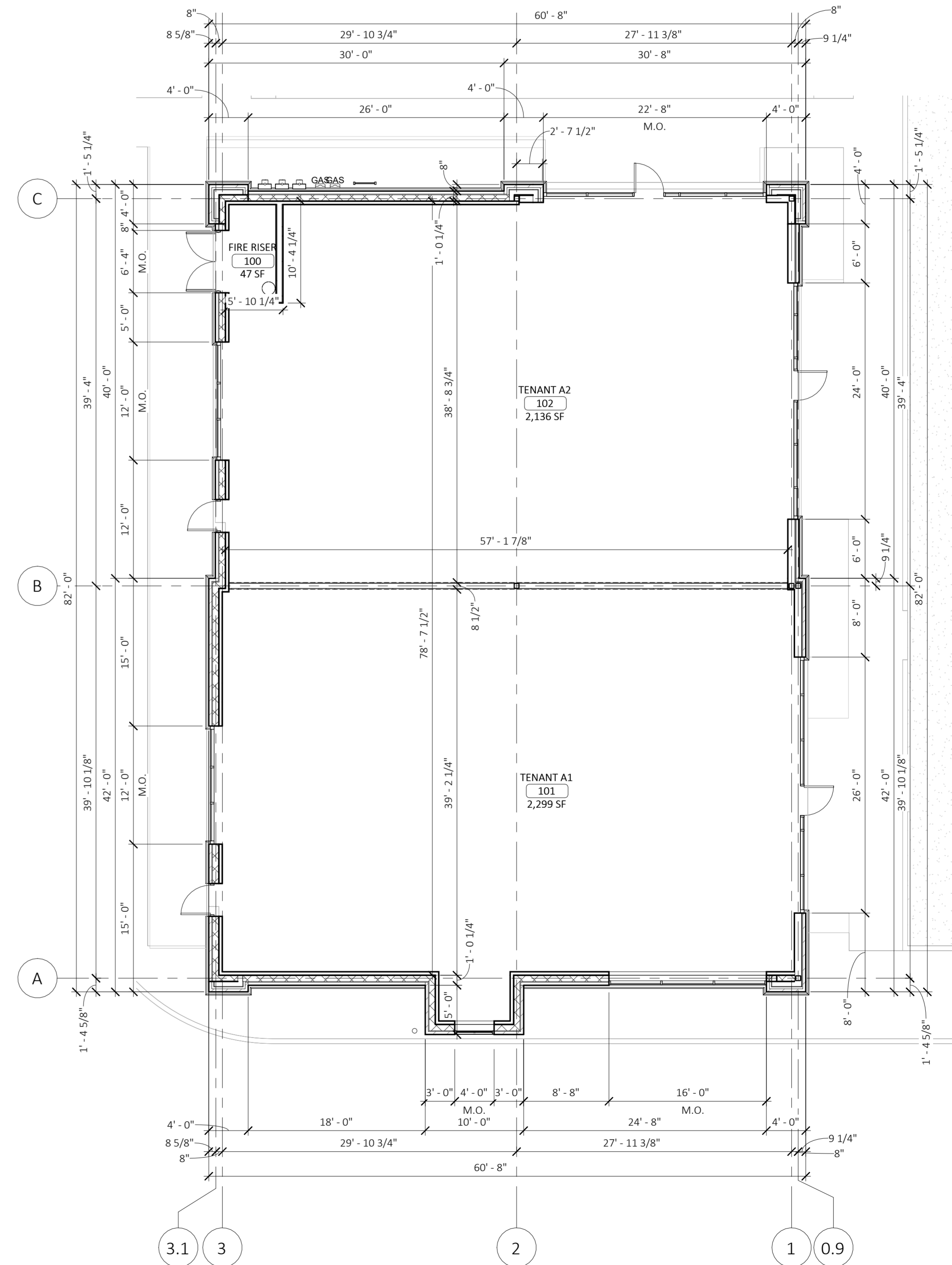


DIERBERGS MARKETS - UNIVERSITY CITY
BUILDING L & BUILDING M
MARKET AT OLIVE
UNIVERSITY CITY, MO 63132





1 ENLARGED SITE PLAN - BUILDING M
A102 SCALE: NOT TO SCALE



2 FLOOR PLAN - BUILDING M
A102 SCALE: 1/8" = 1'-0"

DIERBERGS MARKETS - UNIVERSITY CITY
OUTLOT M



MARKET AT OLIVE
UNIVERSITY CITY, MO 63123

CONSTR. DOC. & REVISIONS
Description

No.

Date

FOR
REFERENCE
ONLY

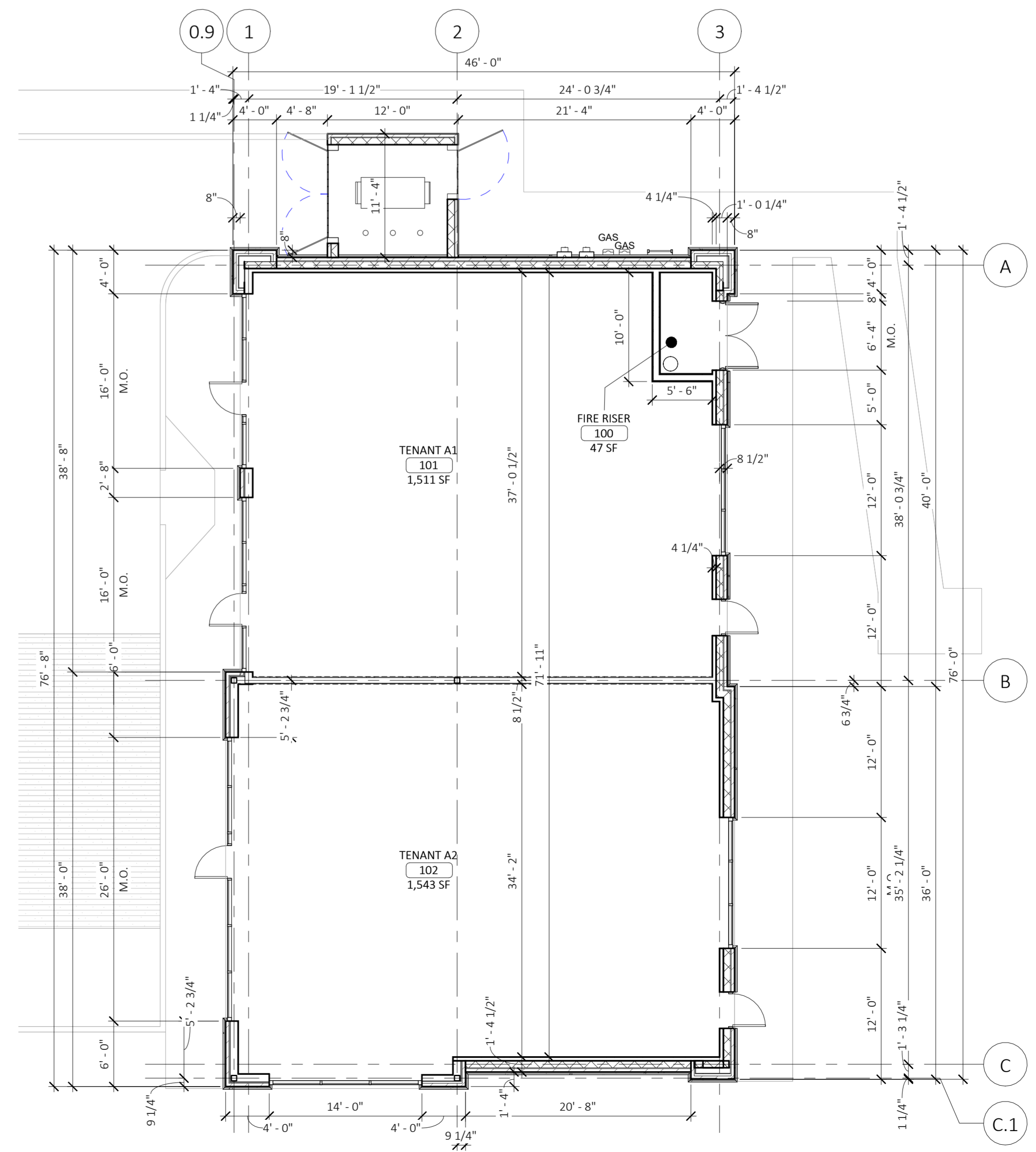
Drawn/Checked KMH/ KLB
Project Number 2504861
Owner Date --/--
Bid Date --/--
Permit Date --/--

ENLARGED
PLANS -
BUILDING M

A102



1
A101 ENLARGED SITE PLAN - BUILDING L
SCALE: NOT TO SCALE



2
A101 FLOOR PLAN - BUILDING L
SCALE: 1/8" = 1'-0"

DIERBERGS MARKETS - UNIVERSITY CITY
OUTLOT L
MARKET AT OLIVE
UNIVERSITY CITY, MO 63132



Date

CONSTR. DOC. & REVISIONS
Description

No.

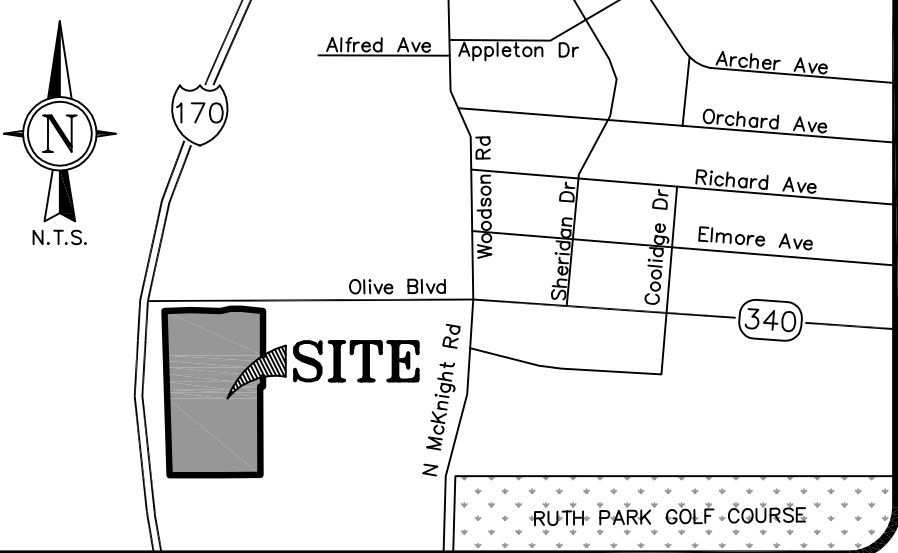
CASCO DIVERSIFIED CORPORATION
ARCHITECTURAL
Registration No. 000329
Expiration Date: 12/31/25

Professional of Record:
KEYMA L. BULLOCK
License No.: 2004011669
Expiration Date: 12/31/26

Drawn/Checked KMH/ KLB
Project Number 2504860
Owner Date --/--
Bid Date --/--
Permit Date --/--

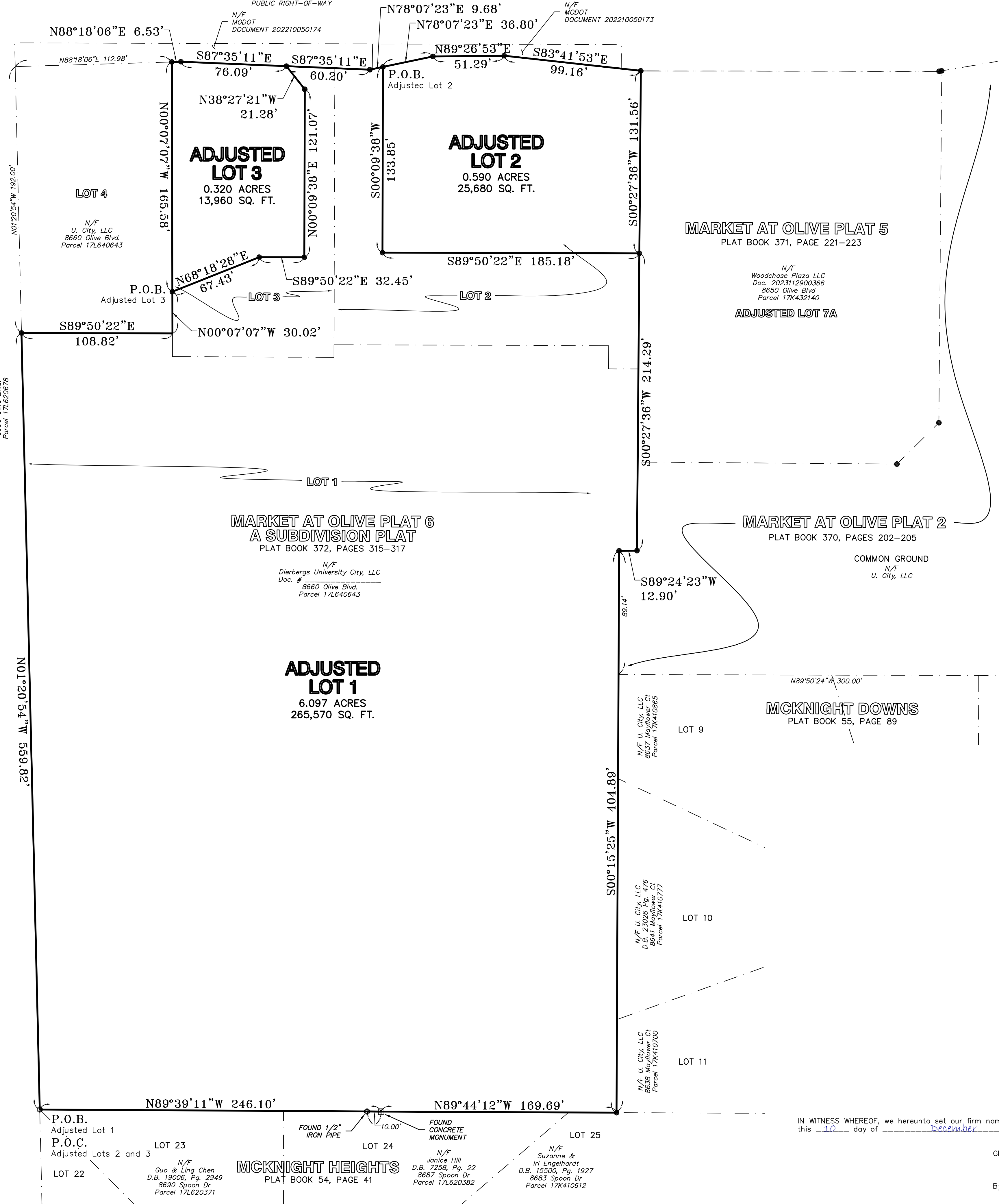
ENLARGED
PLANS - BLDG L

A101



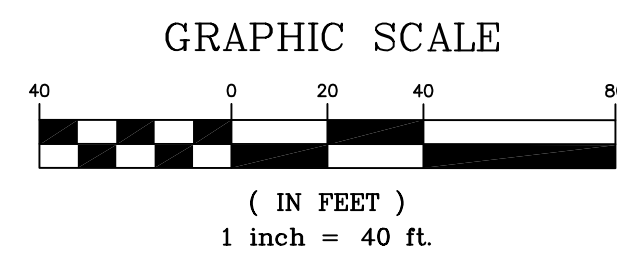
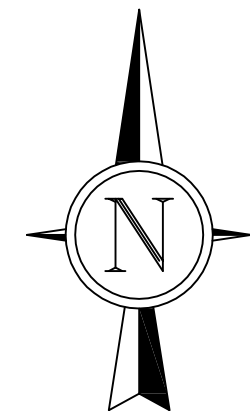
PREPARED FOR:
 Dierbergs University City, LLC.
 CONTACT: Brent Beumer
 16690 Swingley Ridge Road, 4th Floor
 Chesterfield, MO 63017
 E: BeumerB@dierbergs.com

OLIVE (Variable Width) BOULEVARD
 PUBLIC RIGHT-OF-WAY



**MARKET AT OLIVE
 PLAT 7
 A BOUNDARY ADJUSTMENT PLAT**

ALL OF LOTS 1 THROUGH 3,
 MARKET AT OLIVE PLAT 6 – PLAT BOOK 372 PAGES 315–317
 SECTION 05, TOWNSHIP 45 NORTH, RANGE 6 EAST
 UNIVERSITY CITY, ST. LOUIS COUNTY, MISSOURI



BASIS OF BEARING

MISSOURI STATE PLANE GRID
 NORTH FROM STATIC GPS TIES
 TO GEOGRAPHIC REFERENCE
 SYSTEM MONUMENTS

ABBREVIATIONS

- N/F NOW OR FORMERLY
- D.B. DEED BOOK
- P.B. PLAT BOOK
- Pg. PAGE
- w/ WITH
- (TYP.) TYPICAL
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- Doc. DOCUMENT

LEGEND

- FOUND 1/2" IRON PIPE UNLESS OTHERWISE NOTED
- FOUND 1/2" IRON ROD UNLESS OTHERWISE NOTED
- ⊕ FOUND CUT CROSS
- ⊕ FOUND COTTON PICKER SPINDLE
- ⊕ FOUND RAILROAD SPIKE
- ⊕ FOUND CONCRETE MONUMENT
- ⊕ FOUND STONE
- ⊕ FOUND R.O.W. MARKER
- ⊕ FOUND AXLE
- SET 1/2" IRON ROD UNLESS OTHERWISE NOTED

I-170 (Variable Width)
 PUBLIC RIGHT-OF-WAY



GRIMES CONSULTING, INC.
 12300 OLD TESSON RD.
 SUITE 3000
 ST. LOUIS, MO 63128
 PH: (314) 849-6100
 FAX: (314) 849-6010
 www.grimesconsulting.com
 PE COA# E-1470-D
 PLS COA# LS-343-D

REV. NO.	DATE	REMARKS
1	12/04/24	City comments.
2	12/10/24	Client comment.

**MARKET AT OLIVE
 PLAT 7**
 OLIVE BLVD, UNIVERSITY CITY, MO

**BOUNDARY
 ADJUSTMENT
 PLAT**

SHEET TITLE

JOB NUMBER: 3082M

DRAWN BY: TSS

DATE: 10/31/24

CHECKED BY: RCS

DATE: 10/31/24

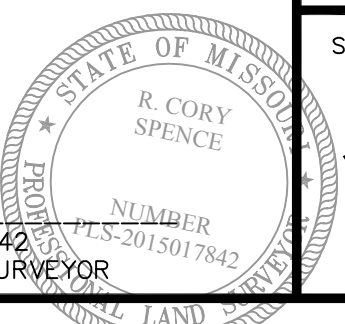
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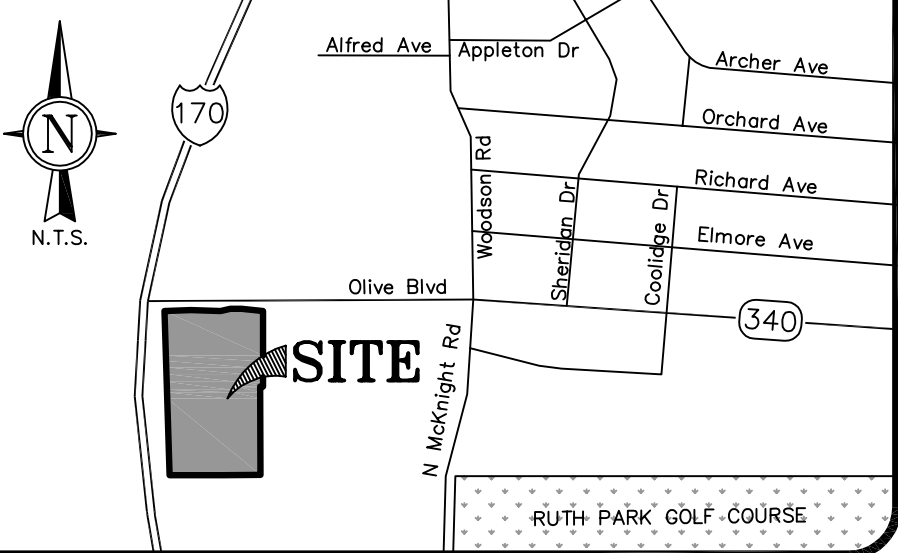
1 of 3

IN WITNESS WHEREOF, we hereunto set our firm name at our office in St. Louis County, Missouri
 this 10 day of December, 2024.

GRIMES CONSULTING, INC. LS-343-D

By R. CORY SPENCE, PLS-2015017842
 MISSOURI PROFESSIONAL LAND SURVEYOR



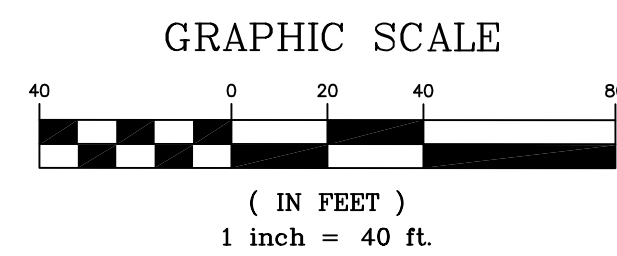
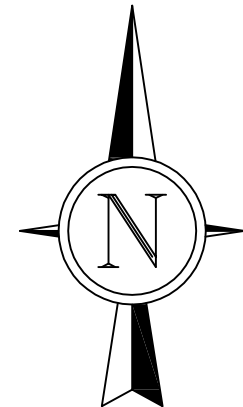


PREPARED FOR:
 Dierbergs University City, LLC.
 CONTACT: Brent Beumer
 16690 Swingley Ridge Road, 4th Floor
 Chesterfield, MO 63017
 E: BeumerB@dierbergs.com

OLIVE (Variable Width) BOULEVARD
 PUBLIC RIGHT-OF-WAY

**MARKET AT OLIVE
 PLAT 7
 A BOUNDARY ADJUSTMENT PLAT**

ALL OF LOTS 1 THROUGH 3,
 MARKET AT OLIVE PLAT 6 – PLAT BOOK 372 PAGES 315–317
 SECTION 05, TOWNSHIP 45 NORTH, RANGE 6 EAST
 UNIVERSITY CITY, ST. LOUIS COUNTY, MISSOURI



BASIS OF BEARING

MISSOURI STATE PLANE GRID
 NORTH FROM STATIC GPS TIES
 TO GEOGRAPHIC REFERENCE
 SYSTEM MONUMENTS

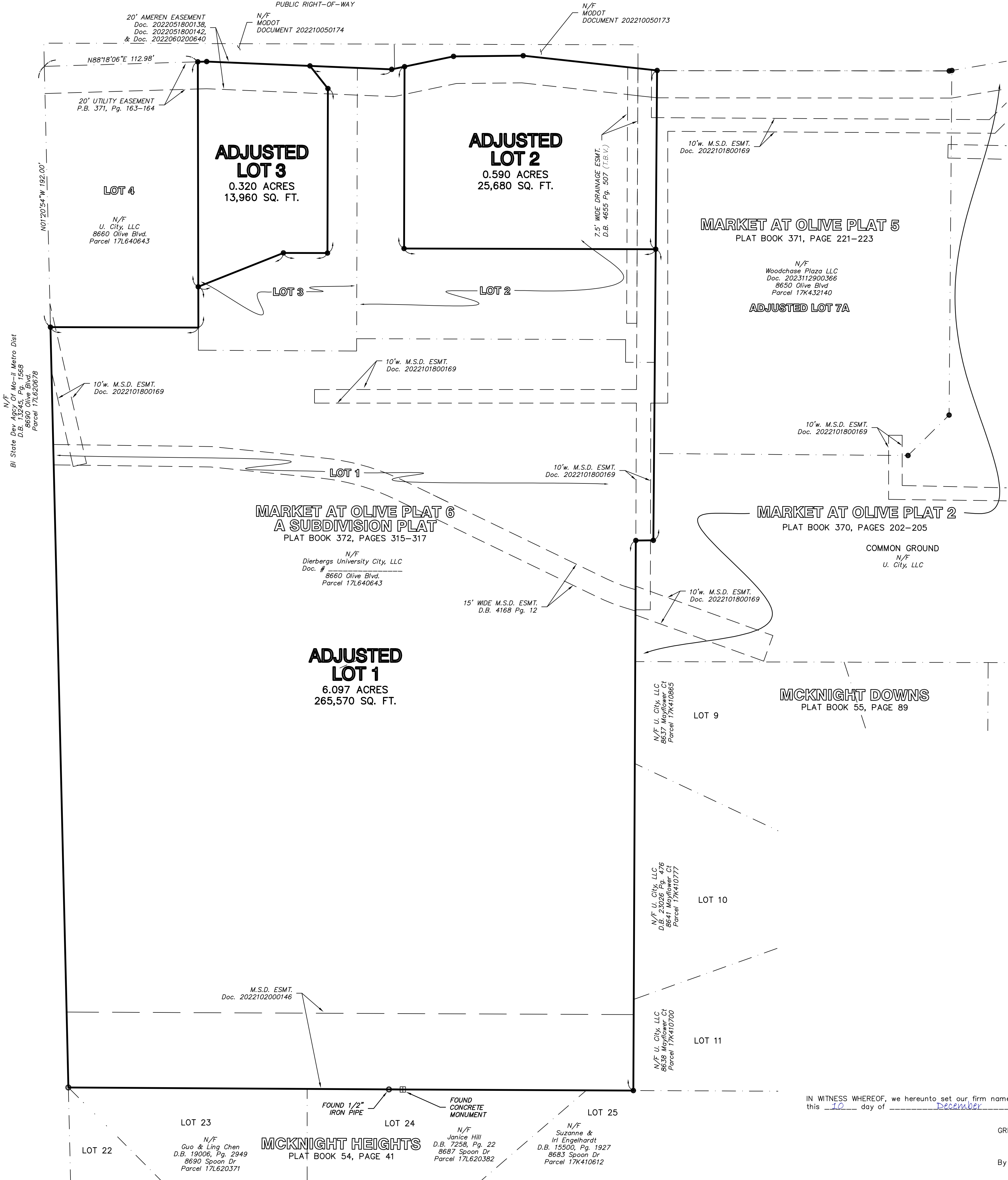
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LEGEND

- FOUND 1/2" IRON PIPE UNLESS OTHERWISE NOTED
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- ⊕ FOUND R.O.W. MARKER
- ⊕ FOUND AXLE
- SET 1/2" IRON ROD UNLESS OTHERWISE NOTED

I-170 (Variable Width)
 PUBLIC RIGHT-OF-WAY



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 PE COA# E-1470-D
 PLS COA# LS-343-D

REV. NO.	DATE	REMARKS
1	12/04/24	City comments.
2	12/10/24	Client comment.

**MARKET AT OLIVE
 PLAT 7**
 OLIVE BLVD, UNIVERSITY CITY, MO

**BOUNDARY
 ADJUSTMENT
 PLAT**

SHEET TITLE

JOB NUMBER: **3082M**

DRAWN BY: **TSS**

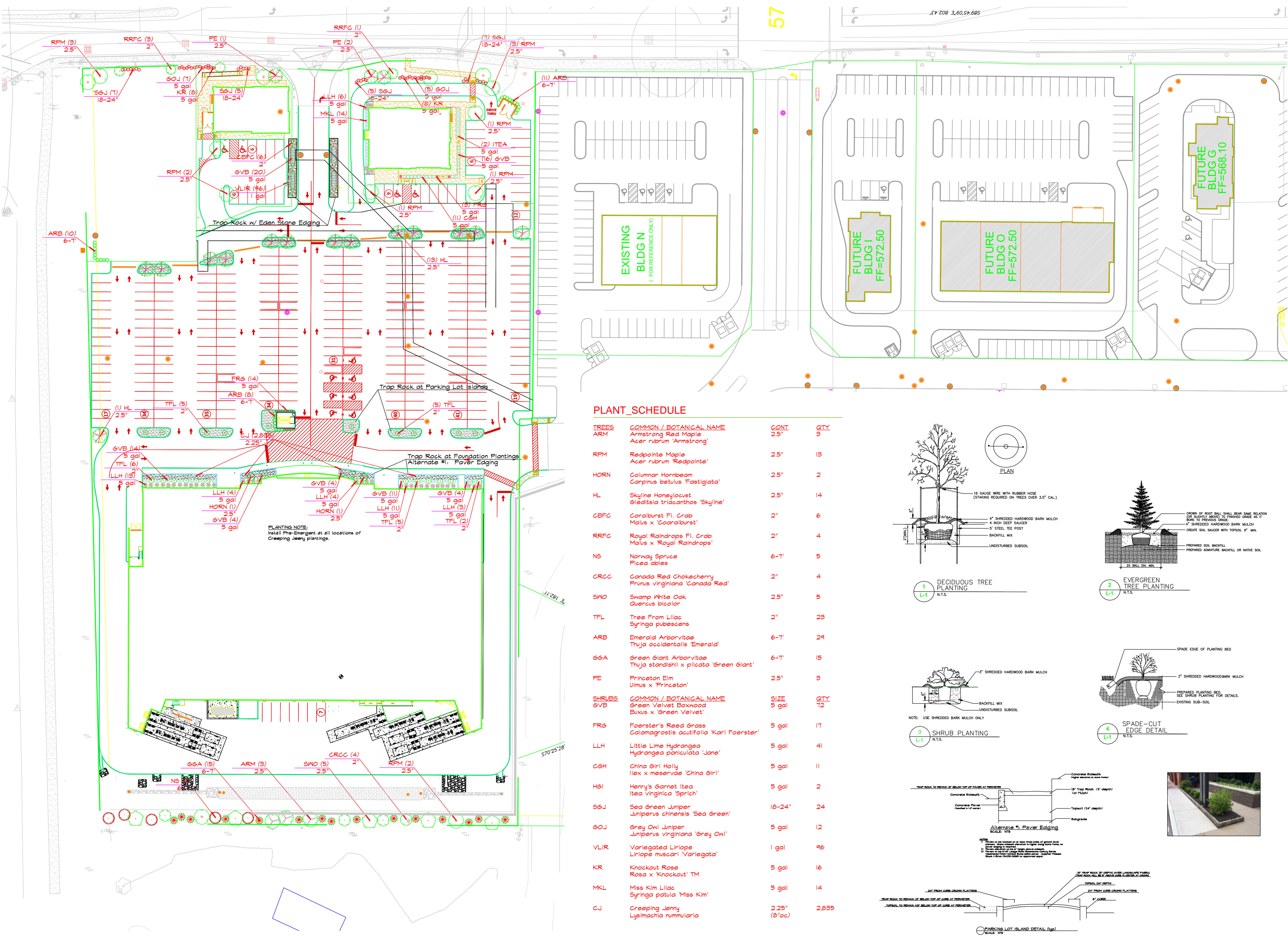
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CHECKED BY: **RCS**

DATE: **10/31/24**

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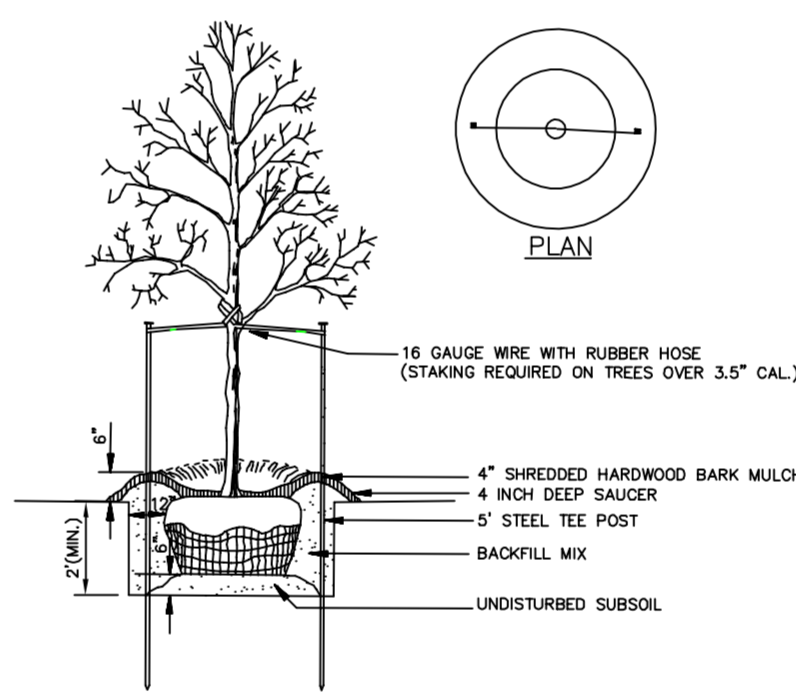
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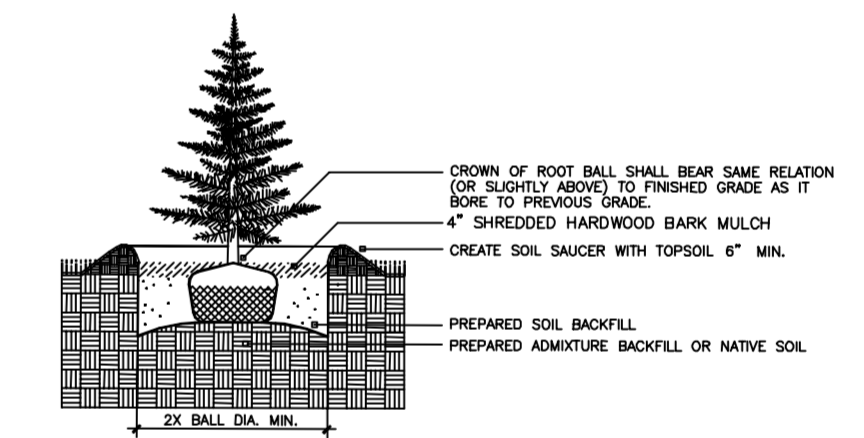
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PLANT SCHEDULE

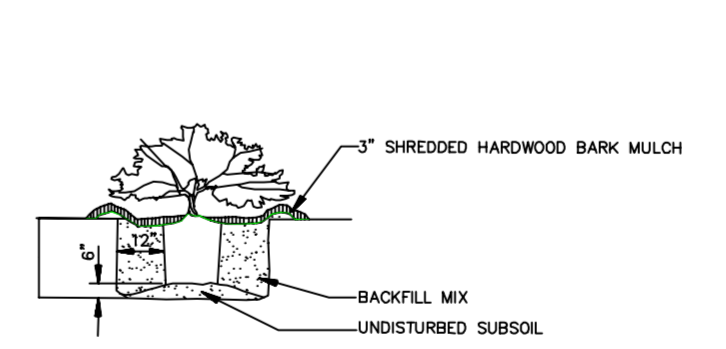
TREES	COMMON / BOTANICAL NAME	CONT	QTY
ARM	Armstrong Red Maple <i>Acer rubrum</i> 'Armstrong'	2.5"	3
RPM	Redpointe Maple <i>Acer rubrum</i> 'Redpointe'	2.5"	13
HORN	Columnar Hornbeam <i>Carpinus betulus</i> 'Fastigiata'	2.5"	2
HL	Skyline Honeylocust <i>Gleditsia triacanthos</i> 'Skyline'	2.5"	14
CBFC	Coralburst Fl. Crab <i>Malus x 'Coralburst'</i>	2"	6
RRFC	Royal Raindrops Fl. Crab <i>Malus x 'Royal Raindrops'</i>	2"	4
NS	Norway Spruce <i>Picea abies</i>	6-7'	5
CRCC	Canada Red Chokecherry <i>Prunus virginiana</i> 'Canada Red'	2"	4
SWO	Swamp White Oak <i>Quercus bicolor</i>	2.5"	5
TFL	Tree From Lilac <i>Syringa pubescens</i>	2"	23
ARB	Emerald Arborvitae <i>Thuja occidentalis</i> 'Emerald'	6-7'	24
GGA	Green Giant Arborvitae <i>Thuja standishii x plicata</i> 'Green Giant'	6-7'	15
PE	Princeton Elm <i>Ulmus x 'Princeton'</i>	2.5"	3
SHRUBS	COMMON / BOTANICAL NAME	SIZE	QTY
GVB	Green Velvet Boxwood <i>Buxus x 'Green Velvet'</i>	5 gal	72
FRG	Foerster's Reed Grass <i>Calamagrostis acutifolia</i> 'Karl Foerster'	5 gal	17
LLH	Little Lime Hydrangea <i>Hydrangea paniculata</i> 'Jane'	5 gal	41
CGH	China Girl Holly <i>Ilex x meserveae</i> 'China Girl'	5 gal	11
HSI	Henry's Garnet Itea <i>Itea virginica</i> 'Sprich'	5 gal	2
SSJ	Sea Green Juniper <i>Juniperus chinensis</i> 'Sea Green'	18-24"	24
GOJ	Grey Owl Juniper <i>Juniperus virginiana</i> 'Grey Owl'	5 gal	12
VLIR	Variegated Liriope <i>Liriope muscari</i> 'Variegata'	1 gal	96
KR	Knockout Rose <i>Rosa x 'Knockout'</i> TM	5 gal	16
MKL	Miss Kim Lilac <i>Syringa patula</i> 'Miss Kim'	5 gal	14
CJ	Creeping Jenny <i>Lysimachia nummularia</i>	2.25" (8"oc)	2,835



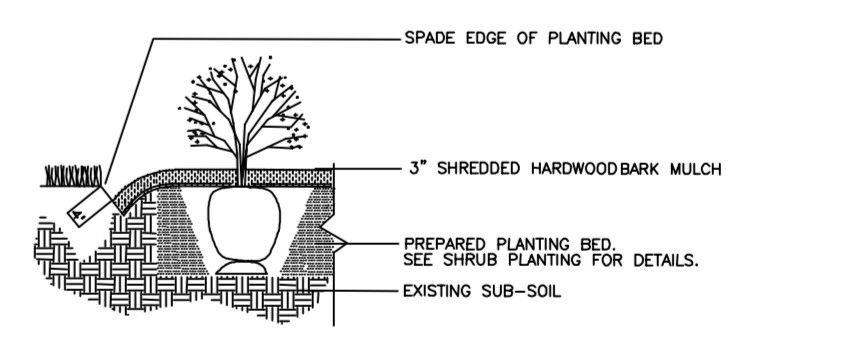
1 DECIDUOUS TREE PLANTING
N.T.S.



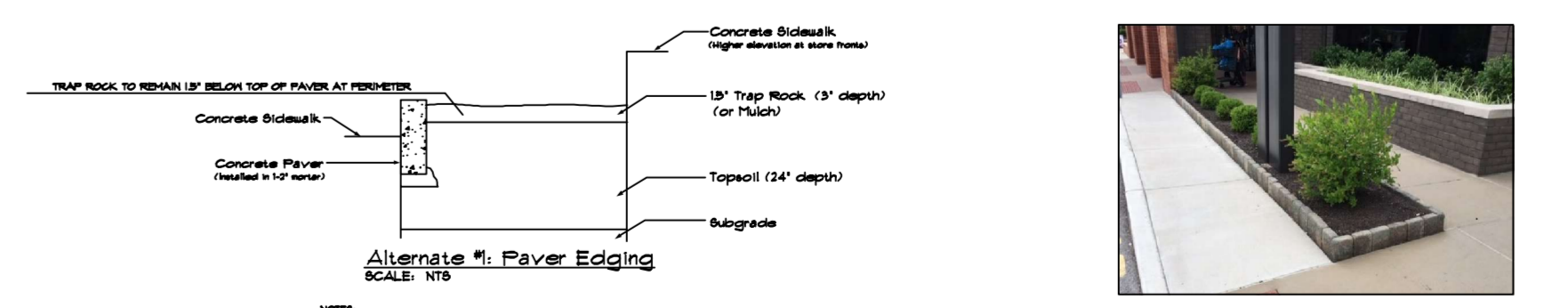
2 EVERGREEN TREE PLANTING
N.T.S.



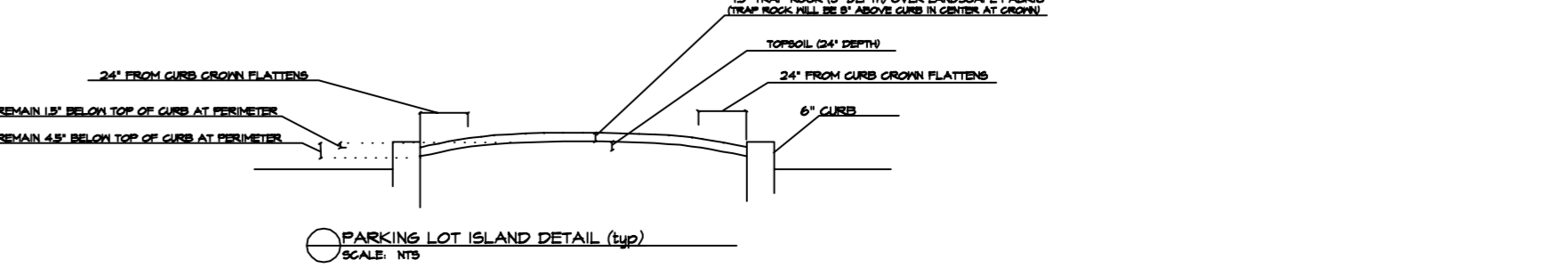
3 SHRUB PLANTING
N.T.S.



4 SPADE-CUT EDGE DETAIL
N.T.S.



Alternative #1 Paver Edging
SCALE: N.T.S.



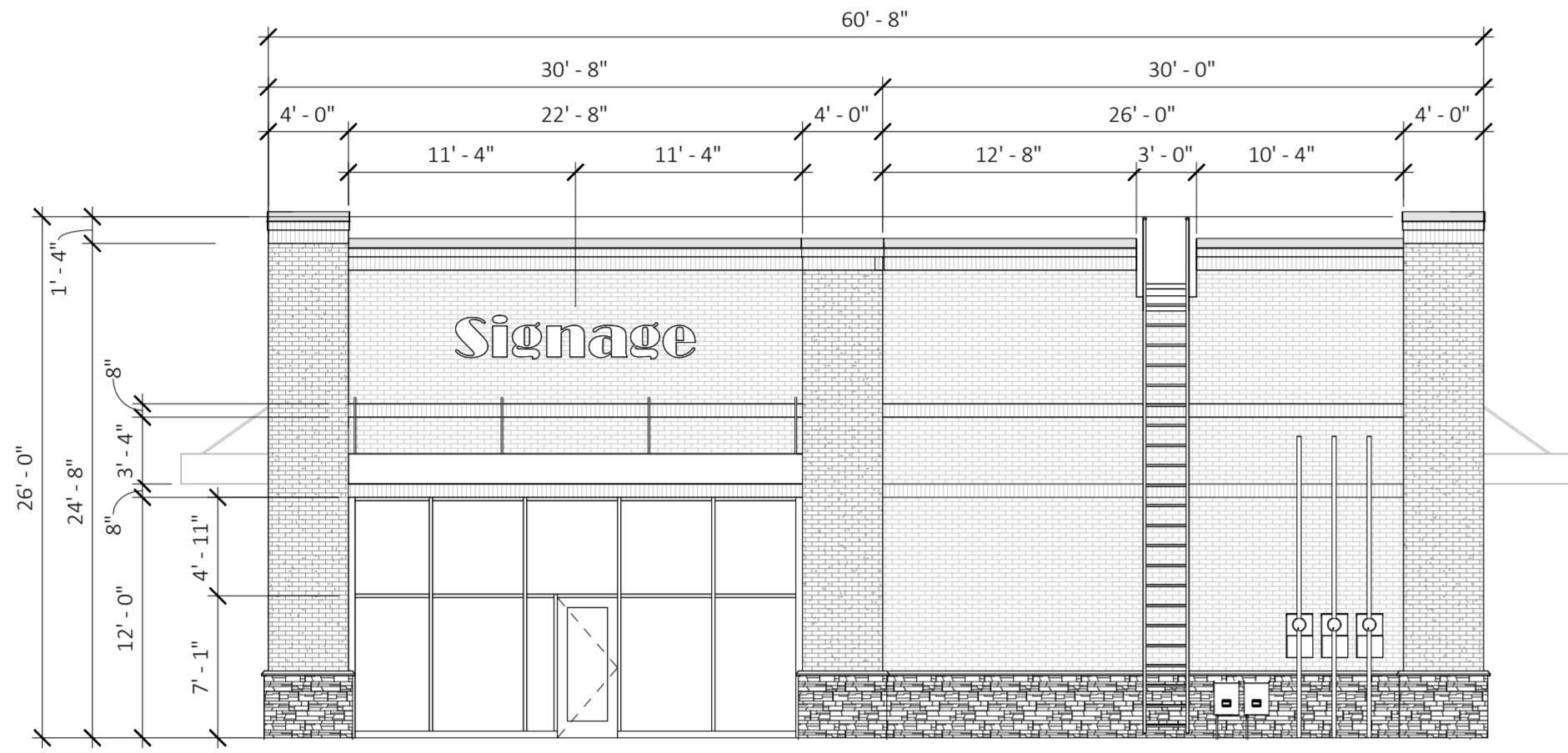
PARKING LOT ISLAND DETAIL (typ)
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Drawn by: CJA
Scale: 1" = 40'
Date: 9-28-22
Revised: 10-8-24
3-14-25

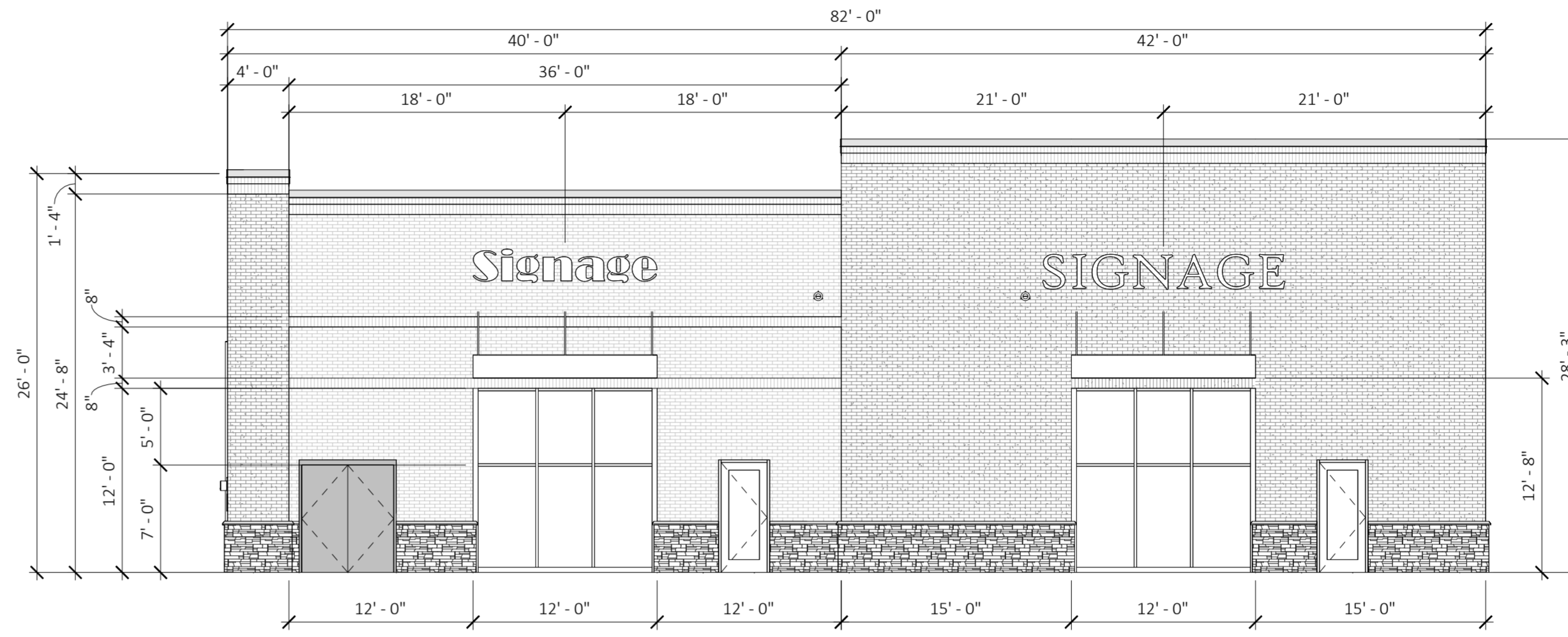
BAXTER FARMS and NURSERIES
3411 CREVE COEUR MILL ROAD
ST. LOUIS, MISSOURI 63146
314/542-9400

Landscape Planting Plan For:
Market at Olive
University City, MO
Prepared for: Dierbergs

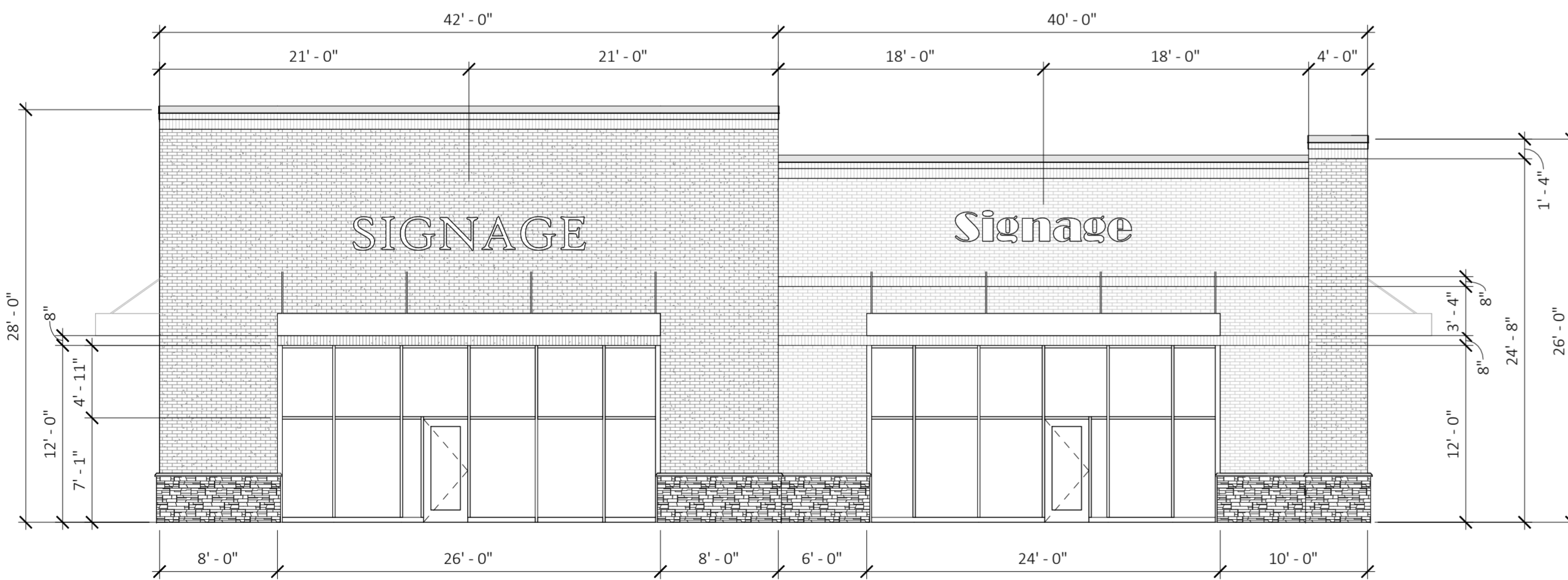
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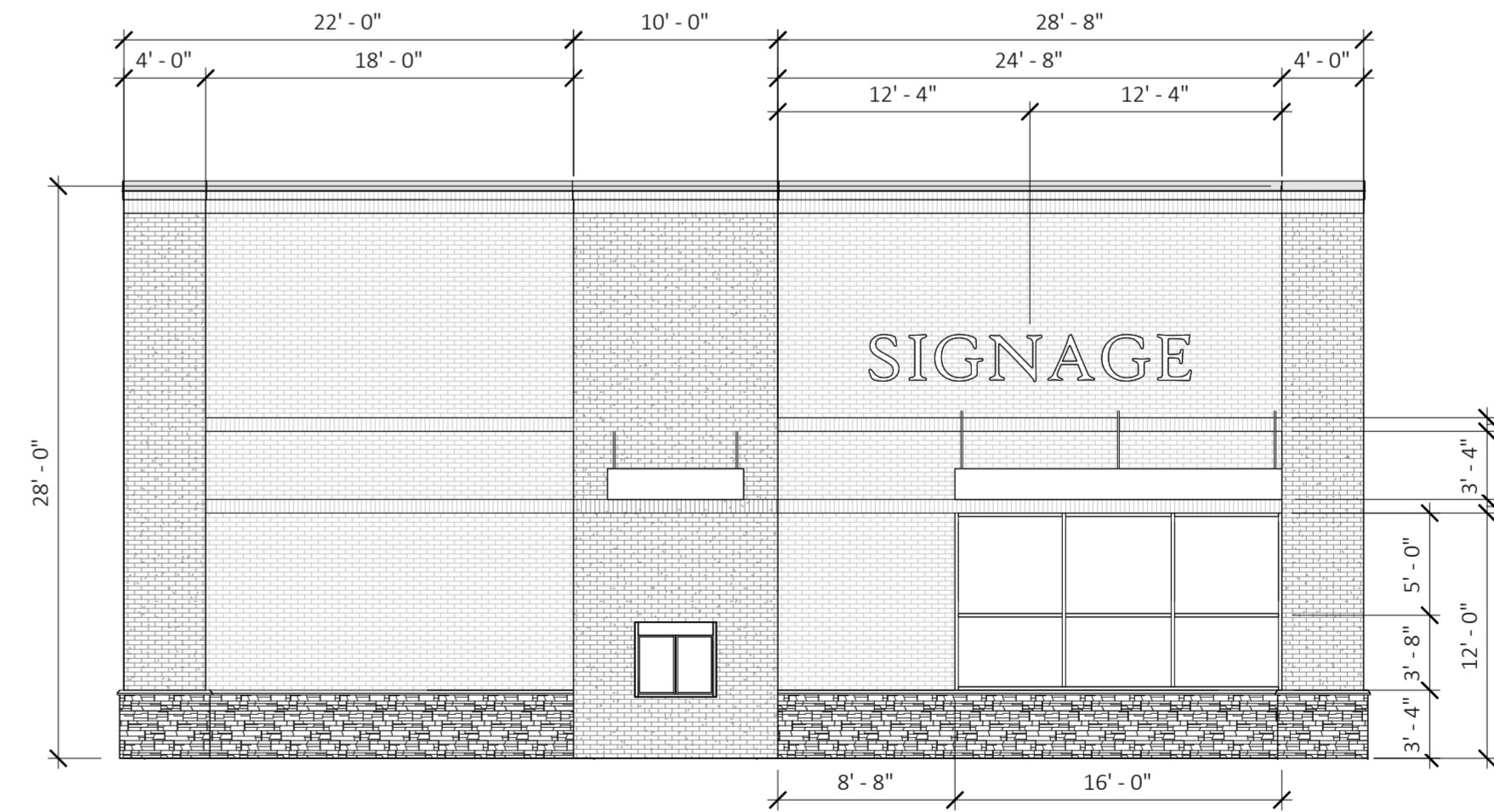
1 EAST ELEVATION - BUILDING M
A104 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION - BUILDING M
A104 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION - BUILDING M
A104 SCALE: 1/8" = 1'-0"



4 WEST ELEVATION - BUILDING M
A104 SCALE: 1/8" = 1'-0"

DIERBERGS MARKETS - UNIVERSITY CITY
OUTLOT M

MARKET AT OLIVE
UNIVERSITY CITY, MO 63123



Date

CONSTR. DOC. & REVISIONS
Description

No.

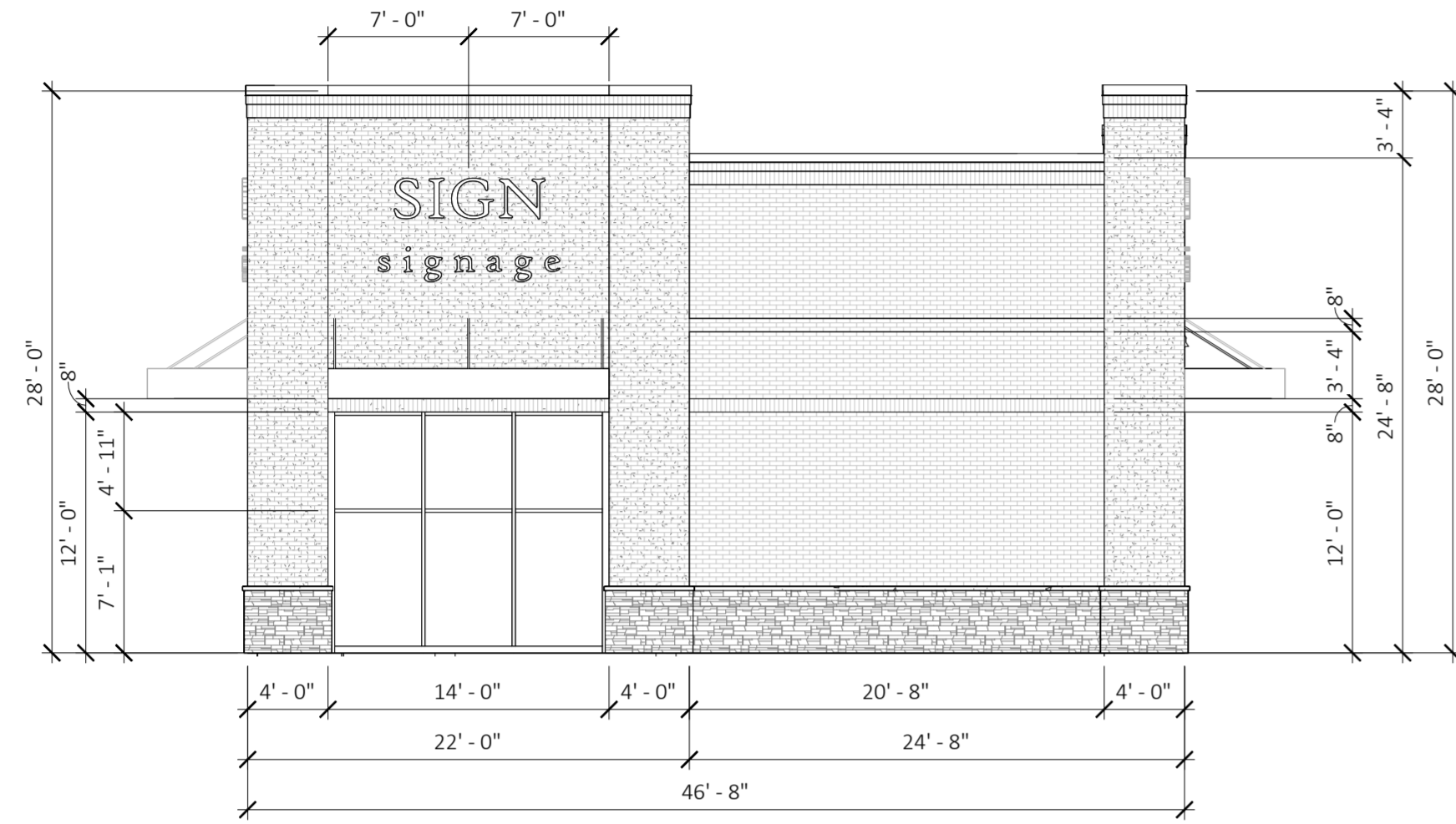
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ARCHITECTURAL
Registration No. 000329
Expiration Date: 12/31/25

Professional of Record:
KEYMA L. BULLOCK
License No.: 2004011669
Expiration Date: 12/31/26

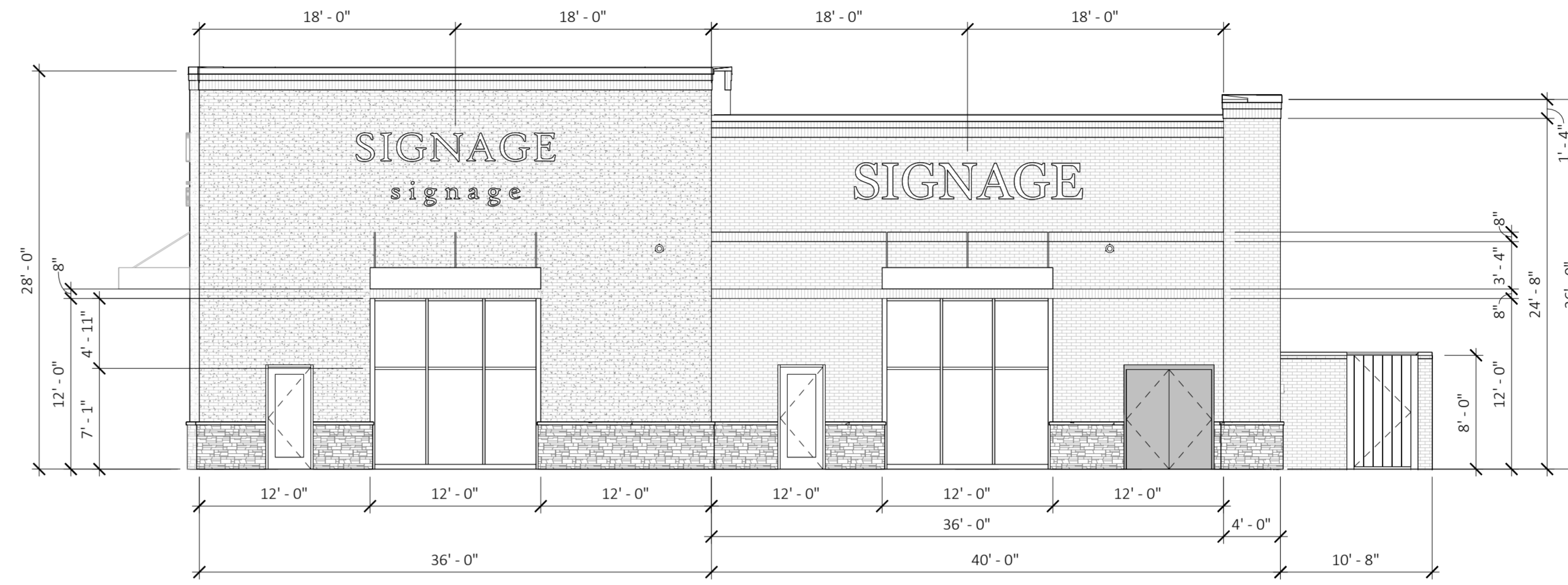
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Project Number	2504861
Owner Date	--/--
Bid Date	--/--
Permit Date	--/--

ELEVATIONS -
BUILDING M

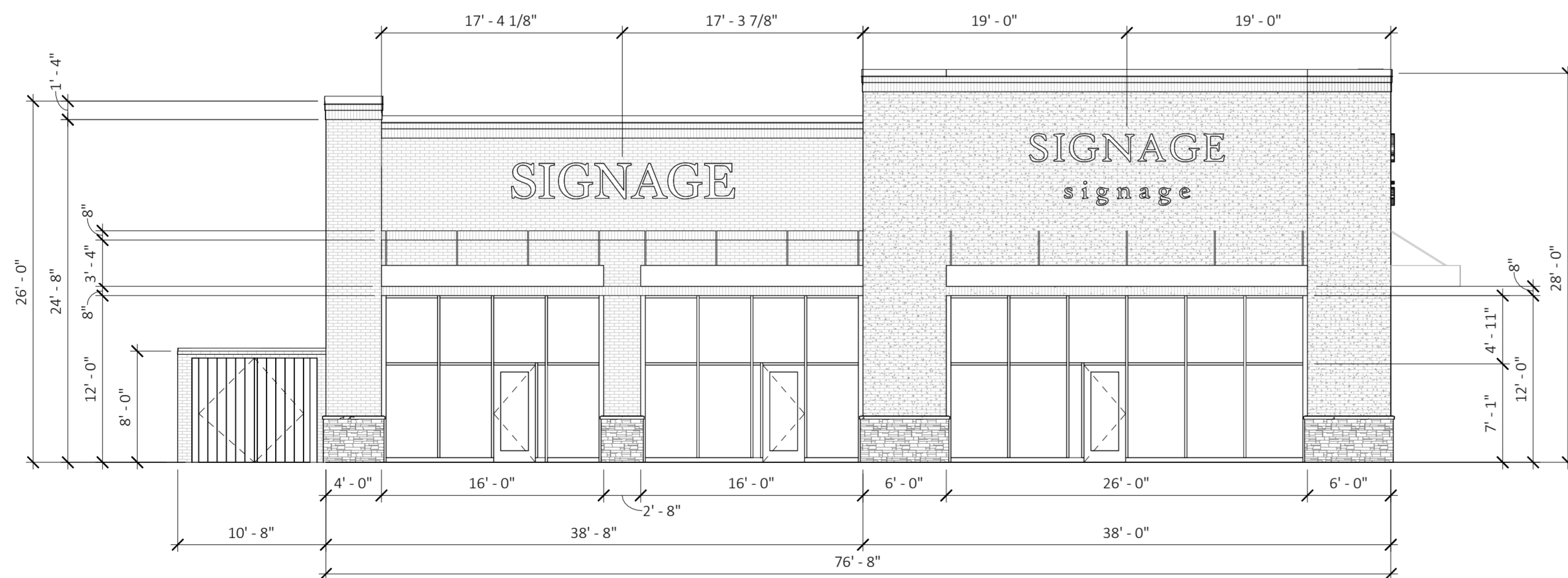
A104



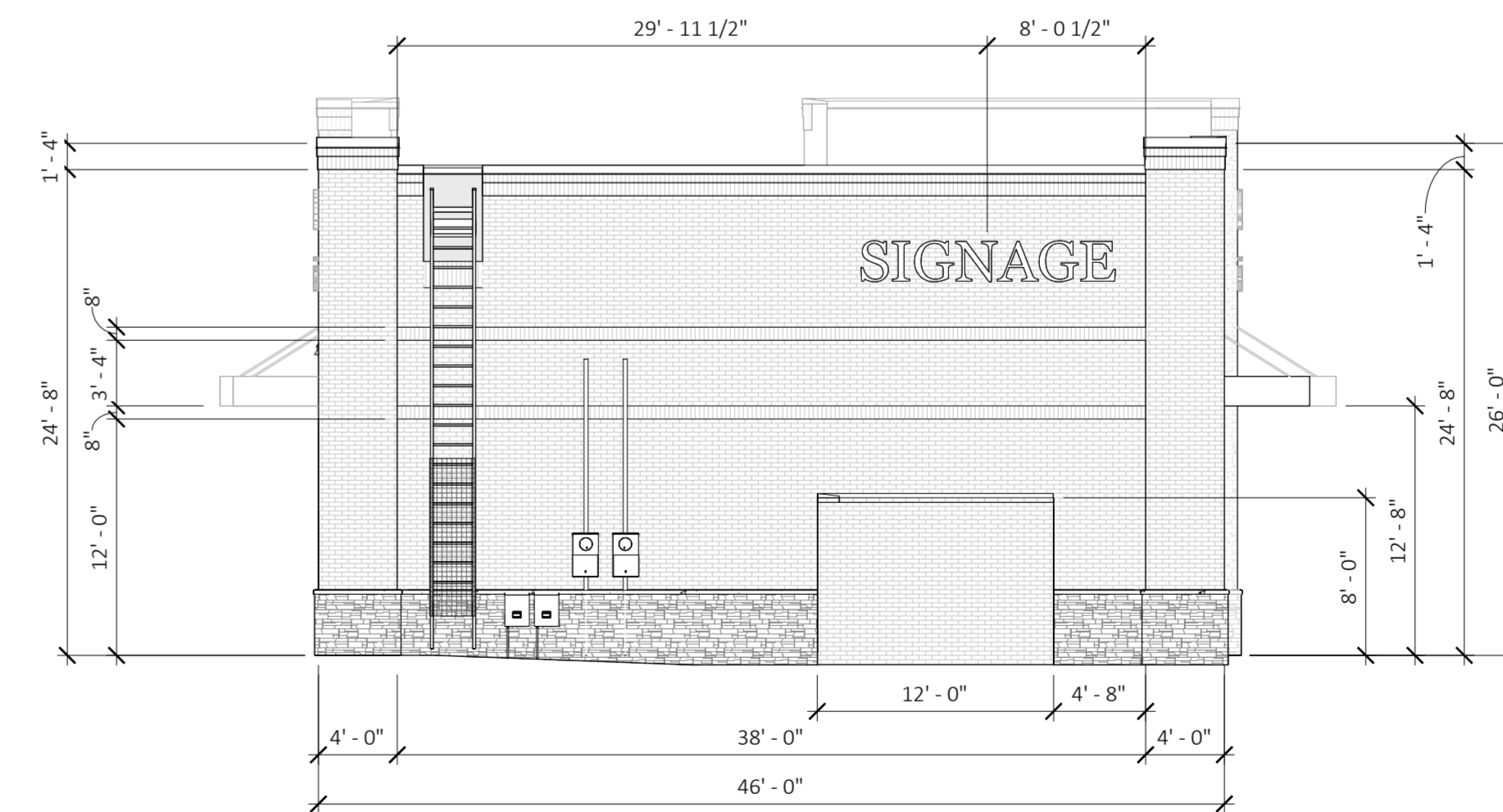
1 EAST ELEVATION - BUILDING L
A103 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION - BUILDING L
A103 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION - BUILDING L
A103 SCALE: 1/8" = 1'-0"



4 WEST ELEVATION - BUILDING L
A103 SCALE: 1/8" = 1'-0"

DIERBERGS MARKETS - UNIVERSITY CITY
OUTLOT L

MARKET AT OLIVE
UNIVERSITY CITY, MO 63132



Date

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CASCO DIVERSIFIED CORPORATION
ARCHITECTURAL
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Professional of Record:
KEYMA L. BULLOCK
License No.: 2004011669
Expiration Date: 12/31/26

Drawn/Checked	SAV/ KLB
Project Number	2504860
Owner Date	--/--
Bid Date	--/--
Permit Date	--/--

ELEVATIONS -
BLDG L

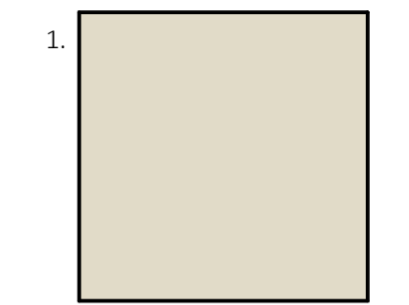
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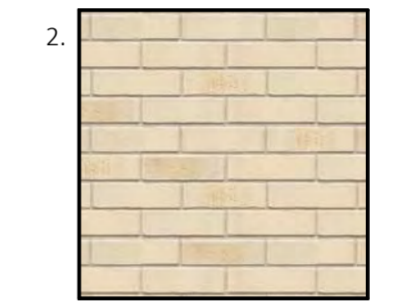
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A107 ELEVATION - SOUTH (FRONT)
SCALE: NOT TO SCALE



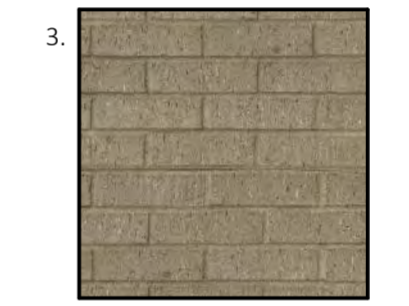
2
A107 ELEVATION - EAST
SCALE: NOT TO SCALE



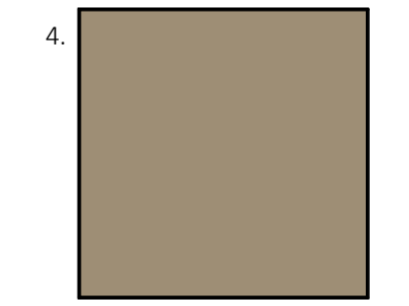
1. PAINT - MATCH BOWERSTON #940 WIRECUT BRICK



2. BOWERSTON #940 WIRECUT BRICK



3. CLOUD CERAMICS - GRANITE VELOUR



4. SHERWIN WILLIAMS SW7535 SANDY RIDGE



5. DARK BRONZE



6. CULTURED STONE - CHARDONNAY COUNTRY LEDGESTONE

DIERBERGS MARKETS - UNIVERSITY CITY
OUTLOT L

MARKET AT OLIVE
UNIVERSITY CITY, MO 63132



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Professional of Record:
KEYMA L. BULLOCK
License No.: 2004011669
Expiration Date: 12/31/26

Drawn/Checked	KMH/ KLB
Project Number	2504860
Owner Date	--/--
Bid Date	--/--
Permit Date	--/--

RENDERINGS -
BUILDING M

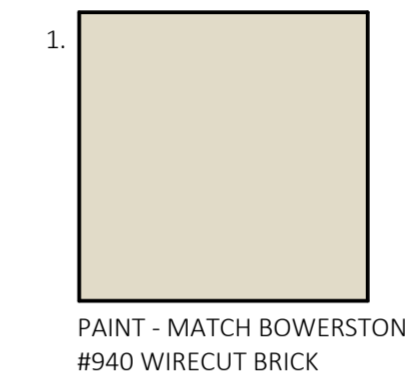
A107



1
A108 ELEVATION - NORTH (REAR)
SCALE: NOT TO SCALE



2
A108 ELEVATION - EAST
SCALE: NOT TO SCALE



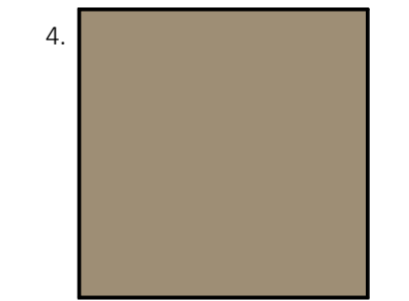
1. PAINT - MATCH BOWERSTON #940 WIRECUT BRICK



2. BOWERSTON #940 WIRECUT BRICK



3. CLOUD CERAMICS - GRANITE VELOUR



4. SHERWIN WILLIAMS SW7535 SANDY RIDGE



5. DARK BRONZE



6. CULTURED STONE - CHARDONNAY COUNTRY LEDGESTONE

DIERBERGS MARKETS - UNIVERSITY CITY
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Project Number	2504860
Owner Date	--/--
Bid Date	--/--
Permit Date	--/--

RENDERINGS -
BUILDING M




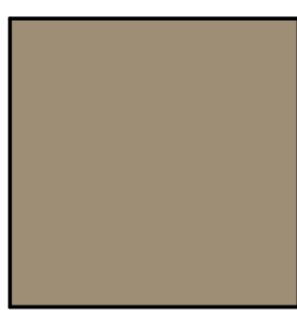


A108



1 ELEVATION - SOUTH (FRONT)
A105 SCALE: NOT TO SCALE



2 ELEVATION - EAST
A105 SCALE: NOT TO SCALE

- 1.  PAINT - MATCH BOWERSTON #940 WIRECUT BRICK
- 2.  BOWERSTON #940 WIRECUT BRICK
- 3.  CLOUD CERAMICS - GRANITE VELOUR
- 4.  SHERWIN WILLIAMS SW7535 SANDY RIDGE
- 5.  DARK BRONZE
- 6.  CULTURED STONE - CHARDONNAY COUNTRY LEDGESTONE

DIERBERGS MARKETS - UNIVERSITY CITY
OUTLOT L

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UNIVERSITY CITY, MO 63132



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Drawn/Checked	KMH/ KLB
Project Number	2504860
Owner Date	--/--
Bid Date	--/--
Permit Date	--/--

RENDERINGS -
BUILDING L

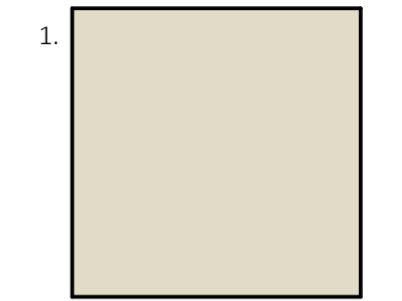
A105



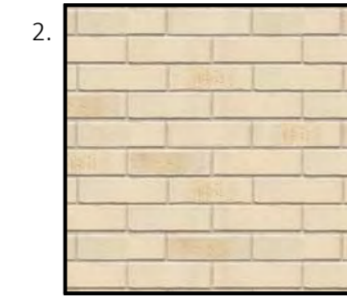
1 ELEVATION - WEST
A106 SCALE: NOT TO SCALE



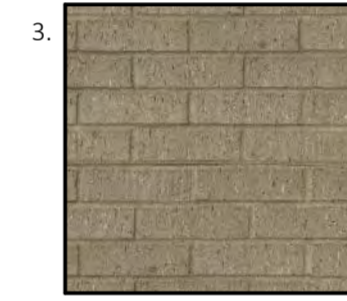
2 ELEVATION - NORTH (REAR)
A106 SCALE: NOT TO SCALE



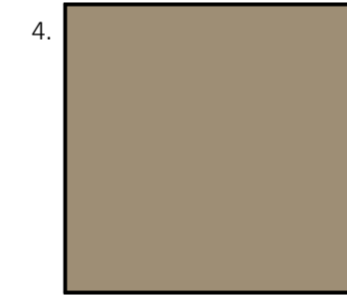
1. PAINT - MATCH BOWERSTON #940 WIRECUT BRICK



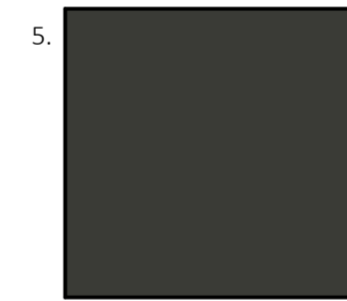
2. BOWERSTON #940 WIRECUT BRICK



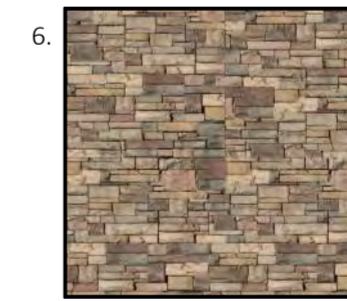
3. CLOUD CERAMICS - GRANITE VELOUR



4. SHERWIN WILLIAMS SW7535 SANDY RIDGE



5. DARK BRONZE



6. CULTURED STONE - CHARDONNAY COUNTRY LEDGESTONE

DIERBERGS MARKETS - UNIVERSITY CITY
OUTLOT L

MARKET AT OLIVE
UNIVERSITY CITY, MO 63132



Date

CONSTR. DOC. & REVISIONS
Description

No.

CASCO DIVERSIFIED CORPORATION
ARCHITECTURAL
Registration No. 000329
Expiration Date: 12/31/25

Professional of Record:
KEYMA L. BULLOCK
License No.: 2004011669
Expiration Date: 12/31/26

Drawn/Checked	KMH/ KLB
Project Number	2504860
Owner Date	--/--
Bid Date	--/--
Permit Date	--/--

RENDERINGS -
BUILDING L

A106



Department of Planning and Zoning

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 505-8500, Fax: (314) 862-3168

STAFF REPORT

Meeting Date	26 March, 2025
File Number	FDP-25-01
Council District	3
Location	Market at Olive Plat 7, Lots 2 and 3
Applicant	Drew Bextermueller (Dierbergs University City, LLC)
Property Owner	Dierbergs University City, LLC.
Request	Approval of a Final Development Plan. <i>Simultaneous application with REZ-25-01</i>

Comprehensive Plan Conformance:

Yes No No reference

Staff Recommendation:

Approval Approval with Conditions Denial No Recommendation

Attachments:

1. Please refer to the attachments to the REZ-25-01 staff report.

Applicant Request

The applicant, Drew Bextermueller, is requesting approval of a final development plan for lots 2 and 3 of Market at Olive Plat 7.

Existing Property

The properties are part of the Market at Olive development. The two subject lots have frontage on Olive and are situated directly north of the Dierbergs site (Market at Olive Plat 7, Lot 1). The lots are currently graded but undeveloped.

Analysis

The applicant is seeking approval of the Final Development Plan simultaneous with the Map Amendment and Preliminary Development Plan. To avoid conflicting or redundant information, staff has presented the analysis for all three applications in the staff report for REZ-25-01.

Process – Required City Approvals

Compliance with Approved Preliminary Development Plan. Section 400.870(B) of the zoning code requires that final development plans be in substantial compliance with the approved preliminary development plan. In this case, the proposed final development plan is identical to the preliminary development plan and is therefore in substantial compliance.

Plan Commission. Sections 400.870(C) and 405.390(C) state that the Plan Commission shall review the final plat at the meeting scheduled for review of the final development plan. The Plan Commission shall make a determination whether the plan is in substantial compliance with the approved preliminary plan. The Commission shall recommend to the City Council approval or disapproval of the final development plan. A vote of disapproval shall be accompanied by reasons for such action in the meeting minutes.

City Council. Sections 400.870(C) and 405.390(E) state that as soon as practical after the Plan Commission makes its recommendation and after the applicant complies with 405.390(D)(1) through 405.390(D)(9), the final development plan shall be forwarded to the City Council for its consideration. Upon determination that the plan is in full compliance with the requirements hereof, the Council shall adopt an ordinance approving such final development plan.

Staff Recommendation

Staff recommends approval of the proposed Final Development Plan with the following condition:

1. The owner shall prepare an agreement which allows the remaining required parking spaces for Lots 2 and 3 to be located on Lot 1. Lot 2 requires 22 spaces to be located on Lot 1, and Lot 3 require 5 spaces to be located on Lot 1. This agreement shall be recorded with the St. Louis County Recorder of Deeds as required in §400.2010.