



**Historic Preservation Commission**

6801 Delmar Boulevard • University City, Missouri 63130 • 314-505-8500 • Fax: 314-862-3168

**MEETING OF THE HISTORIC PRESERVATION COMMISSION  
VIA VIDEOCONFERENCE  
Thursday, May 15, 2025  
6:00 p.m.**

**IMPORTANT NOTICE REGARDING  
PUBLIC ACCESS TO THE HPC MEETING & PARTICIPATION  
HPC will Meet Electronically on May 15, 2025**

**Observe and/or Listen to the Meeting** (your options to join the meeting are below):

**Webinar** via the link below:

**Join from PC, Mac, iPad, or Android:**

<https://us02web.zoom.us/j/88290214162>

Phone one-tap:

+13092053325,,88290214162# US

+13126266799,,88290214162# US (Chicago)

Join via audio:

+1 309 205 3325 US

+1 312 626 6799 US (Chicago)

+1 646 931 3860 US

+1 929 205 6099 US (New York)

+1 301 715 8592 US (Washington DC)

+1 305 224 1968 US

+1 386 347 5053 US

+1 507 473 4847 US

+1 564 217 2000 US

+1 669 444 9171 US

+1 669 900 6833 US (San Jose)

+1 689 278 1000 US

+1 719 359 4580 US

+1 253 205 0468 US

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 360 209 5623 US

Webinar ID: 882 9021 4162

International numbers available:

<https://us02web.zoom.us/j/kkh1RMPHE>

**Citizen Participation**

Those who wish to provide a comment during the “Public Comment” portion of the agenda may provide written comments or request video participation invites to the Director of Planning and Development ahead of the meeting. Please specify which case and portion of the agenda you wish to comment.

ALL written comments or video participation invites must be received **no later than 12:00 p.m. the day of the meeting**. Comments may be sent via email to: [jwagner@ucitymo.org](mailto:jwagner@ucitymo.org) or mailed to the City Hall – 6801 Delmar Blvd. – Attention John Wagner, Director of Planning and Development. Such comments will be provided to the Historic Preservation Commission prior to the meeting. Comments will be made a part of the official record and made accessible to the public online following the meeting.

Please note, when submitting your comments or invites, a **name and address must be provided**. Please also note if your comment is on an agenda or non-agenda item, and a name and address are not provided, the provided comment will not be recorded in the official record.

The City apologizes for any inconvenience the meeting format change may pose to individuals, but it is extremely important that extra measures be taken to protect employees, residents board/commission members and elected officials during these challenging times.



# **AGENDA**

## **HISTORIC PRESERVATION COMMISSION**

1. Roll Call
2. Approval of Minutes – Approval of minutes from April 17<sup>th</sup> 2025.
3. Public Comments – (Limited to 3 minutes for individual's comments, 5 minutes for representatives of groups or organizations.)

*ALL written comments or video participation invites must be received no later than 12:00 p.m. the day of the meeting. Comments may be sent via email to: [jwagner@ucitymo.org](mailto:jwagner@ucitymo.org) or mailed to the City Hall – 6801 Delmar Blvd. – Attention John Wagner, Director of Planning and Development. Such comments will be provided to the Historic Preservation Commission prior to the meeting. Comments will be made a part of the official record and made accessible to the public online following the meeting.*

*Please note, when submitting your comments or invites, a **name and address must be provided**. Please also note if your comment is on an agenda or non-agenda item, and a name and address are not provided, the provided comment will not be recorded in the official record.*

### 4. Old Business

- a. None

### 5. New Business

- a. **File Number:** HPC-25-09  
**Address:** 435 Westgate Ave  
**Applicant:** Renaissance Roofing, Inc.  
**Property Owner:** Janet McGill  
**Request:** Replace shingles on rear roof, remove chimney and fix roof, rebuild/repair decorative wooden boxes, replace rotten decking (Parkview Historic District - Local)  
**VOTE REQUIRED**
- b. **File Number:** HPC-25-10  
**Address:** 746 Harvard Ave  
**Applicant:** Peter and Allison Moreale  
**Property Owner:** Peter and Allison Moreale  
**Request:** Removal of existing shed, construction of new garage. (University Heights - National Historic District)
- c. **File Number:** HPC-25-11  
**Address:** 724 Trinity Ave  
**Applicant:** Tim Schmalz and Emily Anstoetter  
**Property Owner:** Tim Schmalz and Emily Anstoetter  
**Request:** 1-room office addition on 2<sup>nd</sup> story above existing part of home. (University Heights – National Historic District)
- d. **File Number:** HPC-25-12  
**Address:** 7400 Balson and 7401 Balson  
**Applicant:** Olu Mitchum – Executive Director of Operations  
**Property Owner:** University City School District  
**Request:** Replacing clay roof tiles with synthetic roof tiles  
**Vote Required**

### 6. Other Business

### 7. Reports

- a. Council Liaison Report

### 8. Adjournment





**Department of Community Development**

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 862-6767, Fax: (314) 862-3168

**HISTORIC PRESERVATION COMMISSION MEETING**

**STAFF COVER SHEET – HPC-25-09**

MEETING DATE: May 15, 2025

APPLICATION TYPE: Design review for conformance with district standards

LOCATION: 435 Westgate ave.

HISTORIC DISTRICT: Parkview

PROJECT DESCRIPTION: Replace shingles on rear roof, remove chimney and fix roof, rebuild/repair decorative wooden boxes, replace rotten decking

APPLICANT: Renaissance Roofing, inc.

PROPERTY OWNER: Janet McGill

COUNCIL WARD: 1

EXISTING ZONING: Single Family Residential (SR)

EXISTING LAND USE: Single family home

**SURROUNDING ZONING AND LAND USE**

North:	SR-Single Family Residential District	Single Family Residential
East:	SR-Single Family Residential District	Single Family Residential
South:	SR-Single Family Residential District	Single Family Residential
West:	HR-High Density Residential District	Multi-Family Residential

**COMPREHENSIVE PLAN CONFORMANCE**

☐ Yes      ☐ No      ☒ No reference

**ZONING ORDINANCE CONFORMANCE**

☒ Yes      ☐ No      ☐ No reference

PERTINENT CODE §400.1860 Historic Landmark Established. (Parkview Historic District)

SECTION(S): §400.1870 District Regulations and §400.1980 District Standards

Prepared by: Noah Chapin, City Planner



# HISTORIC PRESERVATION COMMISSION OF UNIVERSITY CITY

## APPLICATION FOR REVIEW

In University City Historic Districts, and for University City Landmarks, a review is required for new construction and for certain alterations which are specified in the regulations for the district or landmark. A Review shall not be required for ordinary maintenance or repairs when materials to be used are similar to or compatible with those originally used when the buildings within the historic district were built. The materials submitted with this application will be reviewed by the Historic Preservation Commission for compliance with the standards for each historic district or landmark.

The Historic Preservation Commission encourages property owners to seek preliminary guidance of the Commission at the beginning of any renovation project to avert unnecessary expense and scheduling problems that might surface at the end of the review process. Please call the Planner at 314-505-8501 for meeting times of the Commission and to be placed on the agenda.

In addition to this review, Building Permits are required for new construction, structural changes, fences and certain other activities. Property owners are advised to check with the Building Commissioner's Office to determine if a Building Permit is needed.

**ADDRESS OF PROPERTY** 435 WESTGATE AVE UNIVERSITY CITY MO 63130

**NAME OF HISTORIC DISTRICT** PARKVIEW / UNIVERSITY CITY MO

### GENERAL INFORMATION

Owner JANET MCGILL Phone 314-712-1765

Address (if different) \_\_\_\_\_

Applicant RENAISSANCE ROOFING, INC. Phone 815-547-1725

Address PO BOX 5024 Rockford, IL 61125

Signature of applicant Jacey Schmalen Date 4/11/25

### TYPE OF REVIEW REQUESTED

☒ Design Review for Conformance with District Standards

☐ Preliminary Review/Consultation

☐ Permit to Demolish

☐ Designation of Historic Landmark or District

☐ Other: \_\_\_\_\_

**DESCRIPTION OF PROPOSED PROJECT:** Please include or attach sufficient information for the Commission to judge your proposed work; insufficient information may cause a delay in approval. Also, please include a brief explanation of the reason for the proposed change and a specific list of the exact proposed changes in detail on the following page.



List of Proposed Changes:

1. Replace already existing shingles on rear roof.
2. Removal of chimney - install new rafter/ wood decking, install clay tile roofing system to match rest of roof
3. Rebuild/ repair decorative wooden boxes at dormers as needed / paint to match existing color
4. Replace any rotten decking through roof work, undetermined until we open the roof in those specific areas
5. \_\_\_\_\_
6. \_\_\_\_\_
7. \_\_\_\_\_
8. \_\_\_\_\_
9. \_\_\_\_\_
10. \_\_\_\_\_

**SUBMITTAL REQUIREMENTS:** Submit at least 21 days prior to regularly scheduled meeting.  
Required: Photographs of the area, building or buildings to be affected by your project.

Submit, as appropriate, 12 copies of:

___Plans	___Specifications	___Site Plans
___Materials Samples	___Manufacturer's Literature	___Other
___Drawings of installation details		

Photocopies and reductions are acceptable.

SUBMIT TO: Department of Community Development, 4TH Floor  
6801 Delmar Blvd.  
University City, MO 63130  
(314) 862-3168 (FAX)

**FOR FURTHER ASSISTANCE CALL:** Planner (314) 505-8501

**COMMENTS:** For questions please call salesman/ production manager Nick Hughes #314-550-9049

\_\_\_\_\_

Please note: This application form must be submitted with the plans for the building permit application.



STL City ☐ Y ☒ N Job #25-1056  
Salesman Nick H  
Total Contract \$58,140.00  
Total Man Days 42



## RENAISSANCE

HISTORIC EXTERIORS

RECEIVED  
APR 09 2025

**Date:** April 7, 2025  
**Presented to:** Janet McGill  
**Relationship to Property:** Owner  
**Mailing Address:** 435 Westgate Avenue  
**City, State, Zip:** University City, MO 63130  
**Email Address:** [jmcgill@wustl.edu](mailto:jmcgill@wustl.edu)  
**Phone:** (314) 712-1765

RE: RESTORATION WORK

Renaissance Roofing, Inc. ("Company") hereby proposes to do the following work at the address stated above:

### Part I – Shingle Porch Roof Restoration (Refer to Included Roof Diagram for Locations)

- A) Provide a safe working environment as well as protecting the building and grounds from damage.
- B) Remove and dispose of existing shingles, underlayment materials, flashings, and gutters on the west side porch. (Refer to enclosed diagram for location.)
- C) Replace rotten wood decking as needed. This work is to be completed at an additional \$10.00 per lineal ft.
- D) All unforeseen, hidden, structural-framing replacement to be photo-documented, approved prior to commencement of work, and completed on a time (\$150.00 per man-hour) and material basis.
- E) Furnish and install new ice and water shield underlayment over the entire exposed roof surface.
- F) Furnish and install 1 layer of new felt underlayment over the entire exposed roof surface to ensure proper drainage.
- G) Furnish and install new .032 pre-painted aluminum gutter apron, and wall flashings.
- H) Furnish and install new .032 pre-painted aluminum 5" K-style gutters anchored every 2' on center using heavy-duty hidden aluminum hangers and non-corrosive screws.
- I) Furnish and install new .032 pre-painted aluminum 2" x 3" downspout complete with standard downspout straps.
- J) Furnish and install new 30-year architectural shingles over the entire exposed roof surface in accordance with manufacturer's specifications.
- K) Clean up and remove all debris created by our work.

BELVIDERE/CHICAGO OFFICE  
2231 HAWKEY DRIVE  
BELVIDERE, IL 61008

ST LOUIS OFFICE  
2070 N LARK DRIVE  
FENTON, MO 63026

800.699.5695  
[HISTORICEXTERIORS.COM](http://HISTORICEXTERIORS.COM)



## Notes – Part I

- A) Homeowner to determine color of the following: shingles, gutter apron & wall flashings, gutters, and downspouts.
- B) Any additional work, as described on the attached Unforeseen Conditions, will be invoiced as needed.

## Investment – Part I

Above Part I work to be completed for the total investment of \$11,715.00.

\*Acceptance of Part I Total Investment (\$11,715.00)

Janet B. McGill

Janet B. McGill Apr 8, 2025 20:49 CDT

(Owner Signature Required)

Janet B. McGill

Janet B. McGill Apr 8, 2025 20:49 CDT

(Owner Name Printed)

Apr 8, 2025

(Date)

## Payment Terms

Acceptance Payment	\$2,929.00
Commencement Payment	\$2,929.00
Final Payment (Upon completion)	\$5,857.00

\*Acceptance of Payment Terms

Janet B. McGill

Janet B. McGill Apr 8, 2025 20:49 CDT

(Owner Signature Required)

Janet B. McGill

Janet B. McGill Apr 8, 2025 20:49 CDT

(Owner Name Printed)

Apr 8, 2025

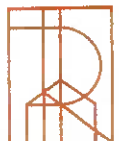
(Date)

(Credit Cards (VISA/MC/AmEx) are accepted. A 4% convenience fee may apply.)

## Part II – Partial Roof Restoration

(Refer to Included Roof Diagram for Locations)

- A) Erect scaffolding to provide a safe working environment as well as protecting the building and grounds from damage.





- B) Carefully remove existing tiles and dormer wall tiles, as needed, saving whole sound tiles for reinstallation. (See included diagram for location)
- C) Remove and dispose of existing gutter, gutter apron, wall flashings, and chimney flashings.
- D) Remove exposed underlayment completely down to wood decking and dispose of underlayment.
- E) Replace rotten wood decking as needed. This work is to be completed at an additional \$10.00 per lineal ft.
- F) All unforeseen, hidden, structural-framing replacement, soffit repair, painting work to be photo-documented, approved prior to commencement of work, and completed on a time (\$150.00 per man-hour) and material basis.
- G) Furnish and install new ice and water shield underlayment along the first 3' of eaves, along walls, around chimney, and in valleys.
- H) Furnish and install new felt underlayment over the entire exposed roof surface to ensure proper substrate.
- I) Furnish and install new 16 oz. copper gutter apron, wall flashings, valley flashings, and chimney flashings.
- J) Furnish and install new 4 lb. lead waste stack flashing.
- K) Furnish and install new .032 pre-painted aluminum 6" K-style gutters anchored every 2' on center using heavy-duty hidden aluminum hangers and non-corrosive screws.
- L) Furnish and install new .032 pre-painted aluminum 3" x 4" downspout complete with standard downspout straps.
- M) Reinstall existing tiles using appropriately sized copper nails. (Renaissance Historic Exteriors to provide matching reclaimed tiles to replace those lost in the pick-up and relay process to complete work 100%.)
- N) Clean up and remove all debris created by our work.

## Notes – Part II

- A) Renaissance Historic Exteriors to contact Ameren UE to wrap power lines prior to commencement of work.
- B) Extensive woodwork is expected to be needed once underlayment is removed.
- C) Homeowner to determine color of gutters and downspout.
- D) Any additional work, as described on the attached Unforeseen Conditions, will be invoiced as needed.

## Investment – Part II

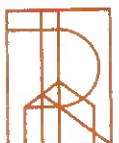
Above Part II work to be completed for the total investment of \$30,336.00.

\*Acceptance of Part II Total Investment (\$30,336.00) Janet B. McGill  
Janet B. McGill (APR 8, 2025 20:49 CDT)  
 (Owner Signature Required)

Janet B. McGill  
Janet B. McGill (APR 8, 2025 20:49 CDT)  
 (Owner Name Printed)

Apr 8, 2025

(Date)





## Payment Terms

Acceptance Payment	\$7,584.00
Commencement Payment	\$7,584.00
Final Payment (Upon completion)	\$15,168.00

\*Acceptance of Payment Terms

Janet B. McGill

Janet B. McGill (Apr 8, 2025 20:49 CDT)

(Owner Signature Required)

Janet B. McGill

Janet B. McGill (Apr 8, 2025 20:49 CDT)

(Owner Name Printed)

Apr 8, 2025

(Date)

(Credit Cards (VISA/MC/AmEx) are accepted. A 4% convenience fee may apply.)

## Part II Option – Chimney Removal

- A) *In lieu of installing copper chimney flashings as described in Part II, remove existing chimney to below roof line and dispose of chimney components. (Rest of Part II work to remain the same.)*
- B) Furnish and install new rafter and wood decking in void left by chimney as needed.
- C) Furnish and install new ice and water shield underlayment over entire exposed roof surface.
- D) Furnish and install new clay tile roofing system, to match existing as closely as possible, anchored using appropriately sized copper nails.
- E) Clean up and remove all debris created by our work.

## Notes – Part II Option

- A) This scope of work may need to be approved by the neighborhood association.
- B) Any additional work, as described on the attached Unforeseen Conditions, will be invoiced as needed.





## Investment – Part II Option

Above Part II Option work to be completed for the **additional** investment of \$2,864.00.

\*Acceptance of Part II Option **Additional** Investment (\$2,864.00) Janet B. McGill  
Janet B. McGill (Apr 8, 2025 20:45 CDT)  
(Owner Signature Required)  
Janet B. McGill  
Janet B. McGill (Apr 8, 2025 20:45 CDT)  
(Owner Name Printed)  
Apr 8, 2025  
(Date)

## Payment Terms

Acceptance Payment	\$716.00
Commencement Payment	\$716.00
Final Payment (Upon completion)	\$1,432.00

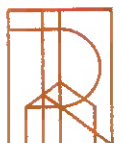
\*Acceptance of Payment Terms Janet B. McGill  
Janet B. McGill (Apr 8, 2025 20:45 CDT)  
(Owner Signature Required)  
Janet B. McGill  
Janet B. McGill (Apr 8, 2025 20:45 CDT)  
(Owner Name Printed)  
Apr 8, 2025  
(Date)

(Credit Cards (VISA/MC/AmEx) are accepted. A 4% convenience fee may apply.)

## Part III – Repair Work

(Refer to Included Roof Diagram for Locations)

- A) Provide a safe working environment as well as protecting the building and grounds from damage.
- B) Rebuild and/or repair decorative wooden boxes at dormers as needed. (Refer to diagram for locations.)
- C) Paint the rebuilt/repaired section of decorative wooden boxes to match existing color as closely as possible.
- D) Furnish and install sheet metal at dormer sides, closing holes created by critters.
- E) Replace up to 25 tiles, including broken trim and dormer wall tiles, across the entire roof.
- F) Clean up and remove all debris created by our work.





## Notes – Part III

Any additional work, as described on the attached Unforeseen Conditions, will be invoiced as needed.

## Investment – Part III

Above Part III work to be completed for the investment of \$13,225.00.

\*Acceptance of Part III Investment (\$13,225.00) Janet B. McGill  
Janet B. McGill (Apr 8, 2025 20:39 CDT)  
(Owner Signature Required)  
Janet B. McGill  
Janet B. McGill (Apr 8, 2025 20:49 CDT)  
(Owner Name Printed)  
Apr 8, 2025  
(Date)

## Payment Terms

Acceptance Payment	\$3,771.00
Commencement Payment	\$3,305.00
Final Payment (Upon completion)	\$6,149.00

\*Acceptance of Payment Terms Janet B. McGill  
Janet B. McGill (Apr 8, 2025 20:49 CDT)  
(Owner Signature Required)  
Janet B. McGill  
Janet B. McGill (Apr 8, 2025 20:49 CDT)  
(Owner Name Printed)  
Apr 8, 2025  
(Date)

(Credit Cards (VISA/MC/AmEx) are accepted. A 4% convenience fee may apply.)

Respectfully submitted,



Nick Hughes  
Production Manager  
Renaissance Roofing, Inc.





## Unforeseen Conditions

The following conditions are likely present on all structures and these conditions will require repairs and modification that will result in changes to the price and schedule. Once these conditions are known and solutions are identified, an estimate will be provided for your approval. Our standard rate is \$125/hour plus meals, travel, and lodging expenses as required.

### Low Sloped Roofing Systems

When our proposal includes the removal of an existing low sloped roofing layer, any hidden layers of roofing beneath the visible layer will result in additional charges for removal of these layers. Any roof deck repairs and structural modification (increase in pitch) to provide positive drainage for the low sloped system and any temporary waterproofing will also result in additional charges to provide the necessary conditions for the roofing system being installed.

### Roof Structure, Roof Decking, and other carpentry items

The type and condition of all decking and underlying rafter and framing components cannot always be determined during our original inspection. Upon tear-off of the roofing material, deficiencies with the wooden decking, cementitious decking, rafter and framing components may be found and will result in additional charges.

### Hazardous Material

Unless specifically stated herein, this proposal does not include costs associated with the disturbance, removal, or disposal of any hazardous material found during the course of our work. If hazardous materials are found, Company will obtain and supply pricing for these additional services.

### Built-In Gutter Framing

The type and condition of all built-in gutter components (gutter, framing, soffit, rafters, sill plate, pitch, shims, slope) cannot always be determined from our original inspection. Upon removal of the gutter system additional damage may be found resulting in additional removal/repair/replacement and will result in additional charges.

### Hidden Masonry Conditions

Masonry at the chimneys, the walls, below the soffit/gutter/sill plate & rafters could be damaged due to the same water-infiltration that caused the wood decking, and framing damages. Most of the time the masonry work is completely hidden by the roofing, flashing, sheet metal, or wood trim components and only after these components are removed is the underlying masonry structure damage identified. These masonry damages can span from simple tuck-pointing behind masonry chimney flashings, to more extensive re-building of the masonry chimney areas and in some cases tear down and rebuild of wall, chimney, and structural masonry components. Additional masonry work identified will result in additional charges.

\*Acknowledgement/Acceptance of Unforeseen Conditions Janet B. McGill  
Janet B. McGill (Apr 8, 2025 20:49 CDT)

(Owner Signature Required)

Janet B. McGill  
Janet B. McGill (Apr 8, 2025 20:49 CDT)

(Owner Name Printed)

Apr 8, 2025

(Date)





## General Terms and Conditions

By accepting this proposal, Owner agrees to accept financial responsibility for all necessary permits and fees, directly associated with the proposed work, as required by the local municipalities. Permit fees are not included in the above proposal and will be included in the final invoice. All proposed adjustments or additional work that was not included in the original proposal will be completed pursuant to a written change order form indicating additional cost, labor, and materials, signed by both parties. Any and all salvaged materials will become property of Company.

**NOTICE:** Moisture that has entered the building prior to our installation or repair of the roofing system may result in mold growth. Company disclaims any and all responsibility for damage to person or property arising from or relating to the presence of mold in the building. By executing the contract, Owner 1) releases Company from any and all claims Owner and Owner's (a) family members, (b) employees, (c) tenants or (d) any other building occupants may have as a result of such mold growth and 2) agrees to defend, indemnify, and hold Company harmless from any and all penalties, actions, liabilities, costs, expenses, and damages arising from or relating to the presence of mold in Owner's building.

If Company is not paid according to the terms of this proposal, Owner agrees that interest shall accrue on any unpaid balance at the rate of 1.5% per every 28 days past-due, including the costs of collection and handling late payments, shall be due on the 30<sup>th</sup> day, and each 30<sup>th</sup> day thereafter, from the time payment is due. If Company brings action to collect any amounts owed by Owner, Company shall be entitled to recover reasonable attorneys' fees, court costs and other collection costs from Owner, IN ADDITION to any other relief to which Company shall be entitled. Company and Owner agree that any action brought to enforce the terms of this agreement shall be brought in the Circuit Courts of Boone County, Illinois. In the event any provision of this agreement shall be declared invalid or unenforceable, the remaining terms shall remain in full force and effect.

### **NOTICE TO OWNER**

**FAILURE OF THIS CONTRACTOR TO PAY THOSE PERSONS SUPPLYING MATERIAL OR SERVICES TO COMPLETE THIS CONTRACT CAN RESULT IN THE FILING OF A MECHANIC'S LIEN ON THE PROPERTY WHICH IS THE SUBJECT OF THIS CONTRACT PURSUANT TO CHAPTER 429 RSMO. TO AVOID THIS RESULT, YOU MAY ASK THIS CONTRACTOR FOR "LIEN WAIVERS" FROM ALL PERSONS SUPPLYING MATERIAL OR SERVICES FOR THE WORK DESCRIBED IN THIS CONTRACT. FAILURE TO SECURE LIEN WAIVERS MAY RESULT IN YOUR PAYING FOR LABOR AND MATERIAL TWICE.**

Owner hereby grants permission to Company to use photographs in Company publications such as brochures, newsletters, magazines, and to use photographs in electronic forms or media. Owner waives any right to inspect or approve the finished photographs or printed or electronic matter that may be used in conjunction with them now or in the future, whether that use is known or unknown to Owner, and Owner waives the right to royalties or other compensation arising from or related to the use of any photographs or other images.

If Owner, after acceptance of this proposal, elects not to proceed with the work, Owner shall reimburse Company irrespective of whether any work is ever commenced, for all of Company's costs, fees, and expenses incurred in connection with the bidding, documentation, material purchase, labor and/or preparation for the commencement of the work, including, but not limited to Company's fees, travel expenses and reasonable overhead expenses.

It is Company practice to have extra roofing supplies on hand during all work in the event additional material is needed. These extra supplies are the property of Company and shall be removed from the site at the completion of the project.

\*Acknowledgement/Acceptance of General Terms and Conditions

Janet B. McGill

Janet B. McGill (Apr 8, 2025 20:49 CDT)

(Owner Signature Required)

Janet B. McGill

Janet B. McGill (Apr 8, 2025 20:49 CDT)

(Owner Name Printed)

Apr 8, 2025

(Date)





## **Safety Statement**

Renaissance is committed to the safety of our personnel and has invested heavily in the best, most advanced equipment in the industry and continuous, adaptive training. Our safety program has earned us an industry leading Experience Modification Rating (EMR) of 0.88%, lower than the industry standard of 1.00%.

Your compliance with our safety procedures is vital. If you have any concern about the safety on your jobsite, please contact our Safety Director by calling 1-800-699-5695. Safety, Quality and Efficiency are integral in improving the final product for our clients.

## **Warranty Statement**

☒ Yes ☐ No – FIVE-YEAR WRITTEN WARRANTY APPLIES to **PART(S) I, II, &/or PART II**  
**OPTION ONLY**

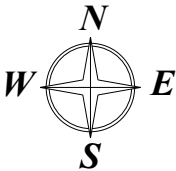
Renaissance Roofing, Inc. will issue a five-year written warranty PART(S) I, II, &/or PART II OPTION ONLY from the date of completion of the work that the workmanship performed on the parts that are warrantable to remain free of defects in workmanship. This warranty will be issued only when the work is completed and all payments by the owner are made in full as per the proposal. Failure by owner to pay the full amount due to Renaissance shall not extend warranty beyond five years from the date of completion of the work.  
Owner may not assign these warranty rights.

COMPANY AND OWNER AGREE THAT ALL WARRANTIES OF FITNESS FOR A PARTICULAR PURPOSE AND MERCHANTABILITY AND ALL IMPLIED WARRANTIES ARE DISCLAIMED AS PART OF THIS AGREEMENT.





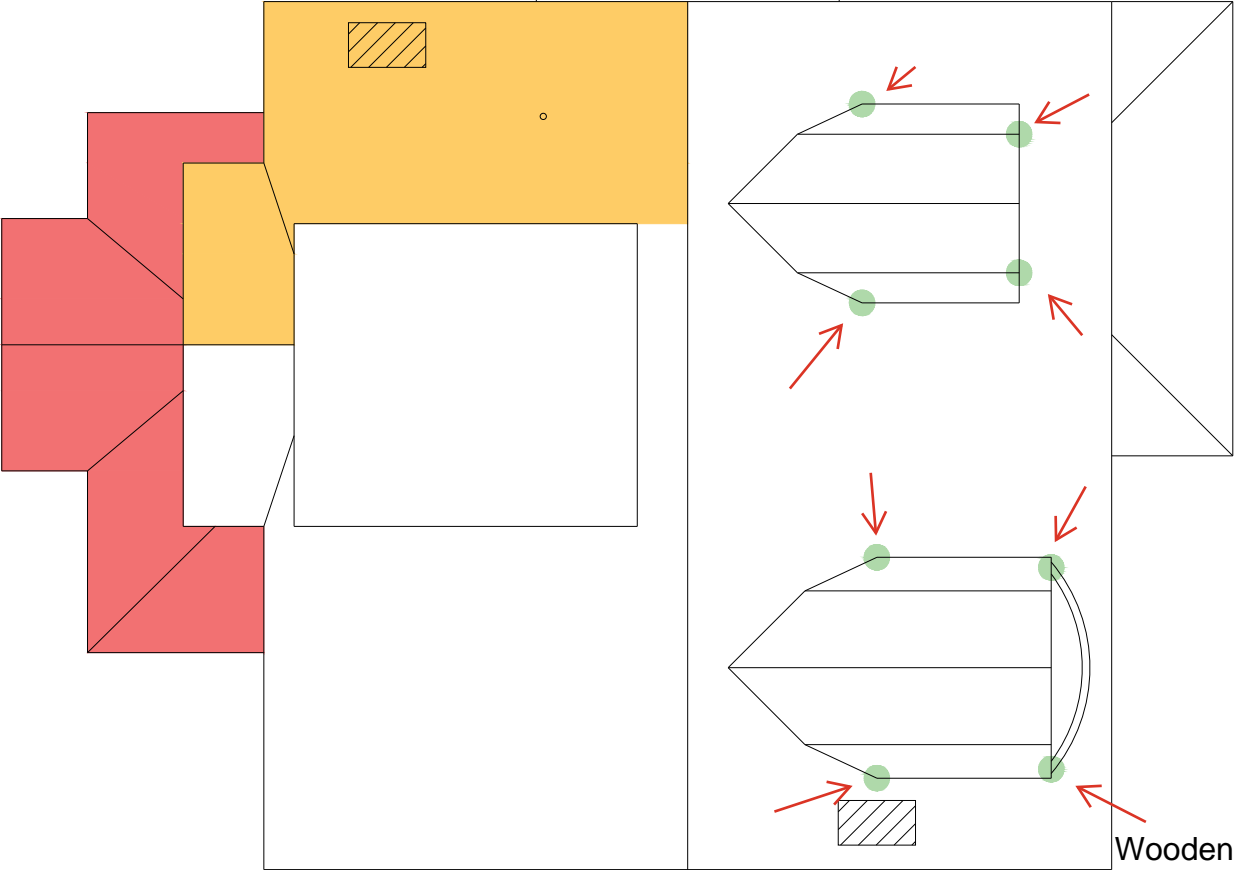
JANET MCGILL RESIDENCE



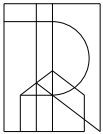
Tile Roof (Pre Existing) & Chimney Removal



Shingle Roof  
(pre existing) →



Wooden Dormer Repair



RENAISSANCE  
HISTORIC EXTERIORS  
2231 HAWKEY DRIVE,  
BELVIDERE, IL 61108  
PHONE: 815-547-1725

DATE:  
10/17/2024

DRAWN BY:  
BW

DRAWING: HIGHLIGHTED ROOF DIAGRAM

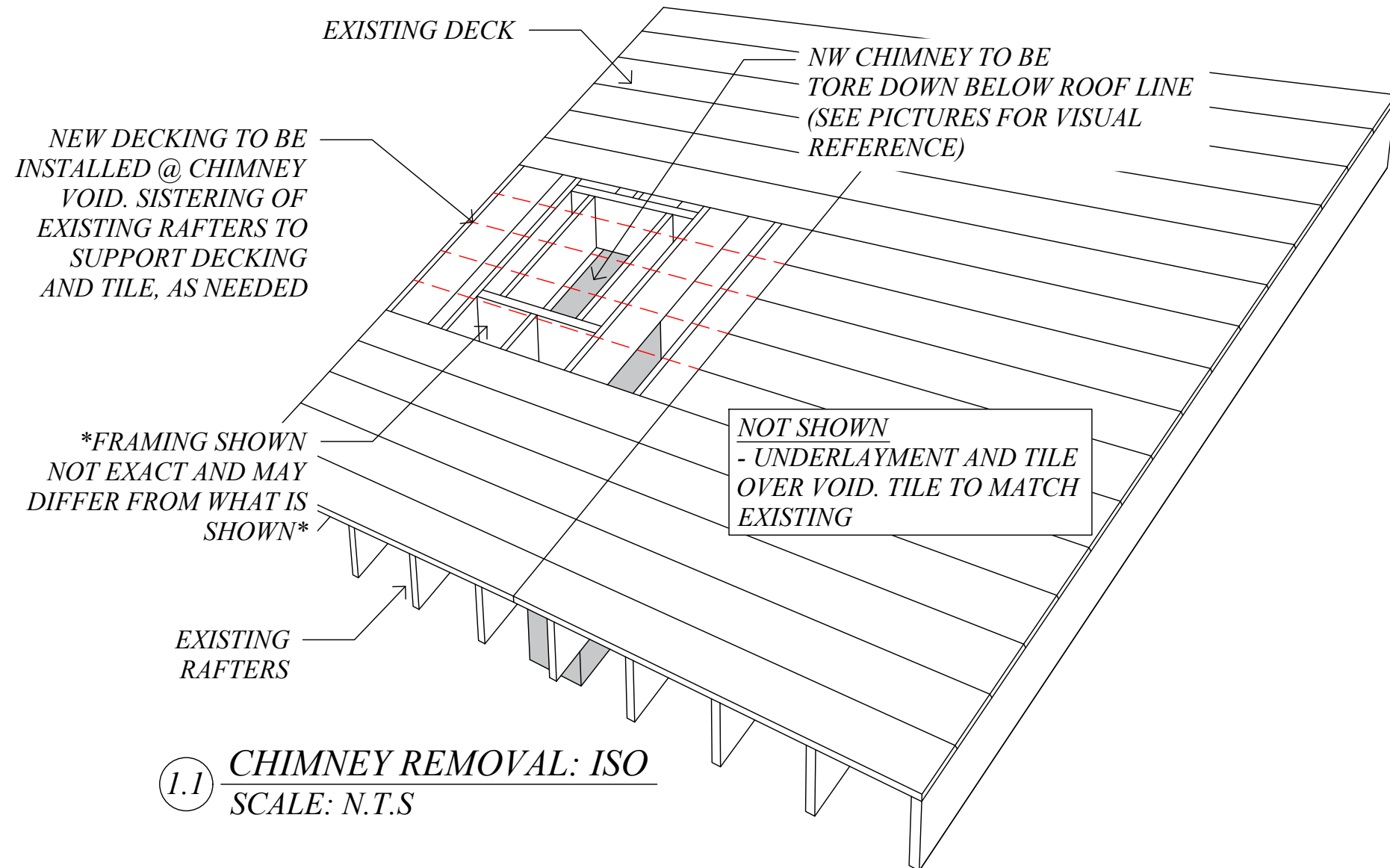
PROJECT: JANET MCGILL RESIDENCE

LOCATION: 435 WESTGATE AVE, ST. LOUIS, MO 63130

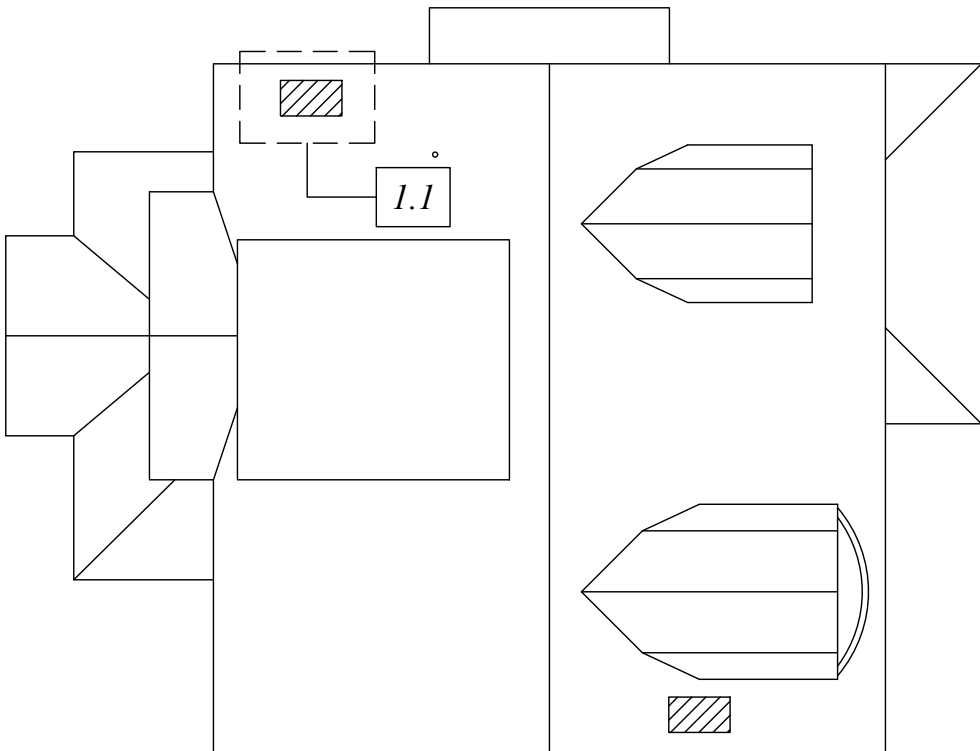
SCALE: NO SCALE

- PART I
- PART II
- PART III



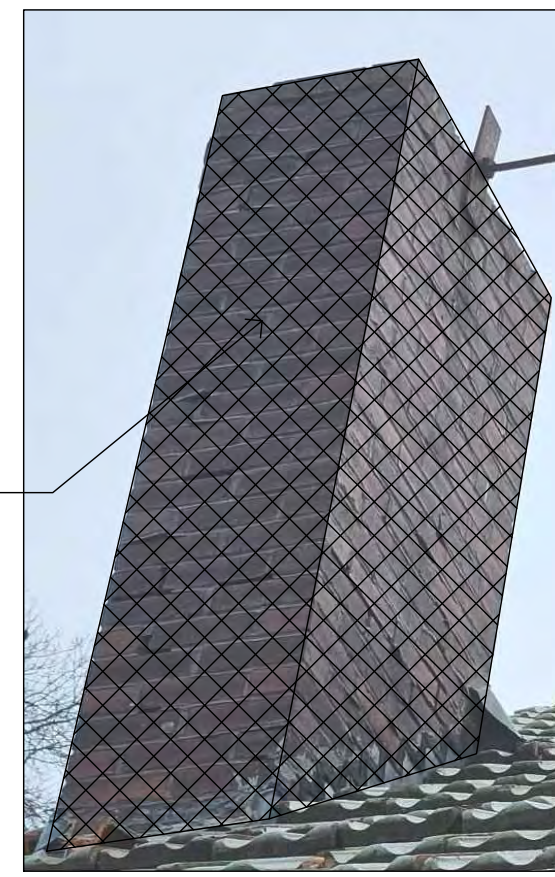


1.1 CHIMNEY REMOVAL: ISO  
SCALE: N.T.S



1 ROOF PLAN  
SCALE: N.T.S

HATCHED AREA  
REPRESENTS PARTS  
TO BE TORE DOWN

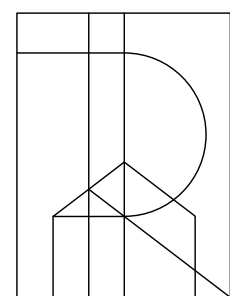


REFERENCE IMAGE



AERIAL VIEW OF CHIMNEY  
FOR REFERENCE

REFERENCE IMAGE



RENAISSANCE  
HISTORIC EXTERIORS

2231 HAWKEY DRIVE,  
BELVIDERE, IL 61108

MCGILL  
RESIDENCE

435 WESTGATE AVE  
UNIVERSITY CITY, MO 63130

SCALE: AS NOTED

DRAWN BY: BW

CHECKED BY: N/A

DATE: 4/15/2025

DRAWING TITLE:

CHIMNEY  
REMOVAL

NOTES:

PAGE NUMBER:



## ORLEANS TILE or GERMAN TILE



REGULAR TILE

Length..... 16 inches  
 Width..... 9 inches  
 Exposure.....  $8 \times 13\frac{3}{8}$  inches  
 Number, 135 pcs. Actual weight, 800 lbs.  
 Shipping weight, 900 lbs.



RIGHT WIDE GABLE RAKE

Depth of flange below top of sheathing, one inch.  
 Weight, per ft., 7 lbs.



RIGHT NARROW GABLE RAKE

Depth of flange below top of sheathing, one inch.  
 Weight, per ft., 5 lbs.



END BAND

Same length and half the width of regular tile.  
 Used to break joints.



H. - 11  
 HIP ROLL

Length.....  $14\frac{1}{2}$  inches  
 Exposure..... 12 inches  
 Span, inside ..... 6 inches  
 Height..... 5 inches  
 Weight, per ft.,  $5\frac{1}{2}$  lbs.

Length..... 18 inches  
 Exposure..... 15 inches  
 Span, inside ..... 6 inches  
 Height..... 5 inches  
 Weight, each, 6 lbs.



S. - 11  
 HIP STARTER



## ORLEANS TILE — Continued



C. — 24  
CRESTRING

Length.....21 inches  
Exposure..... 20 inches  
Span, inside .....7½ inches  
Height.....6 inches

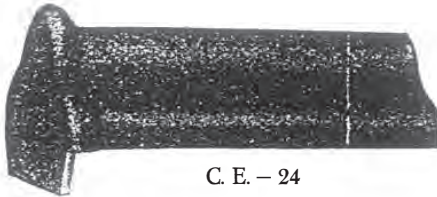
Weight, per ft., 9 lbs.

Length.....21 inches  
Exposure..... 20 inches  
Span, inside .....7½ inches  
Height.....6 inches

Weight, per ft., 11 lbs.



V. C. — 24  
VENTILATED CRESSING



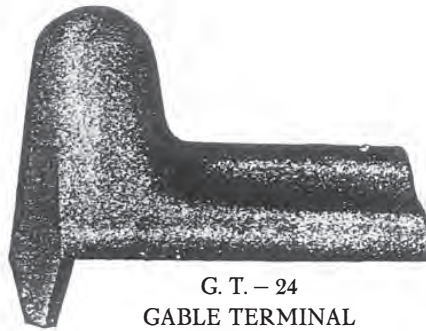
C. E. — 24  
CLOSED END

Length.....21 inches  
Exposure..... 20 inches  
Span, inside .....7½ inches  
Height.....6 inches

Weight, each, 16 lbs.

Length.....21 inches  
Exposure..... 20 inches  
Span, inside .....7½ inches  
Height.....15 inches

Weight, each, 25 lbs.



G. T. — 24  
GABLE TERMINAL  
For. C. — 24 crestring



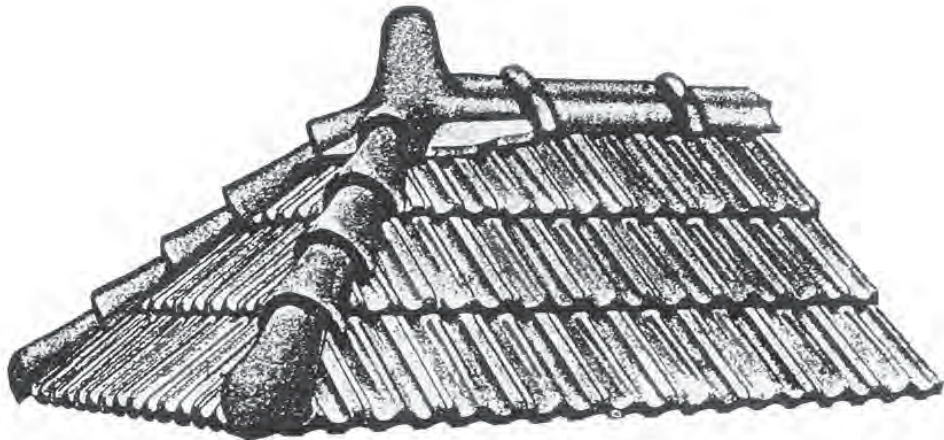
No. 235  
TWO-WAY TERMINAL  
For. H. — 11 hip roll and C. — 24 crestring

Length.....11 inches  
Exposure.....10 inches  
Span, inside .....7½ inches  
Height.....15 inches

Weight, each, 30 lbs.



## ORLEANS TILE — Continued



### ORLEANS TILE ROOF

With S. — 11 hip starter

H. — 11 hip roll

C. — 24 cresting and

No. 235 two-way terminal



## Landmark® Shingles

### PRODUCT INFORMATION

Landmark® shingles reflect the same high manufacturing standards and superior warranty protection as the rest of CertainTeed's line of roofing products. Landmark (and Algae Resistant-AR) shingles are built with the industry's toughest fiber glass mat base, and their strict dimensional tolerance assures consistency. Complex granule color blends and subtle shadow lines produce a distinctive color selection. Landmark is produced with the unique NailTrak® nailing feature.



Landmark algae-resistant (AR) shingles are algae-resistant and help protect against dark or black discoloration, sometimes called staining or streaking, caused by blue-green algae (*gloeocapsa magma*). AR shingles are not available in all regions.

**Colors:** Please refer to the product brochure or CertainTeed website for the colors available in your region.

**Limitations:** Use on roofs with slopes greater than 2" per foot. Low-slope applications (2:12 to < 4:12) require additional underlayment. In areas where icing along eaves can cause the back-up of water, apply CertainTeed WinterGuard® Waterproofing Shingle Underlayment, or its equivalent, according to application instructions provided with the product and on the shingle package.

**Product Composition:** Landmark shingles are composed of a fiber glass mat base. Ceramic-coated mineral granules are tightly embedded in carefully refined, water-resistant asphalt. Two pieces of the shingle are firmly laminated together in a special, tough asphaltic cement. All Landmark shingles have self-sealing adhesive strips.

### Applicable Standards

ASTM D3018 Type I

ASTM D3462

ASTM E108 Class A Fire Resistance

ASTM D3161 Class F Wind Resistance

ASTM D7158 Class H Wind Resistance

UL 790 Class A Fire Resistance

ICC-ES ESR-1389 and ESR-3537

CSA Standard A123.5 (Regional)

Miami-Dade Product Control Approved (Regional)

Florida Product Approval # FL5444

Meets TDI Windstorm Requirements

UL 2218 Class 3 Impact Resistance

(at time of manufacture)

### Technical Data:

	Landmark (and AR)
Weight/Square	211 to 225 lb *
Dimensions (overall)	13 1/4" x 38 3/4"
Weather Exposure	5 5/8"
Shingles per square	65
Bundles per square	3
Approximate Coverage per square	98.4 square feet

\*Dependent on manufacturing location. Weight per 100 square feet.



## **INSTALLATION**

Detailed installation instructions are supplied on each bundle of Landmark shingles and must be followed. Separate application sheets may also be obtained from CertainTeed.

**Hips and Ridges:** For capping hip and ridge apply CertainTeed Shadow Ridge®, Cedar Crest® or Mountain Ridge® shingles of a like color.

## **MAINTENANCE**

These shingles do not require maintenance when installed according to manufacturer's application instructions. However, to protect the investment, any roof should be routinely inspected at least once a year. Older roofs should be looked at more frequently.

## **WARRANTY**

Landmark (and AR) shingles carry a lifetime limited, transferable warranty to the consumer against manufacturing defects when applied to stated CertainTeed application instructions for this product. In addition, Landmark (and AR) carry up to 10-years of SureStart™ Protection. Landmark AR shingles carry a 25-year algae resistance warranty if installed with the CertainTeed Hip & Ridge accessories mentioned above. For specific warranty details and limitations, refer to the warranty itself (available from the local supplier, roofing contractor or on-line at [www.certainteed.com](http://www.certainteed.com)).

## **TECHNICAL SUPPORT**

Technical Service Department: 800-345-1145

e-mail: [RPGTS@saint-gobain.com](mailto:RPGTS@saint-gobain.com)

## **FOR MORE INFORMATION**

Customer Experience Team: 800-233-8990

e-mail: [gethelp@saint-gobain.com](mailto:gethelp@saint-gobain.com)

Web site: [www.certainteed.com](http://www.certainteed.com)

**CertainTeed LLC**  
20 Moores Road  
Malvern, PA 19355

© 08/24 CertainTeed











Chimney  
Removal





















## Department of Planning and Zoning

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 862-6767, Fax: (314) 862-3168

### HISTORIC PRESERVATION COMMISSION MEETING

#### STAFF COVER SHEET – HPC-25-10

MEETING DATE: May 15, 2025

APPLICATION TYPE: Preliminary Review/Consultation, permit to demolish

LOCATION: 746 Harvard Ave

HISTORIC DISTRICT: University Heights (National Historic District)

PROJECT DESCRIPTION: Removal of existing shed, construction of new garage

APPLICANT: Peter and Allison Moreale

PROPERTY OWNER: Peter and Allison Moreale

COUNCIL WARD: 2

EXISTING ZONING: Single Family Residential (SR)

EXISTING LAND USE: Single family home

#### SURROUNDING ZONING AND LAND USE

North:	SR-Single Family Residential District	Single Family Residential
East:	PA – Public Activity	School
South:	SR-Single Family Residential District	Single Family Residential
West:	SR-Single Family Residential District	Single Family Residential

#### COMPREHENSIVE PLAN CONFORMANCE

☐ Yes      ☐ No      ☒ No reference

#### ZONING ORDINANCE CONFORMANCE

☒ Yes      ☐ No      ☐ No reference

PERTINENT CODE §400.1620 Referral to Historic Preservation Commission.

SECTION(S): §400.1620: ...All applications for building permits pertaining to structures within three hundred (300) feet of a historic district or properties on the National Historic Register shall be referred to the Commission for interpretation, advice and recommendations.

Prepared by: Noah Chapin, City Planner



CODE ANALYSIS

ALL MECHANICAL, ELECTRICAL, PLUMBING WORK SHALL BE DESIGN BUILD. ALL MEP PERMIT DRAWINGS TO BE SUBMITTED BY DESIGN/BUILD SUB CONTRACTORS.

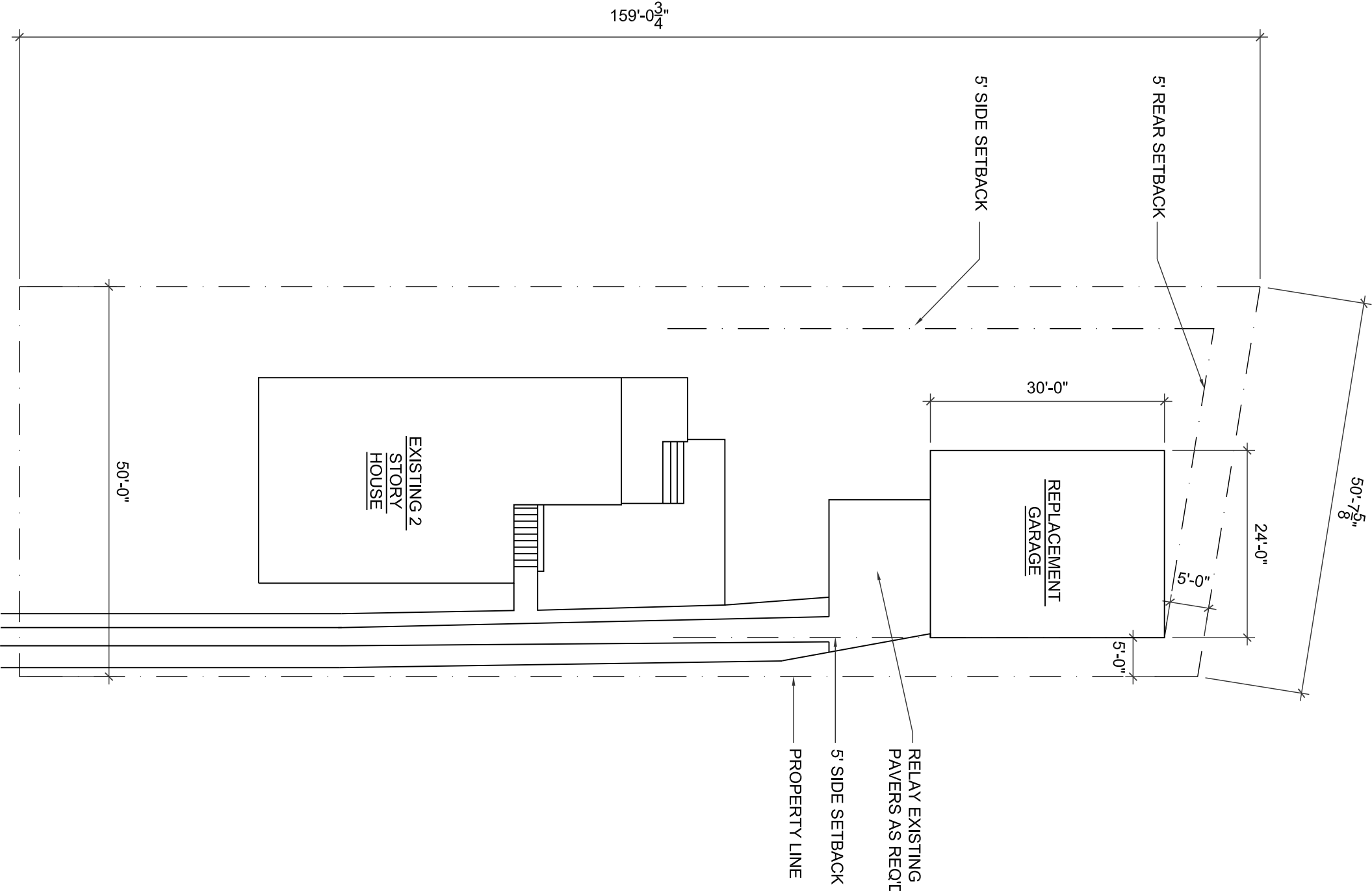
BUILDING CODE: 2019 IRC  
CONSTRUCTION TYPE 5-B  
ZONING DISTRICT SINGLE FAMILY  
USE GROUP SINGLE FAMILY HOME  
FLOOR AREA GARAGE - 720 SF

GENERAL NOTES

- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION OBTAIN CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, ADA, AND LIFE SAFETY CODES AND ORDINANCES.
- FIELD MEASURE EXISTING CONDITIONS PRIOR TO MANUFACTURING, FABRICATION, ORDERING, BIDDING, ETC.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
- DESIGN AND CONSTRUCTION OF ANY NEW WORK SHALL BE THE RESPONSIBILITY OF THE DESIGNER AND SUB CONTRACTORS MUST THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNIBLE FROM THE EXISTING CONDITIONS OR THE PROJECT DOCUMENTS.
- REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO THE NEW WORK.
- ALL NEW WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS FOR WEATHER TIGHT, WATER TIGHT, AIR TIGHT, ETC. PERFORMANCE.
- PROVIDE HIGH EFFICIENCY LED OR CFL LAMPS IN 75% OF ALL PERMANENTLY INSTALLED LIGHT FIXTURES IN HOUSE.
- WHEREVER PORTIONS OF THE EXISTING BUILDINGS ARE REMOVED, PRECAUTIONS SHALL BE TAKEN TO PRESERVE THE STRUCTURAL INTEGRITY OF THE REMAINING PORTIONS AND PROVIDE FOR THE SAFETY OF THE WORKERS.

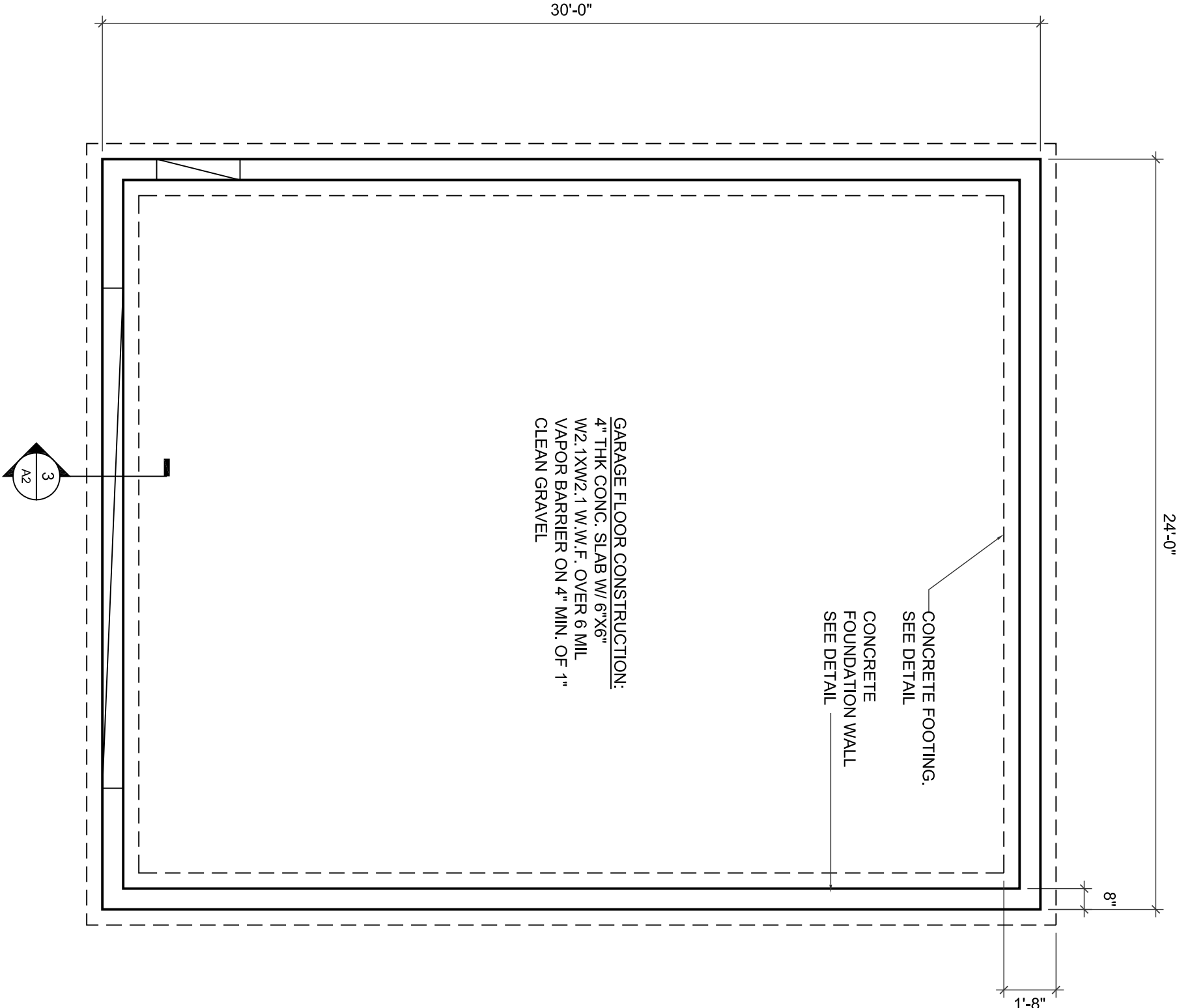
3 SITE PLAN

1/16"=1'-0"



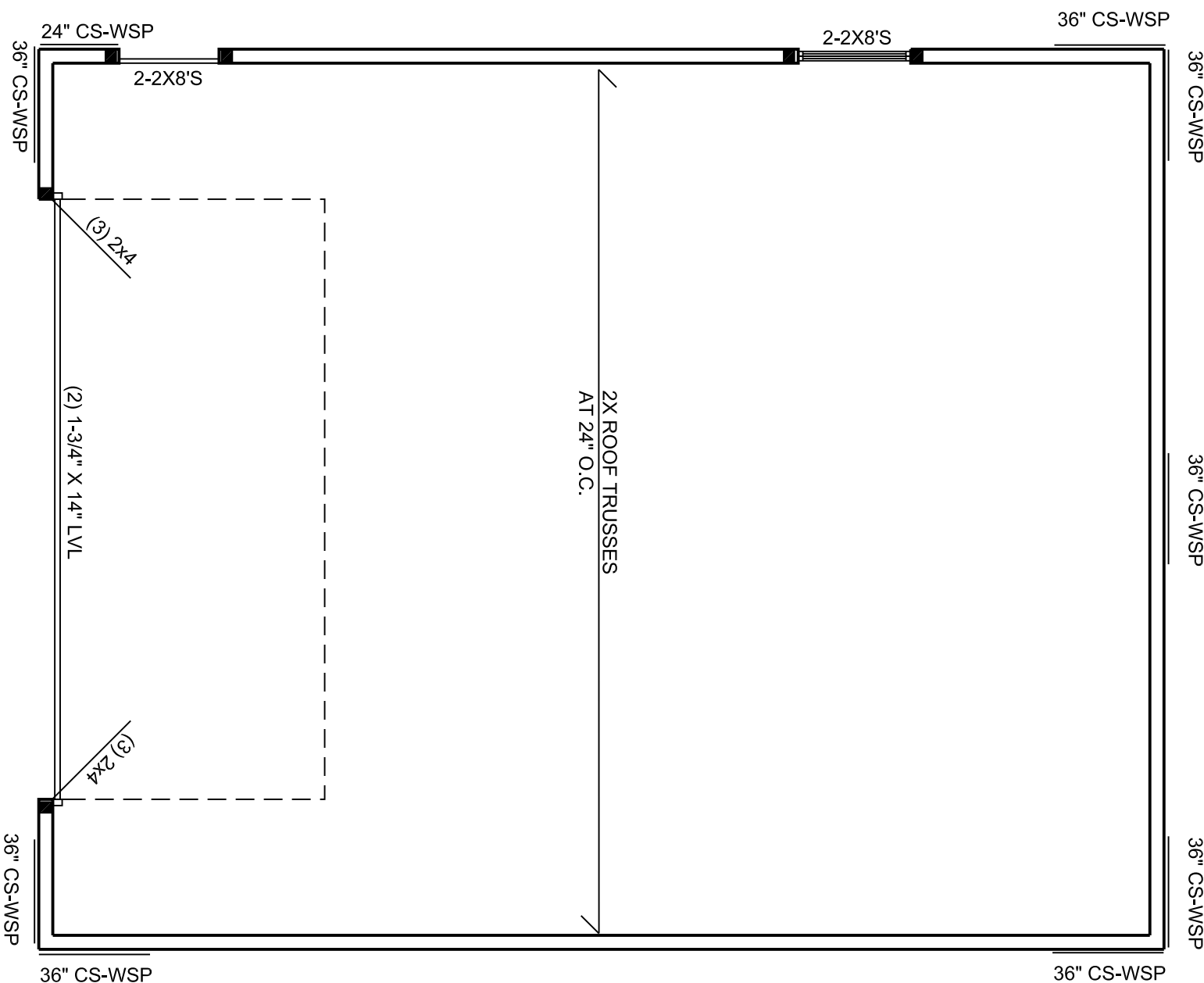
1 FOUNDATION PLAN

1/4"=1'-0"



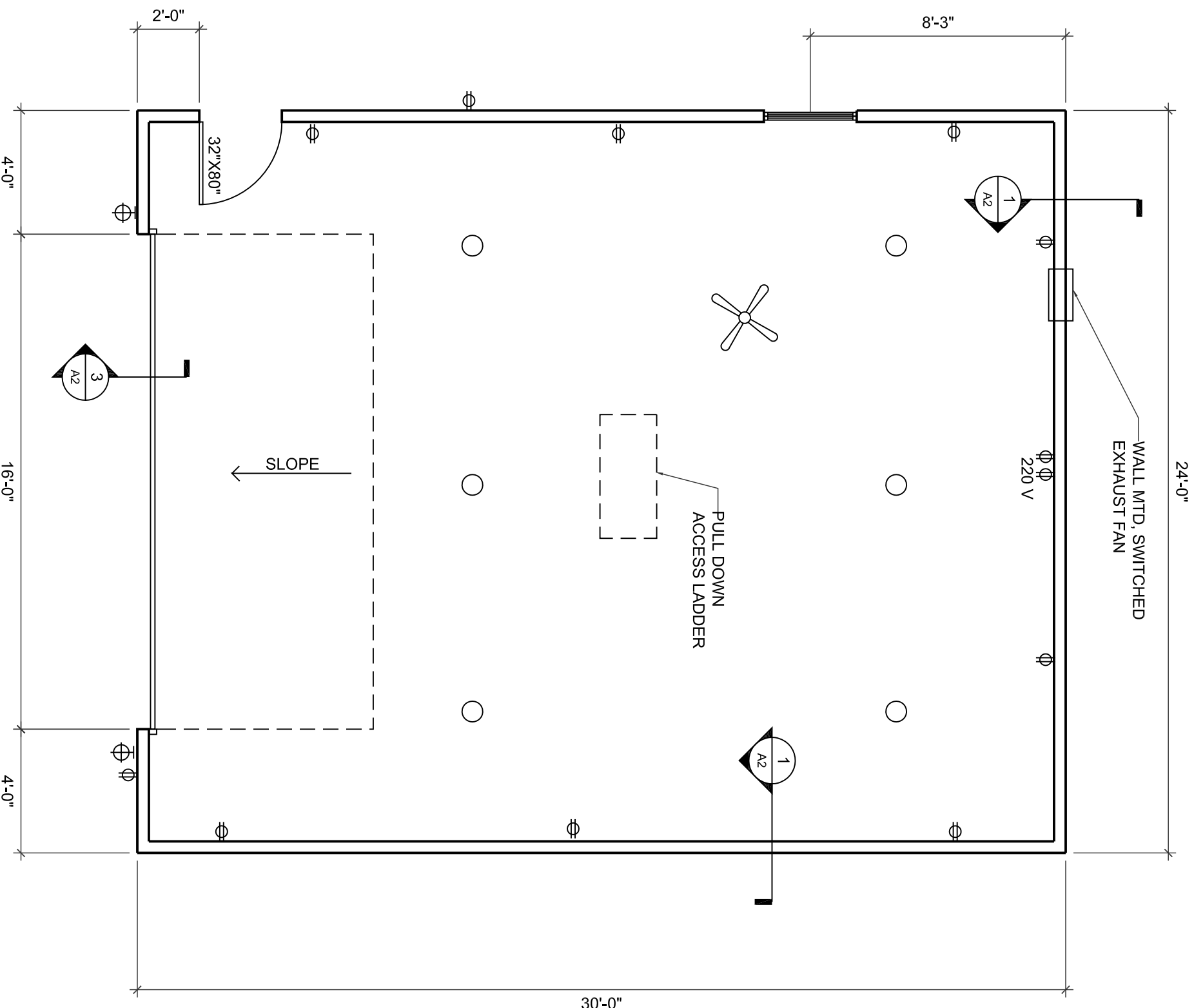
2 FRAMING PLAN

1/4"=1'-0"



4 GARAGE PLAN

1/4"=1'-0"



PERMIT SET

ISSUE DATE:  
29 MARCH 2025

A1

REVISIONS:

GARAGE REPLACEMENT AT  
746 HARVARD AVENUE  
UNIVERSITY CITY, MISSOURI

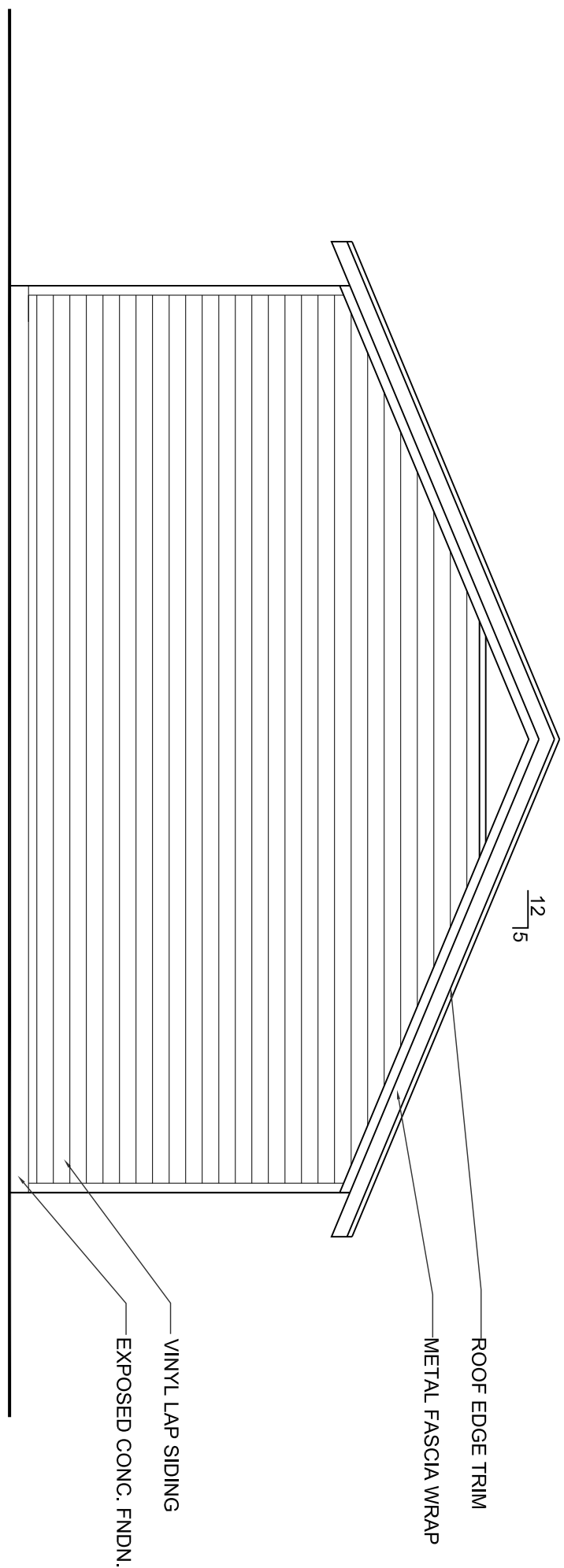
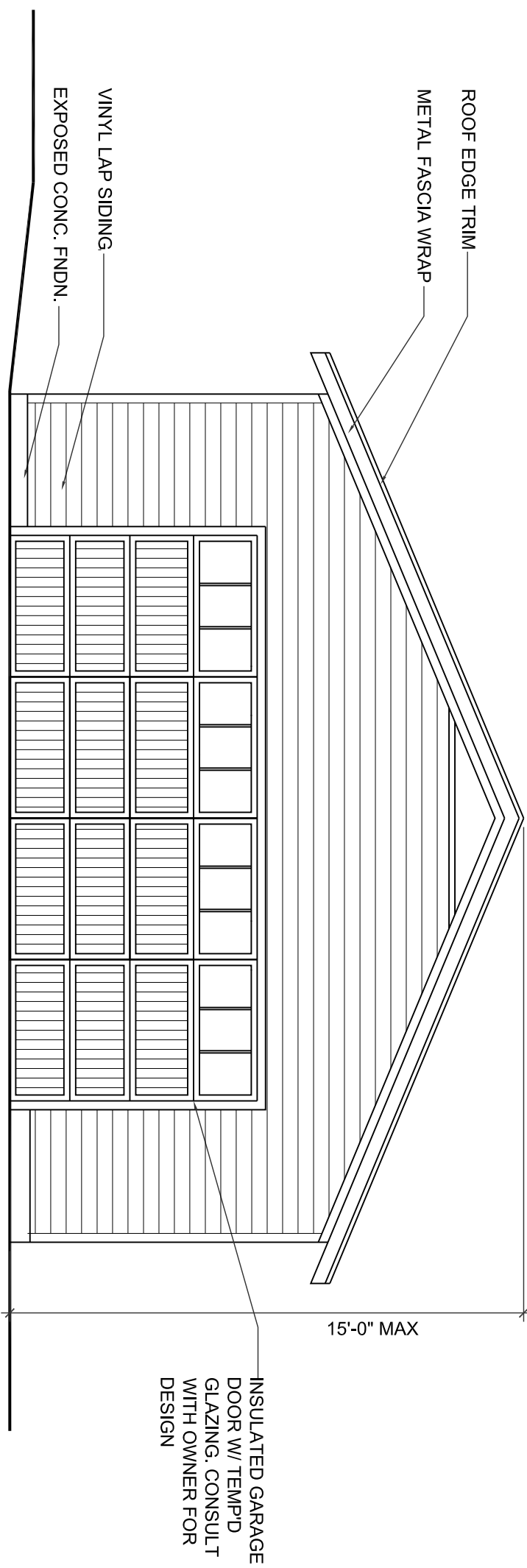
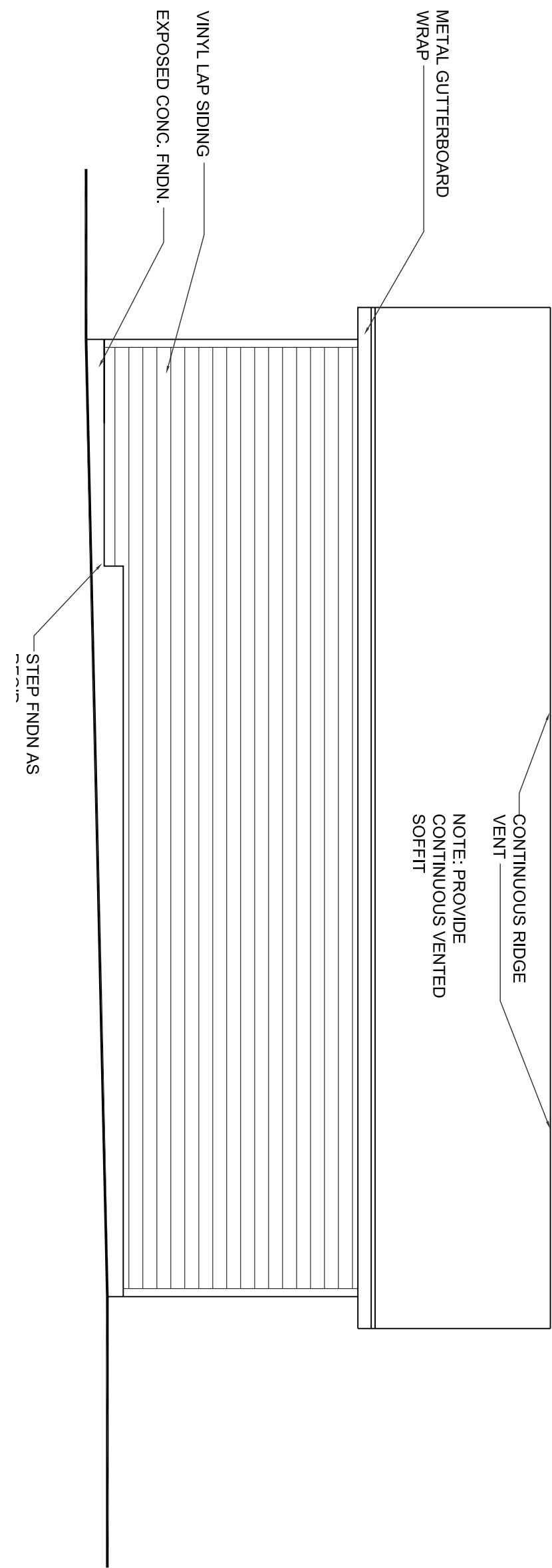
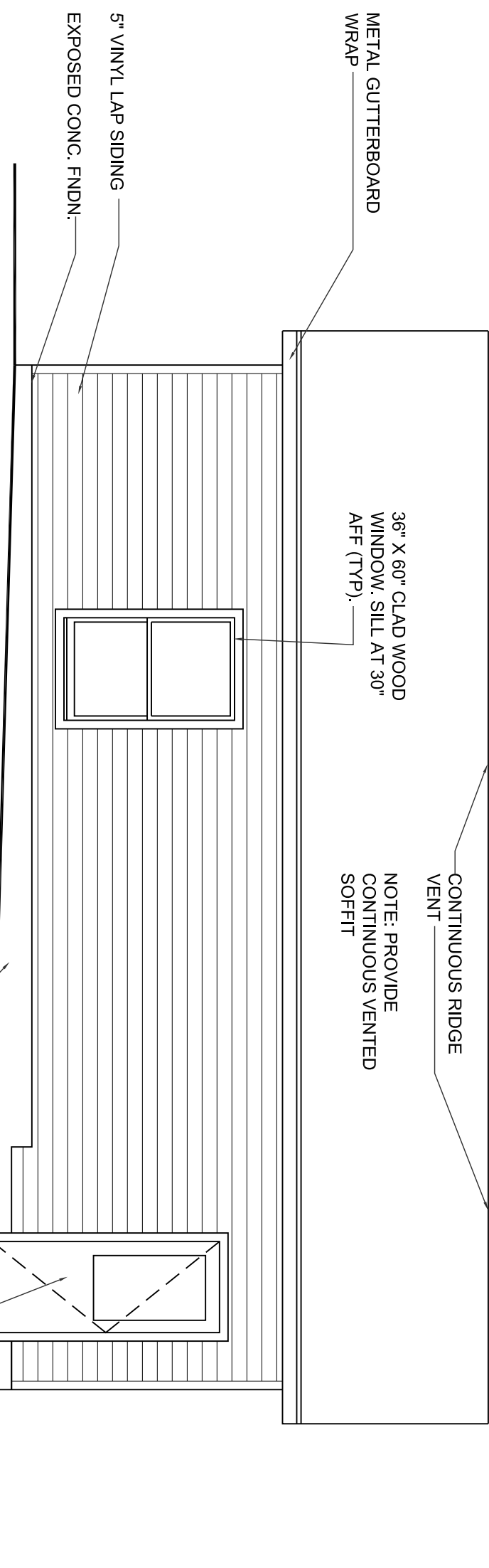
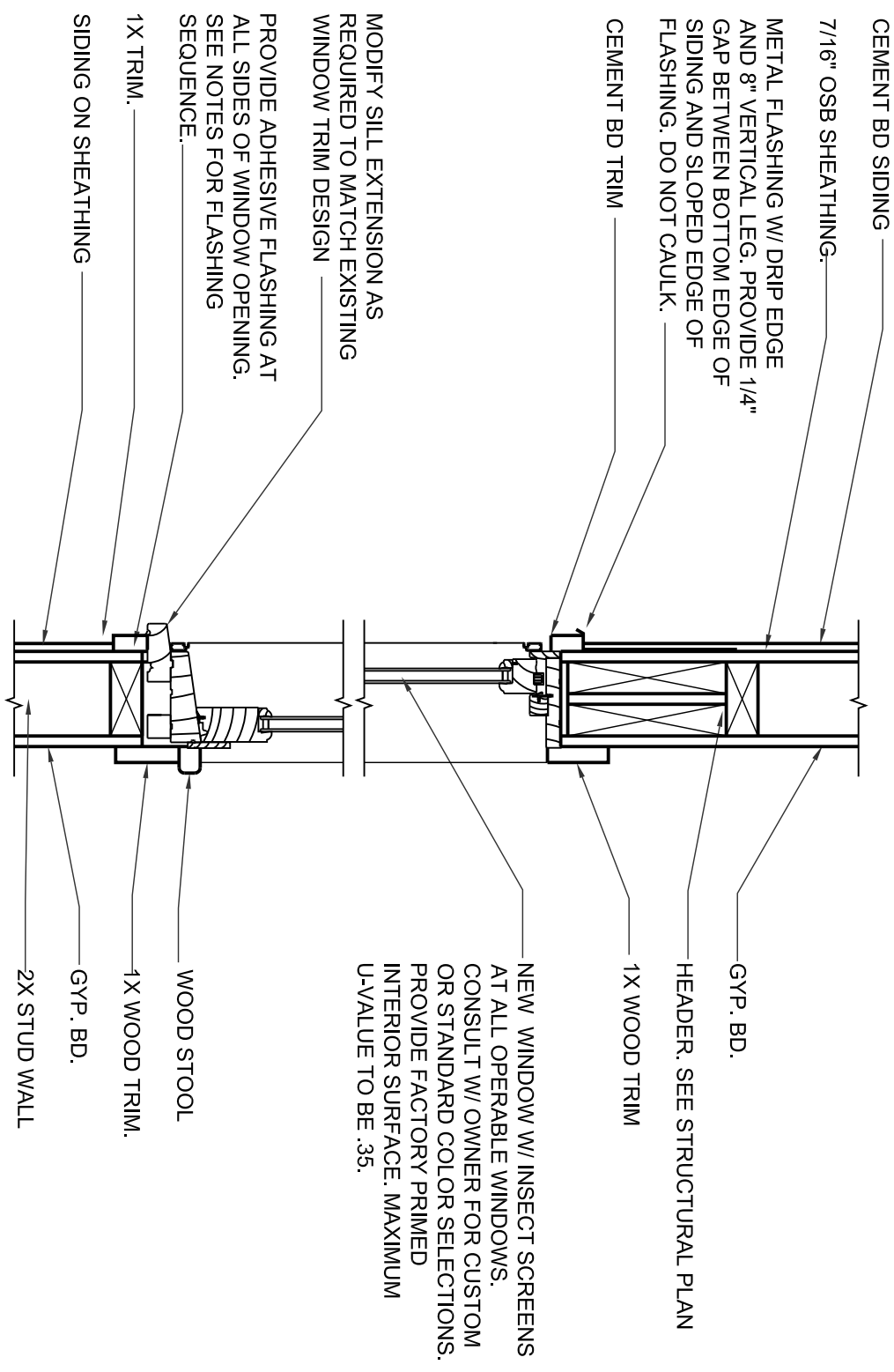
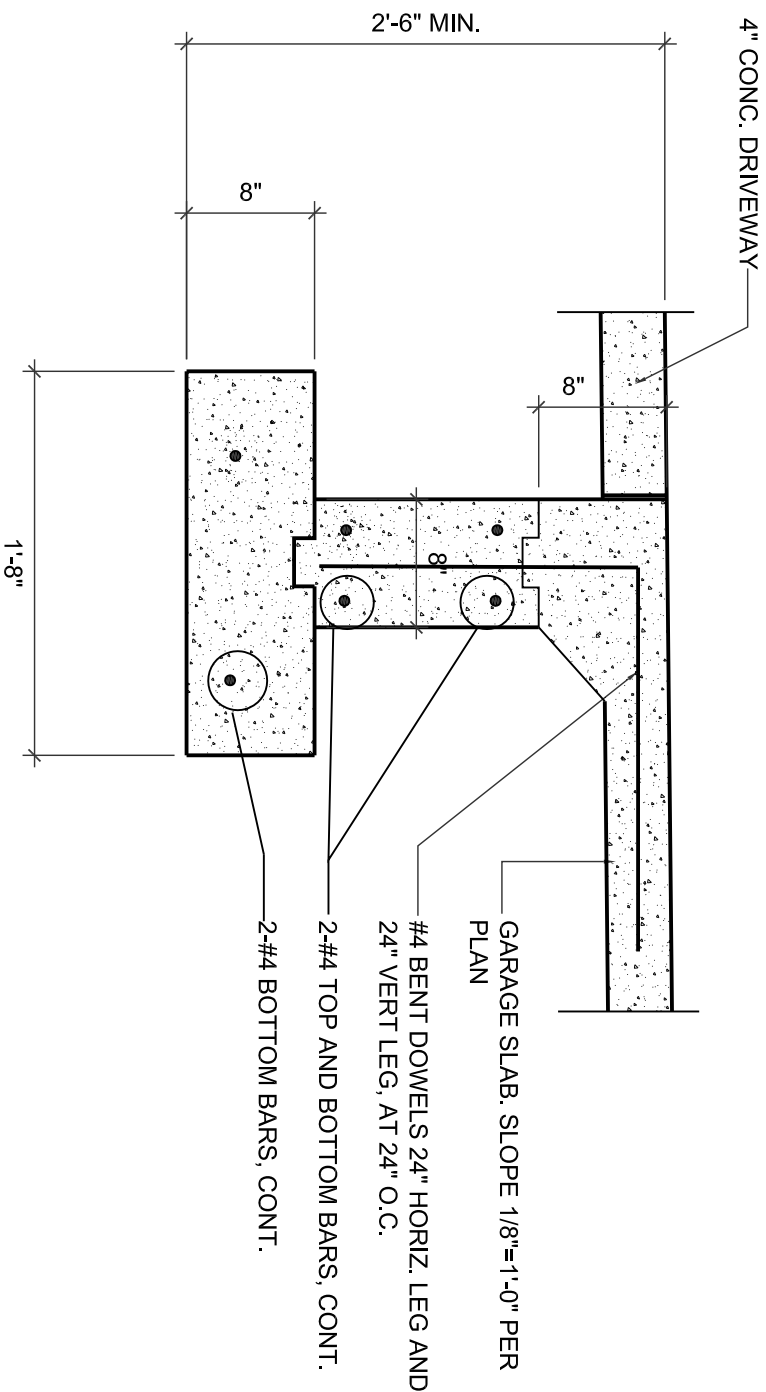
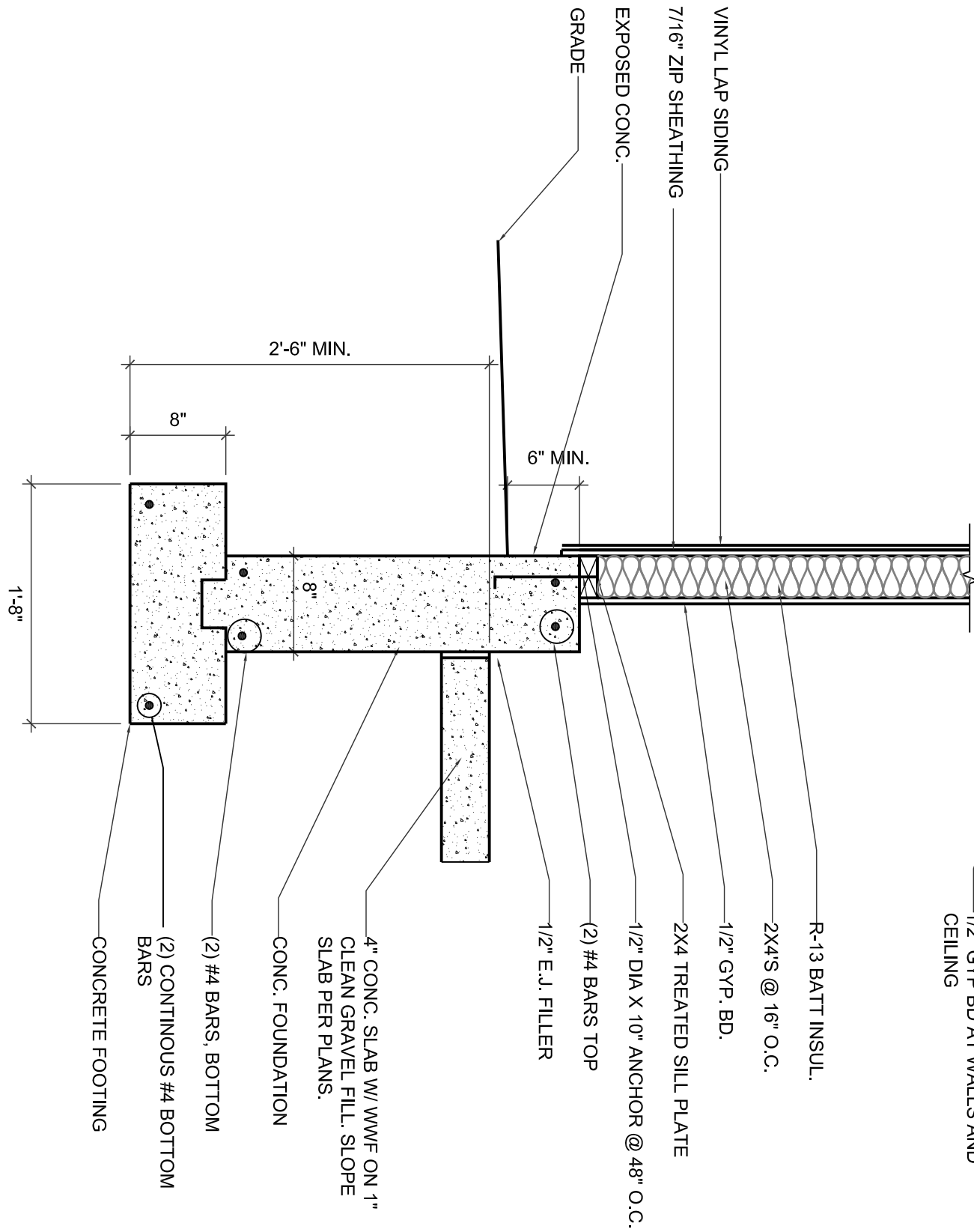
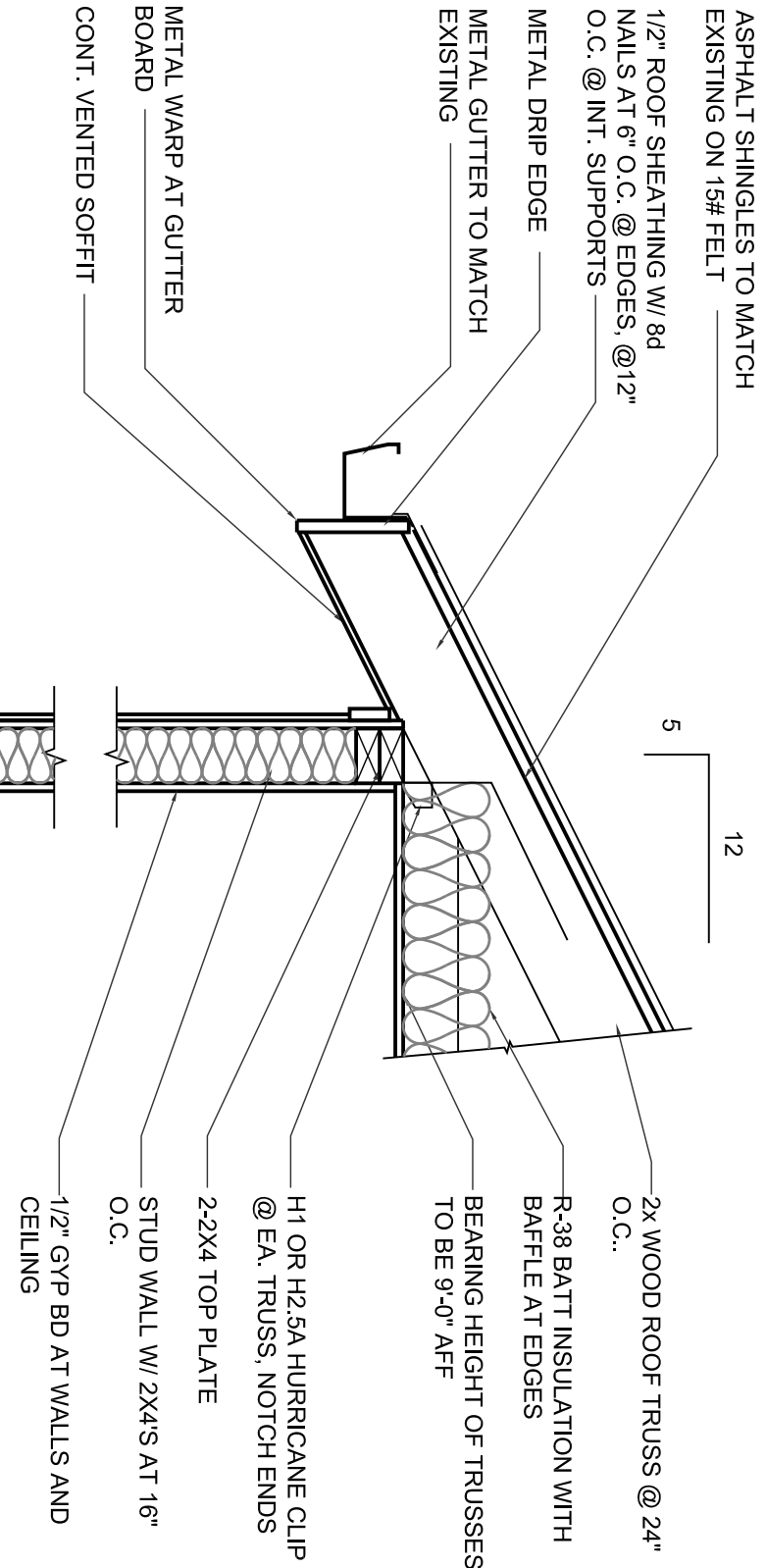
LINK architecture  
7412 manchester ave.  
saint louis, missouri 63143  
314.435.7257

STRUCTURAL ENGINEER:  
AL-IMAN GROUP  
314.471.9993

1 APRIL 2025

MISSOURI LICENSE  
THOMAS MCGRAW  
#200013838  
CERT OF AUTHORITY  
#2010035462





PERMIT SET

ISSUE DATE: 29 MARCH 2025	<b>A2</b>
REVISIONS:	
GARAGE REPLACEMENT AT 746 HARVARD AVENUE UNIVERSITY CITY, MISSOURI	

LINK architecture 7412 manchester ave. saint louis, missouri 63143 314.435.7257	STRUCTURAL ENGINEER: AL-IMAN GROUP 314.471.9993
MISSOURI LICENSE THOMAS MCGRAW #2000153838 CERT OF AUTHORITY #2010035462	
1 APRIL 2025	





**Department of Planning and Zoning**

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 862-6767, Fax: (314) 862-3168

**HISTORIC PRESERVATION COMMISSION MEETING**

**STAFF COVER SHEET – HPC-25-11**

MEETING DATE: May 15, 2025

APPLICATION TYPE: Design Review

LOCATION: 724 Trinity Ave

HISTORIC DISTRICT: University Heights (National Historic District)

PROJECT DESCRIPTION: 1 room addition, 2<sup>nd</sup> story above existing part of home.

APPLICANT: Tim Schmalz

PROPERTY OWNER: Tim Schmalz

COUNCIL WARD: 2

EXISTING ZONING: Single Family Residential (SR)

EXISTING LAND USE: Single family home

**SURROUNDING ZONING AND LAND USE**

North:	SR-Single Family Residential District	Single Family Residential
East:	SR-Single Family Residential District	Single Family Residential
South:	SR-Single Family Residential District	Single Family Residential
West:	SR-Single Family Residential District	Single Family Residential

**COMPREHENSIVE PLAN CONFORMANCE**

☐ Yes      ☐ No      ☒ No reference

**ZONING ORDINANCE CONFORMANCE**

☒ Yes      ☐ No      ☐ No reference

PERTINENT CODE §400.1620 Referral to Historic Preservation Commission.

SECTION(S): §400.1620: ...All applications for building permits pertaining to structures within three hundred (300) feet of a historic district or properties on the National Historic Register shall be referred to the Commission for interpretation, advice and recommendations.

Prepared by: Noah Chapin, City Planner



# HISTORIC PRESERVATION COMMISSION OF UNIVERSITY CITY

## APPLICATION FOR REVIEW

In University City Historic Districts, and for University City Landmarks, a review is required for new construction and for certain alterations which are specified in the regulations for the district or landmark. A Review shall not be required for ordinary maintenance or repairs when materials to be used are similar to or compatible with those originally used when the buildings within the historic district were built. The materials submitted with this application will be reviewed by the Historic Preservation Commission for compliance with the standards for each historic district or landmark.

The Historic Preservation Commission encourages property owners to seek preliminary guidance of the Commission at the beginning of any renovation project to avert unnecessary expense and scheduling problems that might surface at the end of the review process. Please call the Planner at 314-505-8501 for meeting times of the Commission and to be placed on the agenda.

In addition to this review, Building Permits are required for new construction, structural changes, fences and certain other activities. Property owners are advised to check with the Building Commissioner's Office to determine if a Building Permit is needed.

ADDRESS OF PROPERTY 724 Trinity Ave

NAME OF HISTORIC DISTRICT University Heights

### GENERAL INFORMATION

Owner Tim Schmalz + Emily Austoetter Phone (314) 604-7509

Address (if different) \_\_\_\_\_

Applicant same as above Phone \_\_\_\_\_

Address \_\_\_\_\_

Signature of applicant  Date 05/07/2025


### TYPE OF REVIEW REQUESTED

- ☒ Design Review for Conformance with District Standards  
☐ Preliminary Review/Consultation  
☐ Permit to Demolish  
☐ Designation of Historic Landmark or District  
☐ Other: \_\_\_\_\_

**DESCRIPTION OF PROPOSED PROJECT:** Please include or attach sufficient information for the Commission to judge your proposed work; insufficient information may cause a delay in approval. Also, please include a brief explanation of the reason for the proposed change and a specific list of the exact proposed changes in detail on the following page.



List of Proposed Changes:

1. Addition on 2<sup>nd</sup> story above existing part of home
2.  1-room addition (office)
3. \_\_\_\_\_
4. \_\_\_\_\_
5. \_\_\_\_\_
6. \_\_\_\_\_
7. \_\_\_\_\_
8. \_\_\_\_\_
9. \_\_\_\_\_
10. \_\_\_\_\_

**SUBMITTAL REQUIREMENTS:** Submit at least 21 days prior to regularly scheduled meeting.  
Required: Photographs of the area, building or buildings to be affected by your project.

Submit, as appropriate, 12 copies of:

<input checked="" type="checkbox"/> Plans	_____ Specifications	_____ Site Plans
_____ Materials Samples	_____ Manufacturer's Literature	_____ Other
_____ Drawings of installation details		

Photocopies and reductions are acceptable.

SUBMIT TO: Department of Community Development, 4TH Floor  
6801 Delmar Blvd.  
University City, MO 63130  
(314) 862-3168 (FAX)

**FOR FURTHER ASSISTANCE CALL:** Planner (314) 505-8501

COMMENTS: \_\_\_\_\_

Please note: This application form must be submitted with the plans for the building permit application.





- 1 SITE PLAN**  
SCALE: 1/16" = 1'-0"



ALL RIGHTS RESERVED  
These drawings, concepts, designs and ideas are the property of mbA. They may not be copied, reproduced, disclosed to others or used in connection with any work other than the specified project for which they were prepared, in whole or in part, without the prior written authorization of mbA (Max Bemberg, LLC)



### BATHROOM NOTES:

1. INSTALL 1/2" MOISTURE RESISTANT GYP. BD. (GREENBOARD OR EQUAL) AT WALLS AND CEILING.
2. INSTALL 1/2" CEMENT BD. (DUROCK OR EQUAL) AT ALL TILED AREAS.
3. INSTALL WATERPROOF MEMBRANE (LATICRETE HYDROBAN OR EQUAL) BENEATH FLOOR TILE - EXTEND 8" UP WALLS AT BASE AND FULL-HEIGHT AT SHOWER/TUB.
4. TUB/SHOWER ENCLOSURE - FLOORS AND WALLS SHALL BE FINISHED WITH NON-CORROSIVE, NON-ABSORBENT, AND WATERPROOF SURFACES EXTENDING MIN. 6'-0" A.F.F.

### DOOR NOTES:

1. ALL NEW DOORS SHALL BE 1 3/4" THK. SOLID CORE WD. & "SHAKER" PANEL STYLE.
2. ALL NEW DOORS SHALL BE PAINT-GRADE FINISH. G.C. TO FURNISH & INSTALL (3) HINGES PER DOOR (FINISH T.B.D. BY OWNER).
4. G.C. SHALL PROVIDE REINFORCEMENT AT HINGE SIDE OF DOOR AS REQUIRED TO PREVENT SAGGING.
5. DOOR SUPPLIER SHALL FIELD VERIFY AND/OR COORDINATE DIMENSIONS WITH THE GENERAL CONTRACTOR.
6. ALL INTERIOR DOOR LEVERS/KNOBS & ASSOCIATED HARDWARE SHALL BE F.B.O. & G.C. INSTALLED.

### GYPSUM BOARD NOTES:

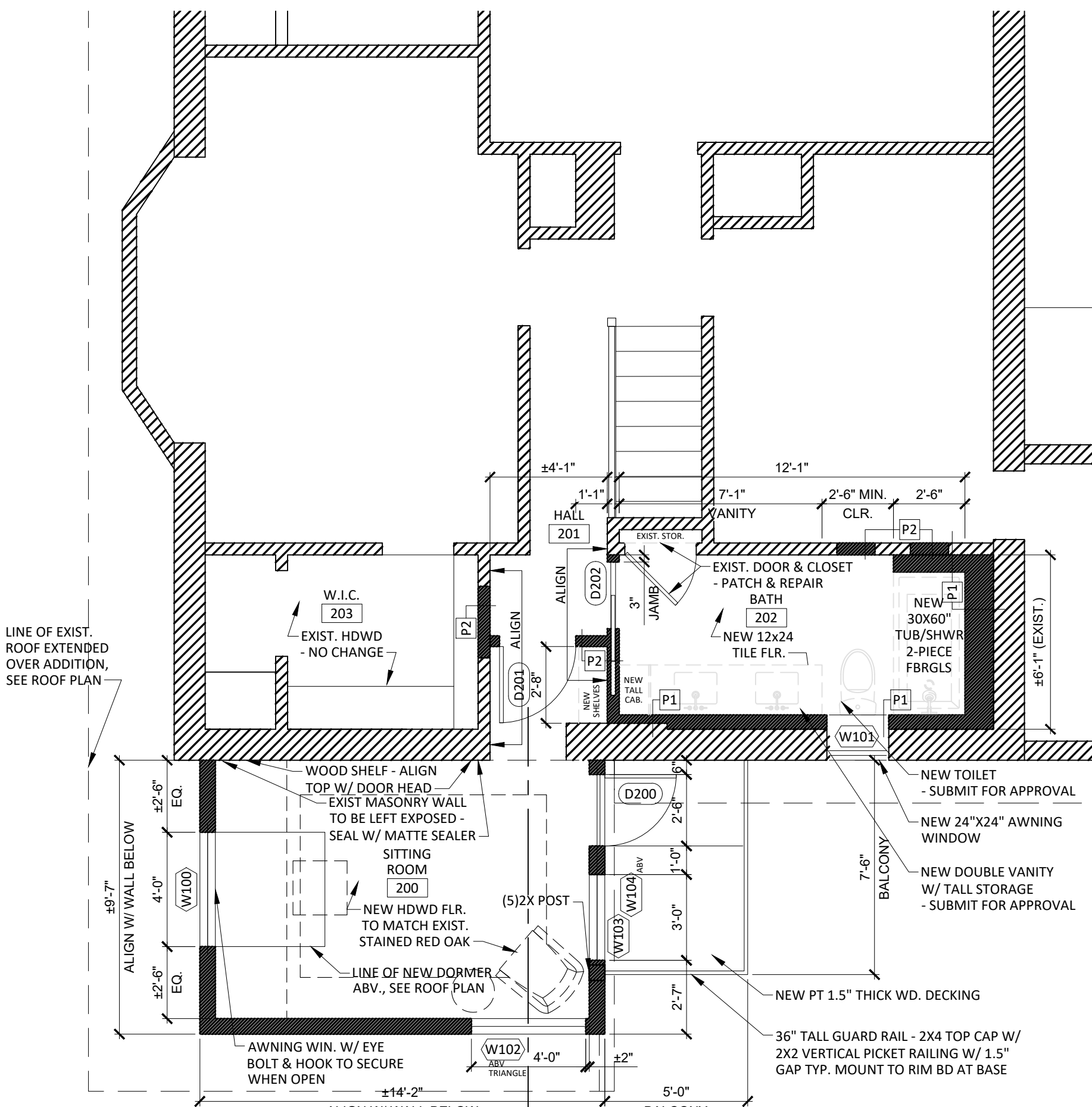
1. ALL DRYWALL IS TO BE 1/2" THICKNESS UNLESS NOTED OTHERWISE.
2. DRYWALL INSTALLATION SHALL BE IN ACCORDANCE W/ THE GYPSUM ASSOCIATION RECOMMENDED PRACTICES. THICKNESS, NAILING, TAPING, CORRECT STUD SPACING AND FIRE-RATED TYPES ARE TO BE INSTALLED ACCORDING TO TEST ASSEMBLIES.
3. PROVIDE AND INSTALL WATER-RESISTANT 1/2" GYPSUM BACKER BOARD AS A SUBSTRATUM IN BATHTUB, SHOWER COMPARTMENTS. ALL PLUMBING WALLS AND BASEMENT PARTITIONS.
4. MAXIMUM FLAME SPREAD RATING OF ANY INTERIOR FINISH MATERIAL SHALL BE LIMITED TO 200 OR LESS
5. BATT OR BLANKET INSULATION INCLUDING THE VAPOR RETARDER, BREATHER PAPER OR OTHER COVERINGS SHALL NOT BE LEFT EXPOSED IN UNFINISHED BASEMENTS UNLESS THE MATERIAL HAS A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 450 OR LESS.
6. USE TREATED WD SILL PLATE FOR ALL PARTITIONS AND FURRING IN BASEMENT.

### SMOKE ALARMS:

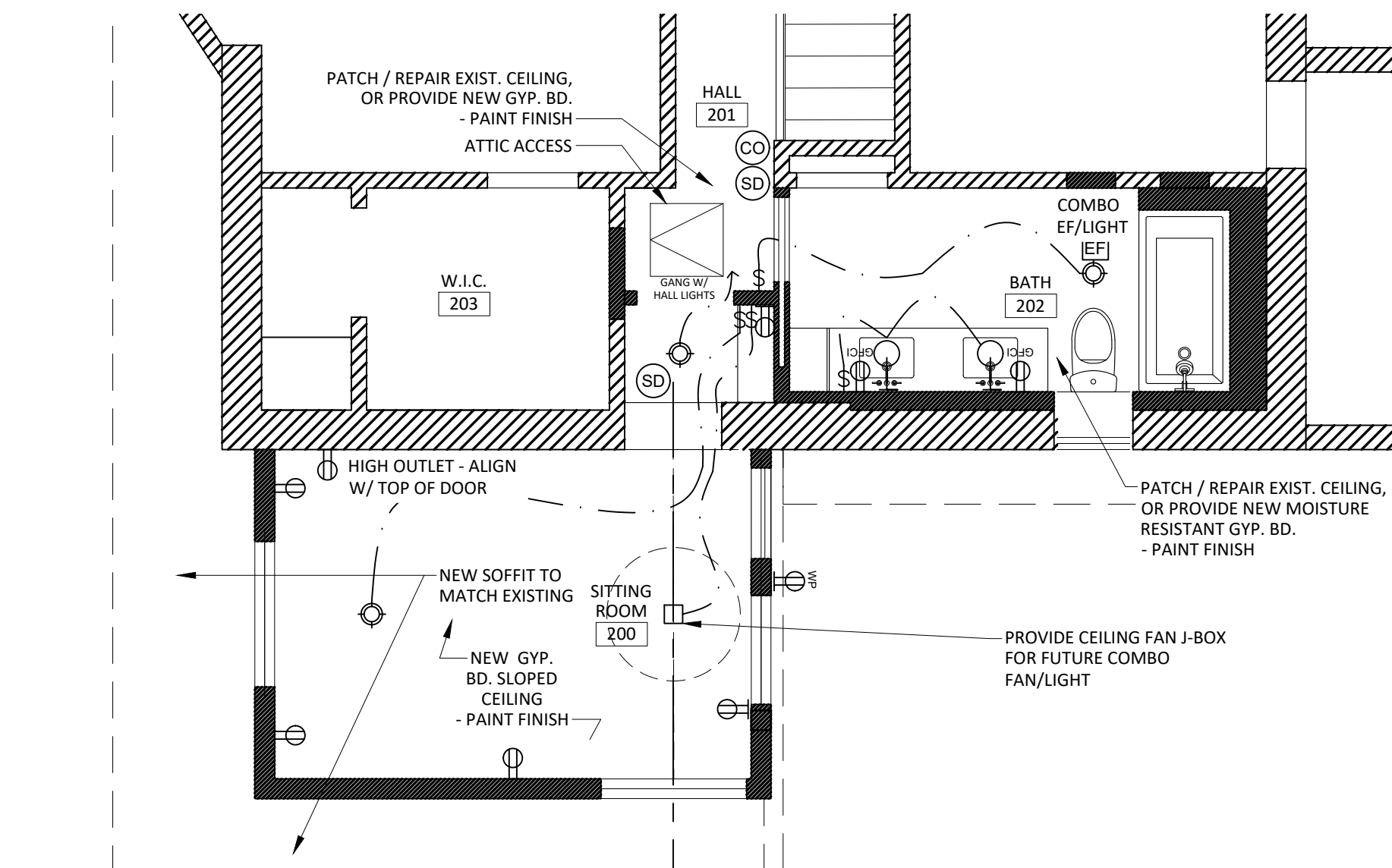
RETROFIT SMOKE & CARBON MONOXIDE ALARMS - VERIFY/PROVIDE A SMOKE ALARM IN AND OUTSIDE EACH BEDROOM AND ON EACH STORY. SMOKE ALARMS MUST BE UL LISTED AND PHYSICALLY OR WIRELESSLY INTERCONNECTED SO ONE ALARM SOUNDS ALL ALARMS. SMOKE ALARMS MAY BE EITHER AC POWERED WITH A BATTERY BACK-UP OR BATTERY POWERED. VERIFY/PROVIDE UL LISTED CARBON MONOXIDE ALARM OUTSIDE EACH BEDROOM AREA IF THE HOUSE HAS FUEL-FIRED APPLIANCE OR GARAGE.

### RCP NOTES:

1. ALL ELECTRICAL WORK MUST BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE CODES, RULES AND REGULATIONS.
2. CONTRACTOR TO VERIFY EXISTING ELECTRICAL PANEL CAPACITY, AND PROVIDE PRICE FOR UPGRADE AS REQUIRED.
3. PROVIDE GROUND-FAULT AND ARC-FAULT CIRCUIT INTERRUPT PROTECTION AS SHOWN ON DRAWINGS AND WHERE REQUIRED BY CODE.
4. COORDINATE SMOKE & CO DETECTORS WITH OWNER'S ALARM MONITORING COMPANY.
5. ALL SWITCHES TO BE "LUTRON" "DVA"™ U.N.O.
6. ALL LIGHT FIXTURES SHALL BE U.L.-LISTED.
7. VERIFY DIMMING IN FIELD WITH OWNER AND ARCHITECT, U.N.O.
8. PROVIDE LIGHT/FAN CONTROL COMBINATION SWITCHES AT ALL FAN LOCATIONS U.N.O. ("LUTRON" "MAESTRO"™).
9. ALL SWITCHES SHALL HAVE WHITE FINISH.
10. ALL LIGHT FIXTURES AT TUB, SHOWER & EXTERIOR LOCATIONS SHALL BE WET OR DAMP RATED.
11. ALL FIXTURE LAYOUTS AND LOCATIONS SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.
12. EXISTING CEILING TO REMAIN U.N.O.
13. ALL LED FIXTURES TO BE COLOR RATED AT 3000K OR LESS.



5 PARTIAL 2ND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



6 PARTIAL REFLECTED CLG. PLAN  
SCALE: 1/4" = 1'-0"

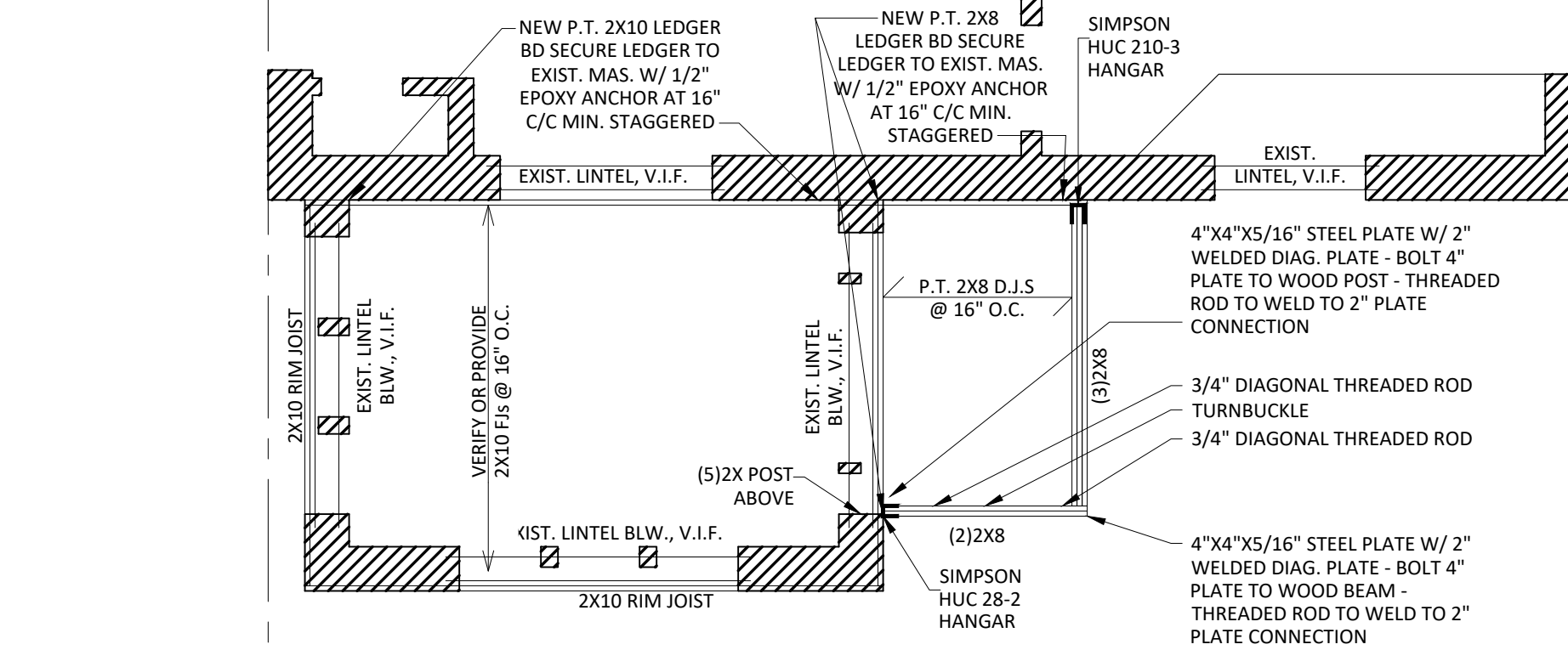
### RCP SYMBOL LEGEND:

- SD CO U.L.-LISTED INTERCONNECTED HARDWIRED COMBO SMOKE DETECTOR & CARBON MONOXIDE ALARM WITH BATTERY BACKUP
- EF EXHAUST FAN - VENT TO EXTERIOR (50 CFM MIN.)
- RECESSED DOWNLIGHT LIGHT FIXTURE
- LED OR FLUORESCENT STRIP LIGHT FIXTURE
- WALL-MOUNTED LIGHT FIXTURE (WET-RATED AT EXTERIOR LOCATIONS)
- WALL SWITCH TO MATCH EXISTING

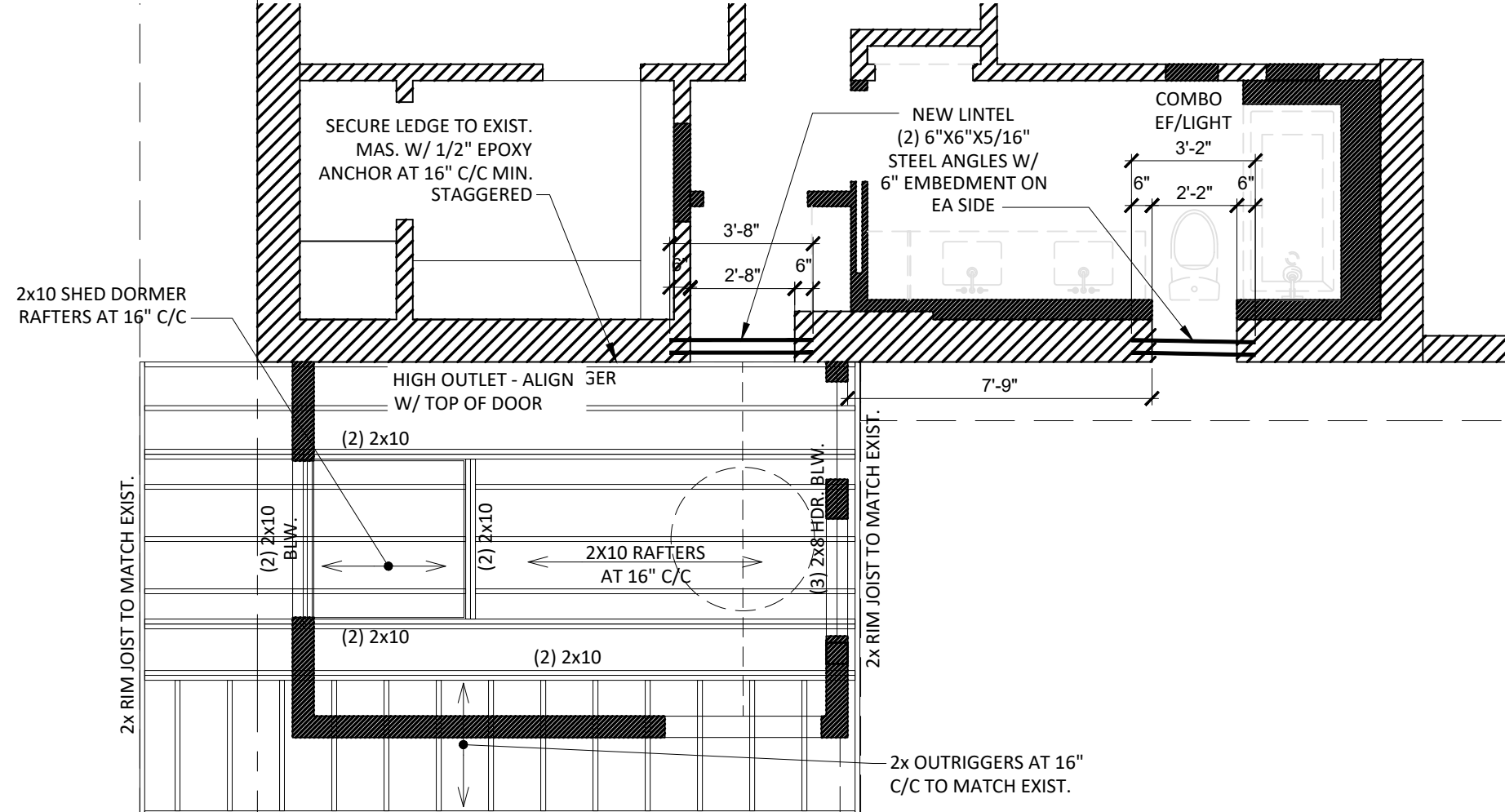
### ELECTRICAL SYMBOL LEGEND:

- 110 VOLT DUPLEX RECEPTACLE (15" A.F.F. OR 6" ABV. COUNTER IN HORIZ. POSITION - U.N.O.)
- GROUND FAULT CURRENT INTERRUPTER PROTECTED RECEPTACLE (15" A.F.F. OR 6" ABV. COUNTER IN HORIZ. POSITION - U.N.O.)
- GROUND FAULT CURRENT INTERRUPTER PROTECTED RECEPTACLE WITH WEATHER-PROTECTIVE HOUSING (15" A.F.F. OR 6" ABV. COUNTER IN HORIZ. POSITION - U.N.O.)

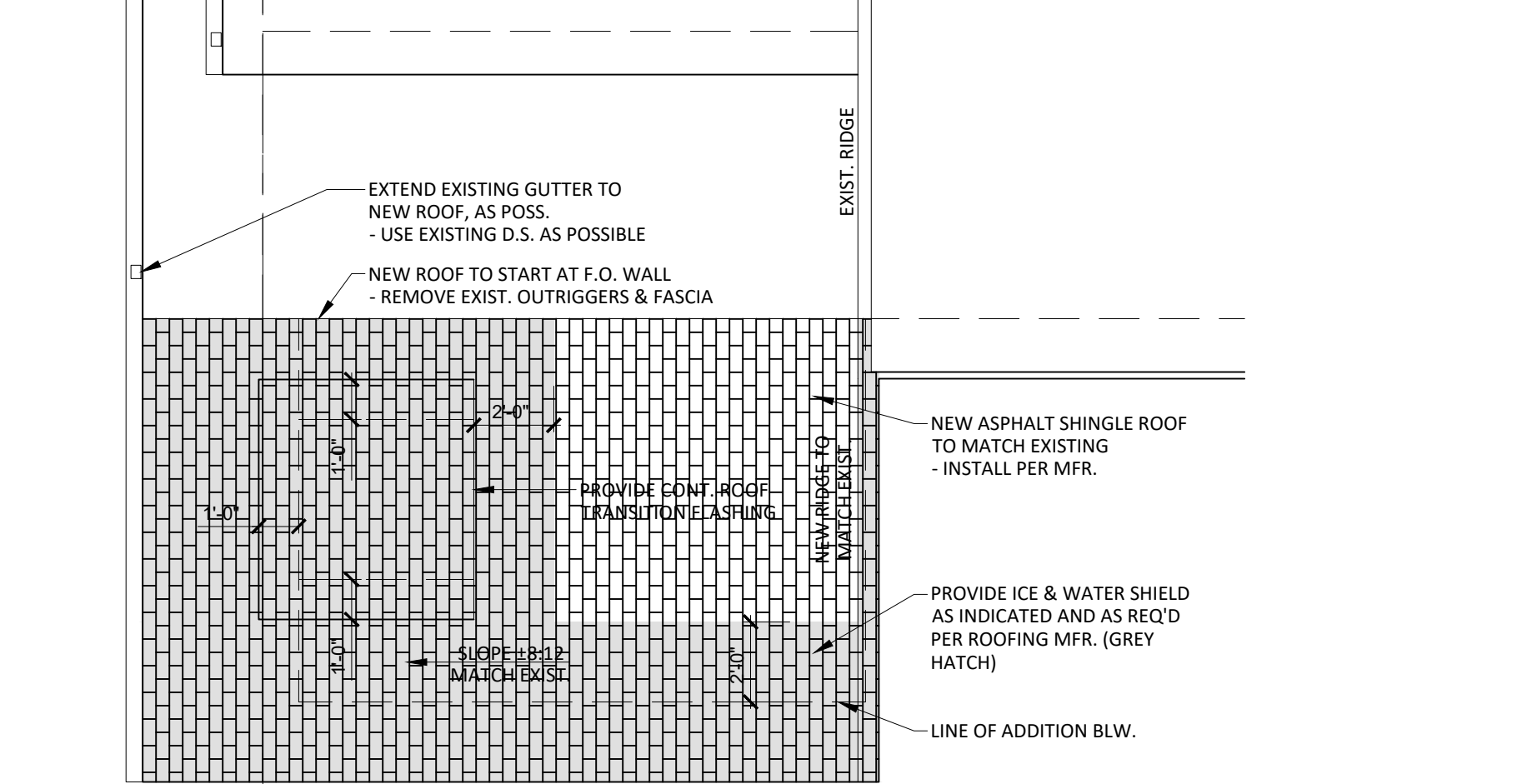
1 PARTIAL 2ND FLOOR DEMO PLAN  
SCALE: 1/4" = 1'-0"



2 PARTIAL 1ST FLOOR FRAMING PLAN (ABV)



3 PARTIAL 2ND FLOOR FRAMING PLAN (ABV)

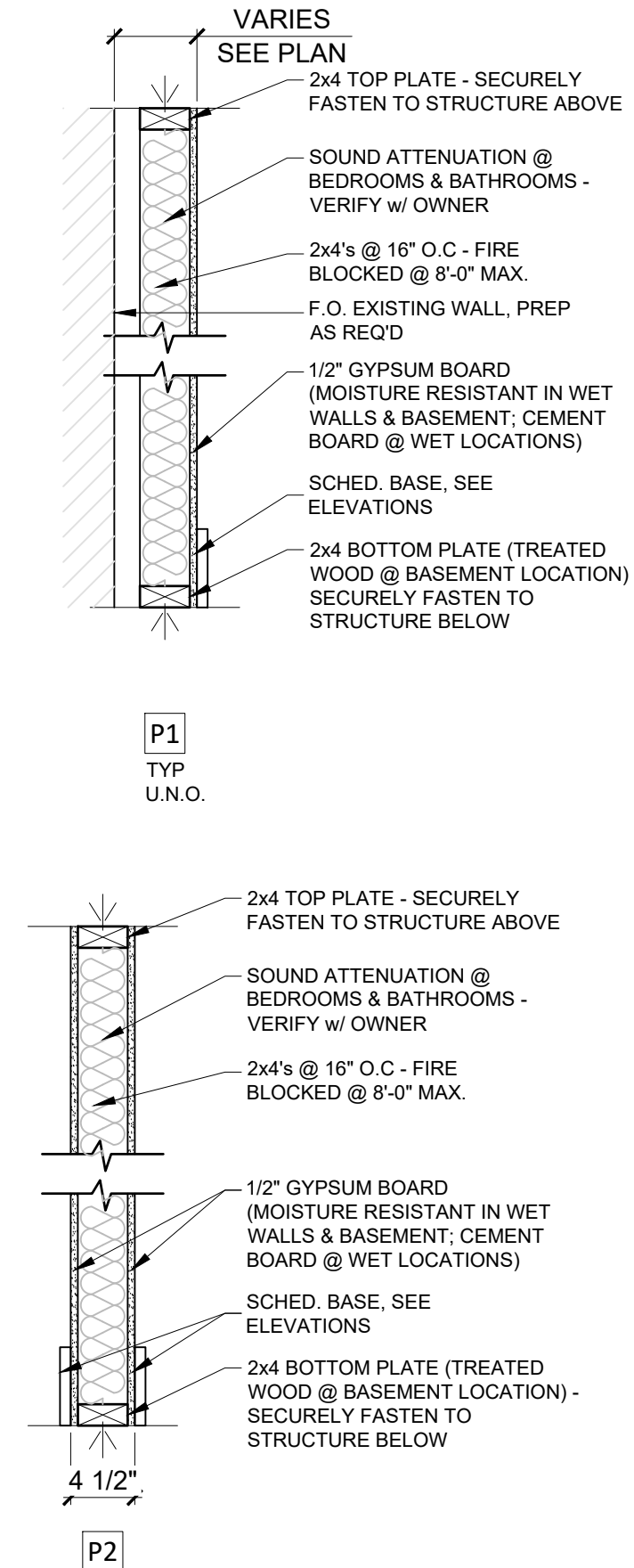


4 PARTIAL ROOF PLAN  
SCALE: 1/4" = 1'-0"

### DEMOLITION NOTES:

1. SECURE ALL EXTERIOR OPENINGS THRU DURATION OF WORK.
2. PROTECT EXISTING FLOOR FINISH WHERE REMAINING FROM DAMAGE THRU DURATION OF WORK.
3. TURN OVER REMOVED APPLIANCES, PLUMBING FIXTURES AND LIGHTING AS DIRECTED BY OWNER.
4. CONTRACTOR TO REMOVE AND REPLACE ALL COMPROMISED OR DAMAGED STRUCTURAL MEMBERS, AND INFORM ARCHITECT.

### PARTITION TYPES



### FLOOR & ROOF FRAMING NOTES

1. ALL MEMBERS LABELED 'EXISTING' DESIGNED BY OTHERS.
2. IF CONDITIONS ARE FOUND TO BE DIFFERENT THAN THIS PLAN, STOP WORK AND NOTIFY ENGINEER OF RECORD IMMEDIATELY.
3. ROOF CONSTRUCTION: 7/16" OSB (OR PER PLANS) WITH METAL PLY CLIPS OVER RAFTERS (PER PLANS) OR PREFABRICATED ROOF TRUSSES W/ 8d NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS - UNLESS OTHERWISE NOTED ON THE PLANS
4. ALL ROOF FRAMING TO BE SPACED AT 24" O.C. MAXIMUM - OR PER PLANS
5. FLOOR CONSTRUCTION: 3/4" T&G ADVANTECH OSB GLUED AND FASTENED TO FLOOR JOISTS W/ 8d NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.
6. ALL FLOOR FRAMING TO BE SPACED AT 16" O.C. MAXIMUM
7. BEAMS & HEADERS: (2)2X10s UNLESS NOTED OTHERWISE
8. POSTS: (2) 2xs UNLESS NOTED OTHERWISE
9. EXTERIOR STUD WALL CONSTRUCTION: 7/16" PLYWOOD OR OSB SHEATHING FASTENED TO 2X6 STUDS @ 16" O.C. W/ 8d NAILS @ 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS (UNLESS NOTED OTHERWISE).
10. PROVIDE DOUBLE JOISTS UNDER PARALLEL PARTITIONS.
11. PROVIDE SOLID WOOD BLOCKING THROUGH FLOOR AT ALL POSTS ABOVE.
12. ALL LUMBER TO BE TREATED FOR EXTERIOR USE (ROT DECAY RESISTANT)
13. ALL SINGLE MEMBERS CONNECTED TO LEDGER OR BEAM WITH SIMPSON LUS28Z HANGER OR EQUAL
14. ALL DOUBLE MEMBERS CONNECTED TO LEDGER OR BEAM WITH SIMPSON HUC28 ZZ HANGER OR EQUAL.
15. WOOD SPECIES:  
#1 SOUTHERN PINE - 2X6, 2X8, 2X10, 2X12 FRAMING MEMBERS  
#2 SPRUCE PINE FIR - 2X4, 2X6 STUDS & 2X8, 2X10, 2X12 FRAMING MEMBERS  
#1 DOUGLAS FIR - SOUTH- 6X6 OR 8X8 POSTS
15. STEEL DESIGNATIONS  
A36 PLATES, STRUCTURAL ANGLES  
A500 Gr B: HSS STRUCTURAL TUBES  
A992: W SHAPES

## Bemberg Architecture

4266 Russell Blvd  
St. Louis, MO 63110  
info@bembergarchitecture.com  
314.626.3230



724 Trinity Avenue  
University City, MO 63130

### Permit Set

### Submittals / Revisions

04/01/2025 PERMIT

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### Sheet Information

Date 04/01/25  
Job Number #2432  
Drawn MB  
Checked MB

### Title

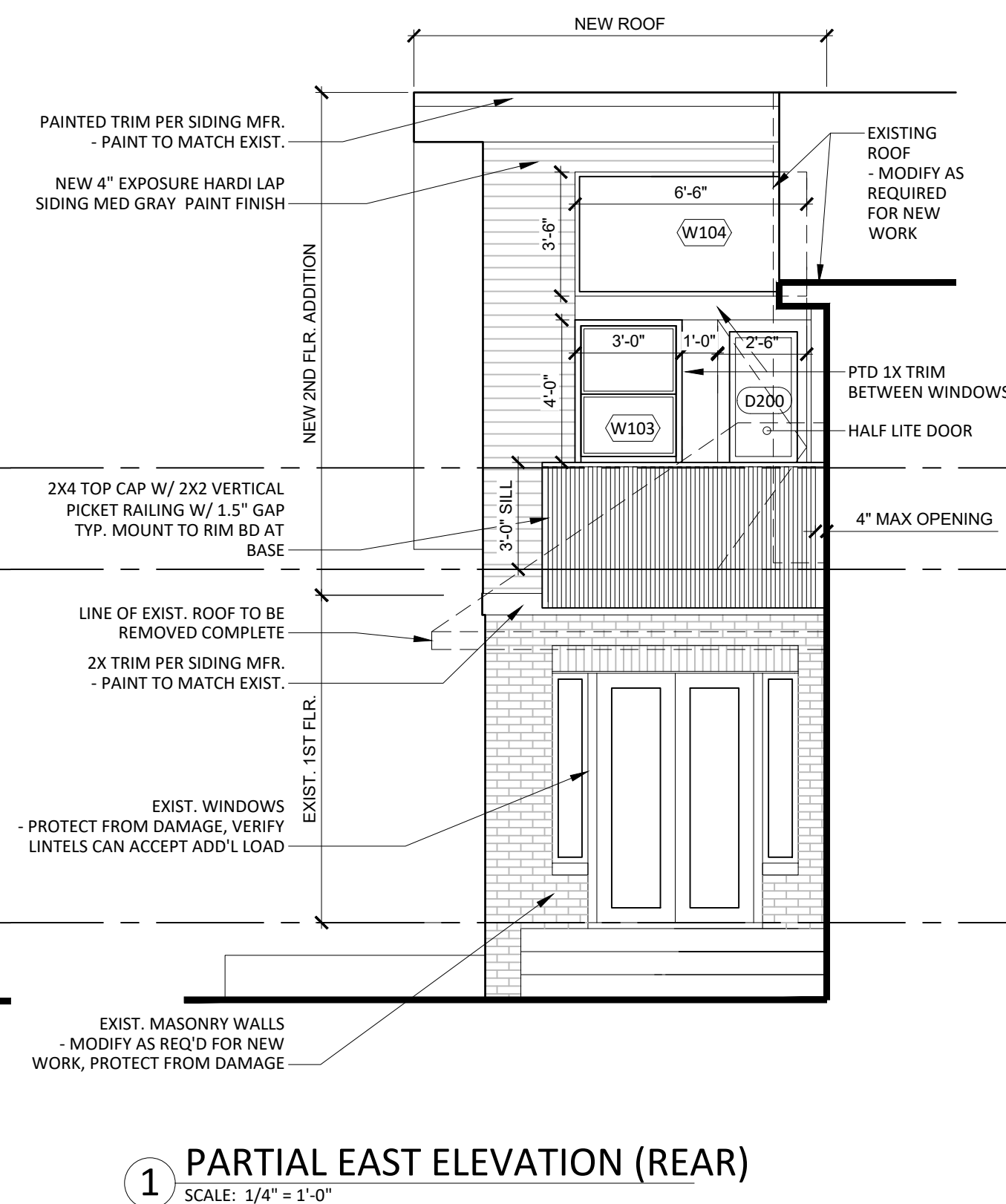
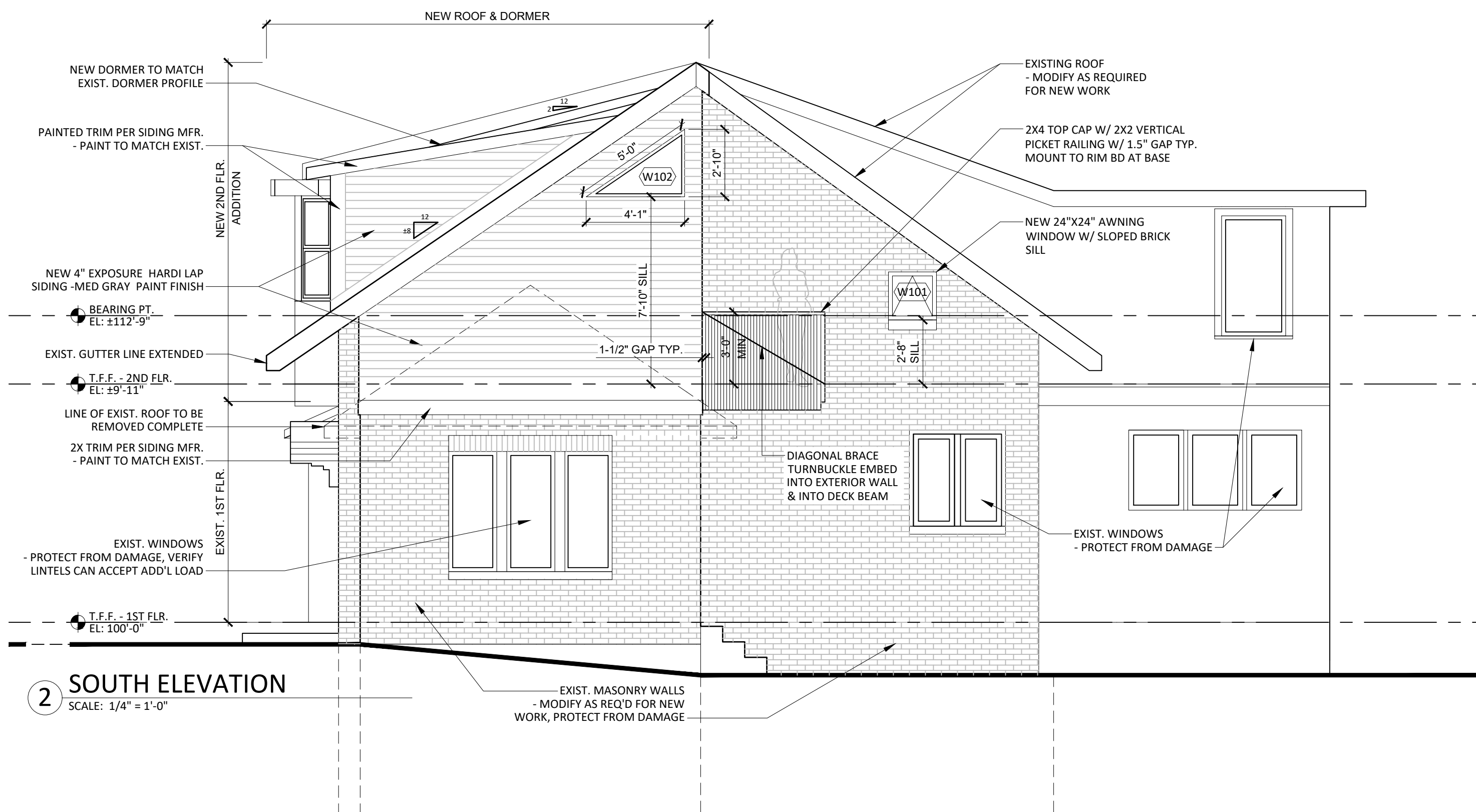
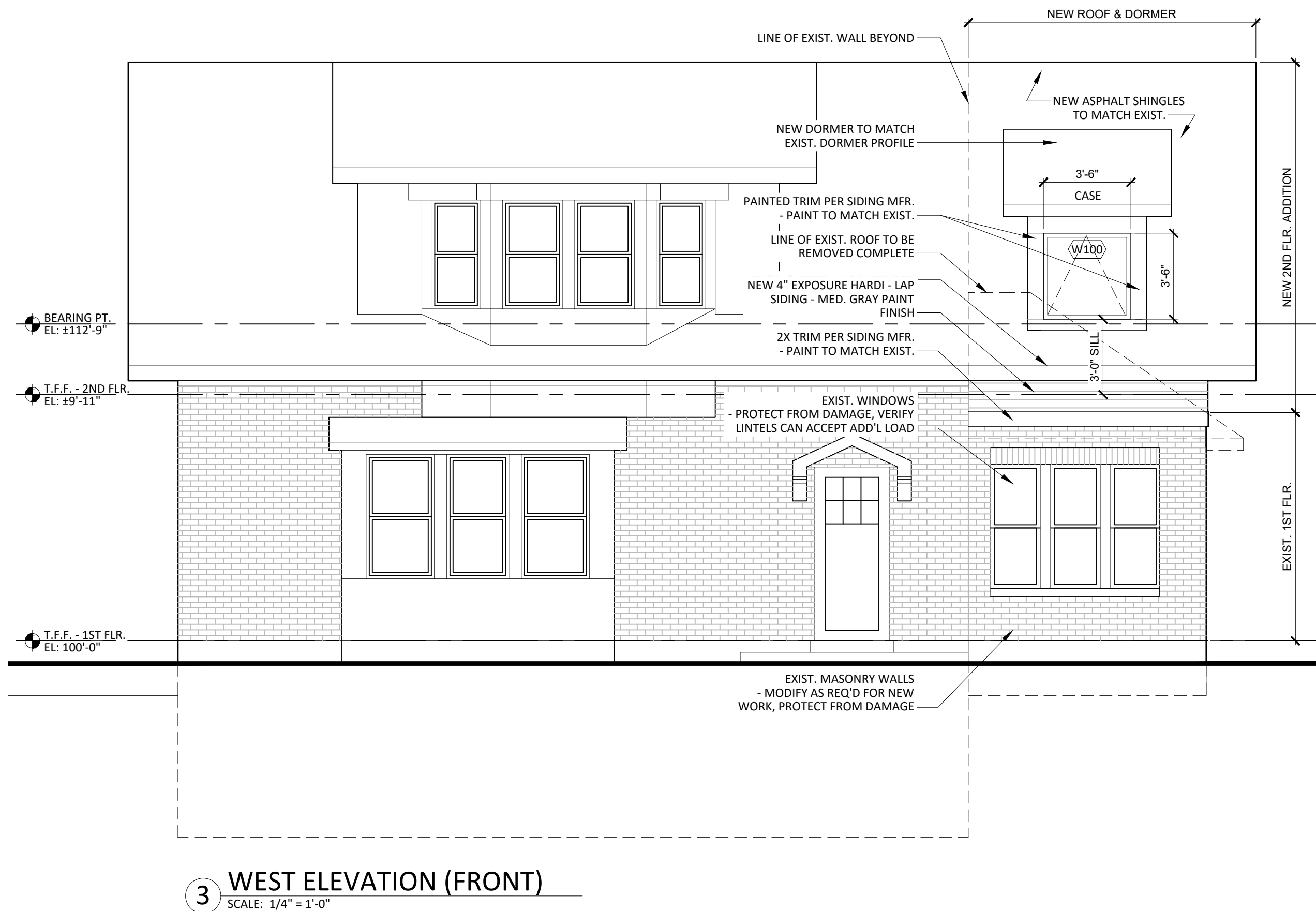
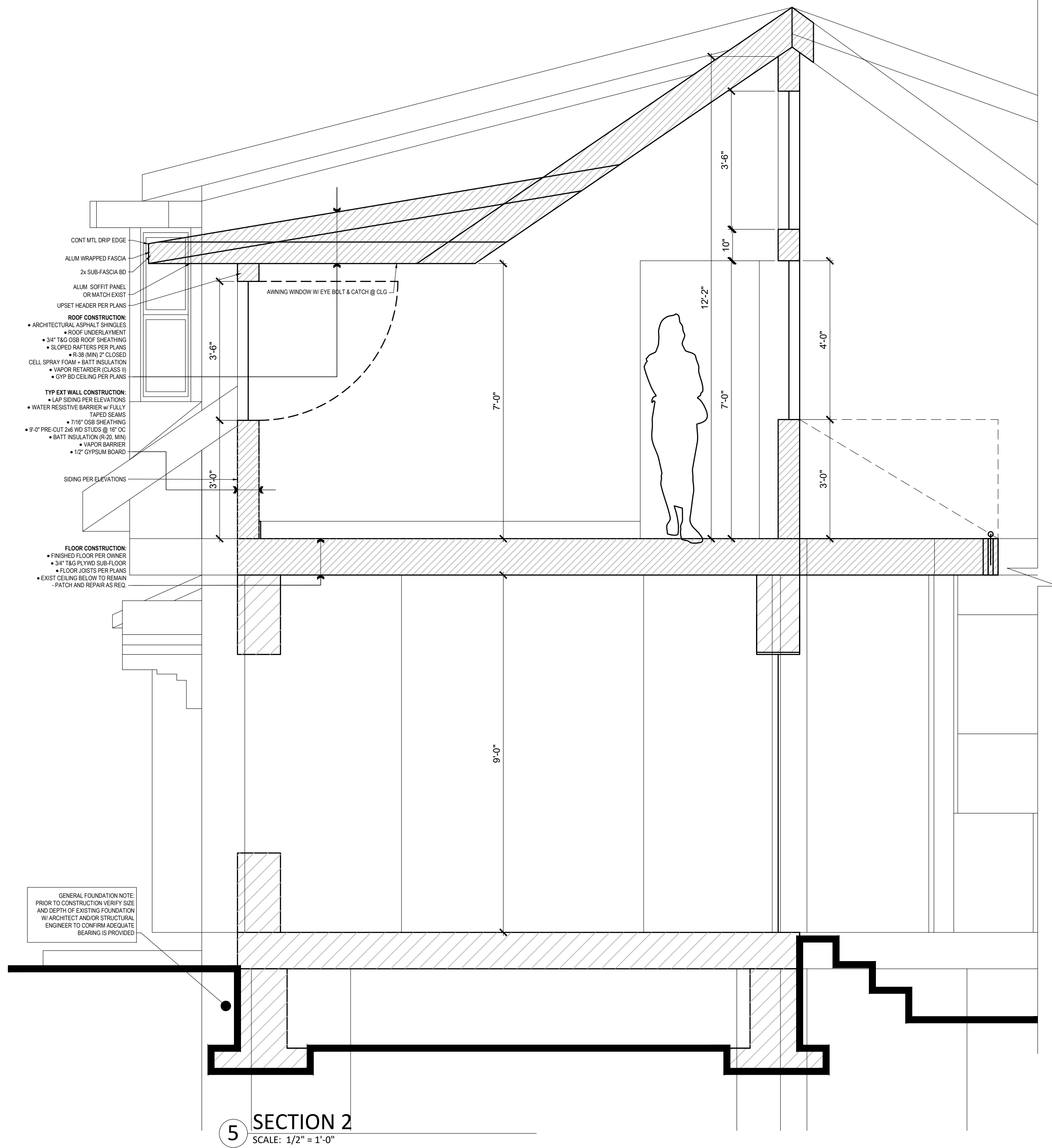
### FLOOR PLANS

### Sheet

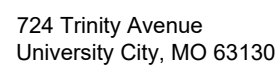
# A-2

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Permit Set

Submittals / Revisions

04/01/2025 PERMIT

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### Sheet Information

Date 04/01/25  
Job Number #2432  
Drawn MB  
Checked MB

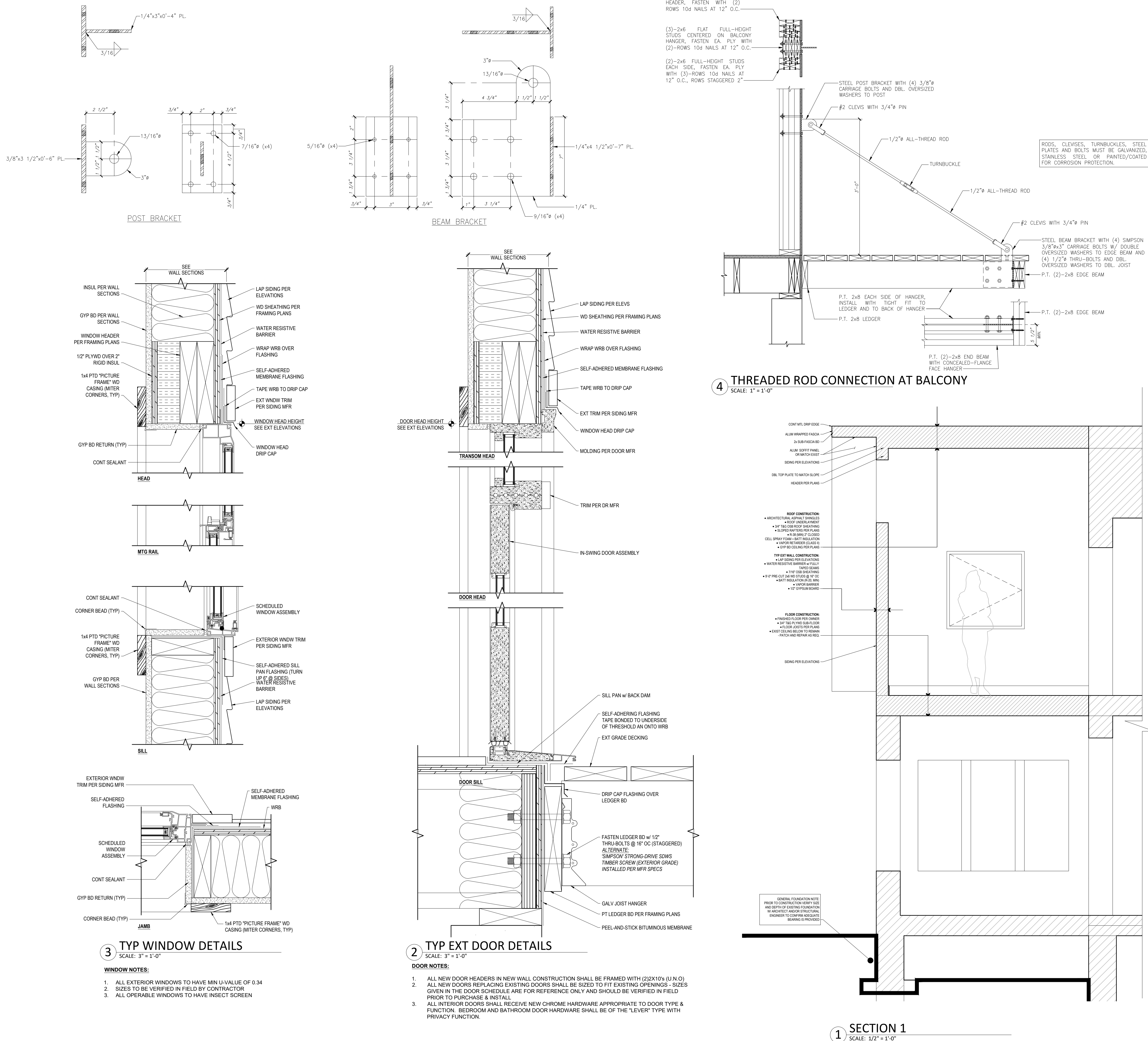
Title

## SECTION AND DETAILS

Sheet

**A-4**

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**Department of Planning and Zoning**

6801 Delmar Boulevard, University City, Missouri 63130, Phone: (314) 862-6767, Fax: (314) 862-3168

**HISTORIC PRESERVATION COMMISSION MEETING**

**STAFF COVER SHEET – HPC-25-12**

MEETING DATE: May 15, 2025

APPLICATION TYPE: Design Review

LOCATION: 7400 Balson Ave, Jackson Park Elementary  
7401 Balson Ave, University City High School

HISTORIC DISTRICT: University City Education Complex Historic District (Local)

PROJECT DESCRIPTION: Replacing clay roof tile with synthetic roof tile

APPLICANT: Olu Mitchum – Executive Director of Operations

PROPERTY OWNER: University City School District

COUNCIL WARD: 2

EXISTING ZONING: Public Activity (PA)

EXISTING LAND USE: School

**SURROUNDING ZONING AND LAND USE**

North:	SR-Single Family Residential District	Single Family Residential
East:	PA-Public Amenity	Open Space
South:	SR-Single Family Residential District	Single Family Residential
West:	HRO-High Density Residential/Office	Multifamily Residential

**COMPREHENSIVE PLAN CONFORMANCE**

☐ Yes      ☐ No      ☒ No reference

**ZONING ORDINANCE CONFORMANCE**

☒ Yes      ☐ No      ☐ No reference

PERTINENT CODE §400.1800 Historic District Established (University City Education Complex Historic District)

SECTION(S): §400.1810 District Regulations and §400.1820 Landmark Standards

Prepared by: Noah Chapin, City Planner



# HISTORIC PRESERVATION COMMISSION OF UNIVERSITY CITY APPLICATION FOR REVIEW

In University City Historic Districts, and for University City Landmarks, a review is required for new construction and for certain alterations which are specified in the regulations for the district or landmark. A Review shall not be required for ordinary maintenance or repairs when materials to be used are similar to or compatible with those originally used when the buildings within the historic district were built. The materials submitted with this application will be reviewed by the Historic Preservation Commission for compliance with the standards for each historic district or landmark.

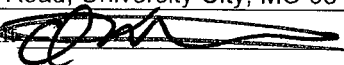
The Historic Preservation Commission encourages property owners to seek preliminary guidance of the Commission at the beginning of any renovation project to avert unnecessary expense and scheduling problems that might surface at the end of the review process. Please call the Planner at 314-505-8501 for meeting times of the Commission and to be placed on the agenda.

In addition to this review, Building Permits are required for new construction, structural changes, fences and certain other activities. Property owners are advised to check with the Building Commissioner's Office to determine if a Building Permit is needed.

**ADDRESS OF PROPERTY** University City High School, 7401 Balson Ave, University City, MO 63130  
Jackson Park Elementary, 7400 Balson Ave, University City, MO 63130

**NAME OF HISTORIC DISTRICT** University City Education Complex Historic District.

## GENERAL INFORMATION

Owner University City School District Phone 314-290-4044  
Address (if different) 7700 Olive Blvd  
Applicant Olu Mitchum - Executive Director of Operations Phone 314-290-4009  
Address 8125 Groby Road, University City, MO 63130  
Signature of applicant  Date 4/21/25

## TYPE OF REVIEW REQUESTED

☒ Design Review for Conformance with District Standards  
☐ Preliminary Review/Consultation  
☐ Permit to Demolish  
☐ Designation of Historic Landmark or District  
☐ Other:

**DESCRIPTION OF PROPOSED PROJECT:** Please include or attach sufficient information for the Commission to judge your proposed work; insufficient information may cause a delay in approval. Also, please include a brief explanation of the reason for the proposed change and a specific list of the exact proposed changes in detail on the following page.



List of Proposed Changes:

1. Clay roof tile replaced with synthetic roof tile during the 2025 roof replacements on the HS and Jackson Park
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_
5. \_\_\_\_\_
6. \_\_\_\_\_
7. \_\_\_\_\_
8. \_\_\_\_\_
9. \_\_\_\_\_
10. \_\_\_\_\_

**SUBMITTAL REQUIREMENTS:** Submit at least 21 days prior to regularly scheduled meeting.

Required: Photographs of the area, building or buildings to be affected by your project.

Submit, as appropriate, 12 copies of:

<input checked="" type="checkbox"/> Plans	<input checked="" type="checkbox"/> Specifications	<input checked="" type="checkbox"/> Site Plans
<input checked="" type="checkbox"/> on-site Materials Samples	<input checked="" type="checkbox"/> Manufacturer's Literature	<input type="checkbox"/> Other
<input checked="" type="checkbox"/> Drawings of installation details		

Photocopies and reductions are acceptable.

SUBMIT TO: Department of Community Development, 4TH Floor

6801 Delmar Blvd.

University City, MO 63130

(314) 862-3168 (FAX)

**FOR FURTHER ASSISTANCE CALL:** City Planner at (314) 505-8501

COMMENTS: \_\_\_\_\_

Please note: This application form must be submitted with the plans for the building permit application.





UNIVERSITY CITY HIGH SCHOOL  
7401 BALSON AVENUE  
UNIVERSITY CITY, MO 63130

JACKSON PARK ELEMENTARY SCHOOL  
7400 BALSON AVENUE  
UNIVERSITY CITY, MO 63130

FOR: THE SCHOOL DISTRICT OF  
UNIVERSITY CITY  
7700 OLIVE BOULEVARD  
UNIVERSITY CITY, MISSOURI 63130

DATE: MARCH 27, 2025

PROJECT NO.: S4182-24

CONSULTANT PROCEDURES  
AND DESIGN GUIDELINES:  
CURRENT EDITION

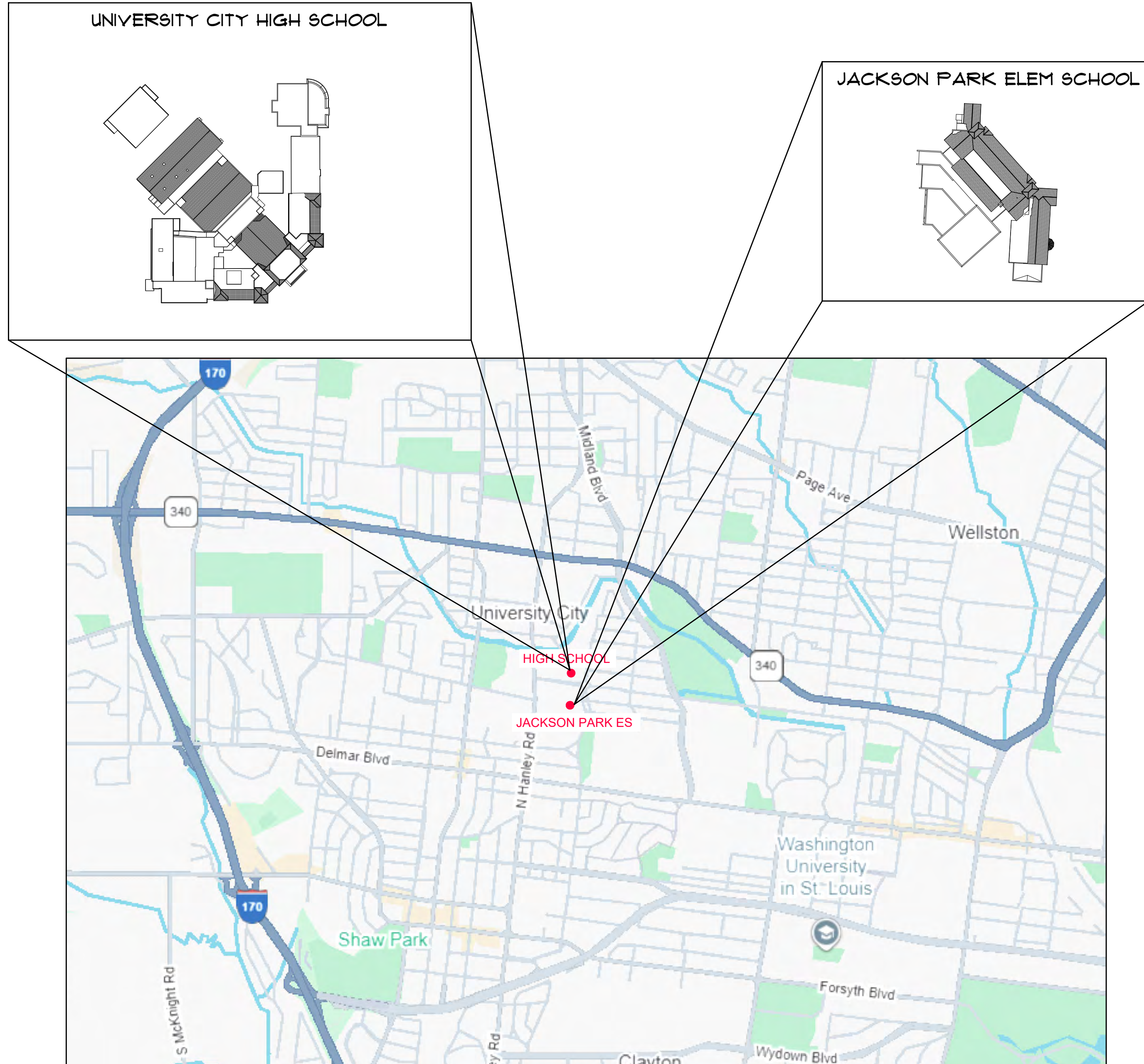
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IBD:	2021
IMC:	2021
IPC:	2021
IFC:	2021
IFGC:	2018
NEC:	2020
NFPA 13:	2019
NFPA 14:	2019
NFPA 20:	2019
NFPA 45:	2019
NFPA 72:	2019
NFPA 90A:	2018
NFPA 96:	2017
NFPA 99:	2012
NFPA 101:	2012
NFPA 110:	2019
ASHRAE 90.1:	2019
ASME A17.1:	2016
ADA	2017

[illegible]

- ANY OPERATION WHERE HIGH LEVELS OF NOISE ARE EXPECTED ON THE CONSTRUCTION SITE WILL NEED TO BE COORDINATED AND APPROVED WITH THE OWNER'S REPRESENTATIVE AT LEAST 48 HOURS PRIOR TO THE WORK BEING INITIATED.
2. DISCONNECTION OR INTERRUPTION OF ANY BUILDING SYSTEMS OR SERVICES MUST BE COORDINATED WITH OWNER'S REPRESENTATIVE AT LEAST 72 HOURS PRIOR TO WORK BEING PERFORMED. CONTRACTOR'S WORK SHALL BE CONTINUOUS UNTIL UTILITY IS RESTORED.
3. AREAS NOT UNDER CONSTRUCTION SHALL BE MAINTAINED FOR PUBLIC ACCESS AND CIRCULATION. CONTRACTOR SHALL PROVIDE TEMPORARY LIGHTS AND MAINTAIN TEMPERATURE AND HUMIDITY CONTROL WITHIN THE WORK AREA DURING THE CONSTRUCTION OF THE PROJECT AS DIRECTED BY OWNER'S REPRESENTATIVE AND AS REQUIRED FOR THE SAFETY AND SECURITY OF THE PUBLIC.
4. CONTRACTOR SHALL MAINTAIN AND KEEP ALL EXISTING MEANS OF EGRESS BARRIER-FREE.
5. CONTRACTOR SHALL MAINTAIN AND PROTECT THE EXISTING CONDITIONS IN THE WORK AREA UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL TAKE PHOTOGRAPHS OF INTERIOR AND EXTERIOR AREAS DOCUMENTING EXISTING CONDITIONS BEFORE PROCEEDING WITH THE WORK. ANY DAMAGE DONE TO EXISTING CONDITIONS DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE WITHOUT ADDITIONAL COST THE THE OWNER.
6. EVERY DIMENSION THAT IS DIRECTLY OR INDIRECTLY RELATED TO EXISTING CONDITIONS OR CONSTRUCTION SHALL BE CAREFULLY MEASURED AND COORDINATED WITH ADJACENT CONDITIONS. CONTRACTOR SHALL REPORT DISCREPANCIES, EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING THE WORK.
7. CONTRACTOR SHALL CONTAIN ALL CONSTRUCTION ACTIVITY, INCLUDING STORAGE OF MATERIAL AND EQUIPMENT, WITHIN THE CONSTRUCTION LIMITS. THE ROOFING CONTRACTOR MUST INSTALL A SAFETY FENCE 6' FROM THE PERIMETER OF THE STORED ROOFING MATERIALS WITHIN THE PRE-DETERMINED STAGING AREA. MATERIALS ARE TO STORED WITH A TARP COVERING OF SUFFICIENT MIL THICKNESS WHICH HAS BEEN PROPERLY WEIGHED DOWN. LIQUID MATERIALS (SUCH AS GASOLINE, MEMBRANE ADHESIVE, WEATHERED MEMBRANE CLEANER, ETC.) ARE TO ONLY BE STORED ON THE ROOF NEAR ROOFING SECTION UNDER REPLACEMENT.
8. CONTRACTOR SHALL PROVIDE TEMPORARY DIRECTIONAL SIGNAGE AS WELL AS CONSTRUCTION SIGNAGE NOTIFYING THE PUBLIC OF CONSTRUCTION LIMITS, AS NEEDED.
9. CONTRACTOR SHALL SECURE AND PROTECT THE WORK AREA AT THE END OF EACH DAY.
10. CONTRACTOR SHALL MAKE ALLOWANCES FOR AMPLE EXPANSION AND CONTRACTION FOR ELECTRICAL, STRUCTURAL AND OTHER BUILDING COMPONENTS SUBJECT TO SUCH MOVEMENT, INSTALL SLEEVES, RECESSES AND OPENING IN THE WORK TO RECEIVE MATERIALS INSTALLED BY OTHER TRADES.

11. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION AND THE SAFETY OF CONSTRUCTION PERSONNEL AND AUTHORIZED VISITORS.
12. NO STANDING, STAGING OR PARKING IN FIRE LANE. ACCESS IS LIMITED FOR STOCKING AND HAUL-OFF. ALL LOADING AND HAUL-OFF ACTIVITY WILL BE DAILY; NO HOURLY LIMIT ON STOCKING AND HAUL-OFF HOURS.
13. CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING ROOF MEMBRANE DURING DEMOLITION.
14. SCHOOL DISTRICT STAFF AND STUDENT'S HOLD THE RIGHT-OF-WAY AT ALL TIMES DURING ROOF CONSTRUCTION.

1. VEHICLES ARE TO USE DESIGNATED CONSTRUCTION ENTRANCES AS INDICATED ON DRAWINGS OR CONSTRUCTION DOCUMENTS. IF NO CONSTRUCTION ROUTE IS INDICATED VEHICLES ARE RESTRICTED TO SIDEWALKS OR PAVED AREAS. ALL CONSTRUCTION EQUIPMENT AND OR VEHICLES SHALL VERIFY THE WEIGHT LIMIT AND RESTRICTION ON PAVEMENT PRIOR TO CONSTRUCTION AND NOTIFY OWNER'S REPRESENTATIVE OF THE PLANNED ROUTE.
2. THERE SHALL BE NO VEHICLE MOVEMENT IN ANY LANDSCAPED, SHRUB OR PERENNIAL AREAS, MULCH BED AND/OR TREE CANOPY DRIP AND ROOT ZONES, WITHOUT PRIOR NOTIFICATION AND APPROVAL FROM LANDSCAPE SERVICES. LANDSCAPE SERVICES REQUIRES ONE WEEK NOTICE PRIOR TO ANY VEHICLE MOVEMENT IN THESE AREAS.
3. WHERE ACCESS TO BUILDING REQUIRES CROSSING TURF, MULCH AREAS, TREE ROOT SYSTEMS, TREE CANOPY ZONES, OR IRRIGATION SYSTEMS, THE CONTRACTOR SHALL USE ALTERNAMATS BY DICA OR APPROVED EQUAL.
4. VEHICLE ACCESS SHALL NOT BREAK OR RUB TREE BRANCHES. OWNER WILL PRUNE TREE BRANCHES TO PROVIDE CLEARANCE AROUND BUILDING ENTRANCE. OWNER REQUIRES ONE WEEK'S NOTICE FOR THIS WORK TO BE DONE.
5. DO NOT COMPACT GRADE WITHIN THE DRIP LINE OF TREES. PROVIDE APPROVED FENCING TO PREVENT DRIVING OR EQUIPMENT PARKING WITHIN DRIP LINE OF TREES, PRIOR TO CONSTRUCTION OR WORK IN THE PROJECT AREA.



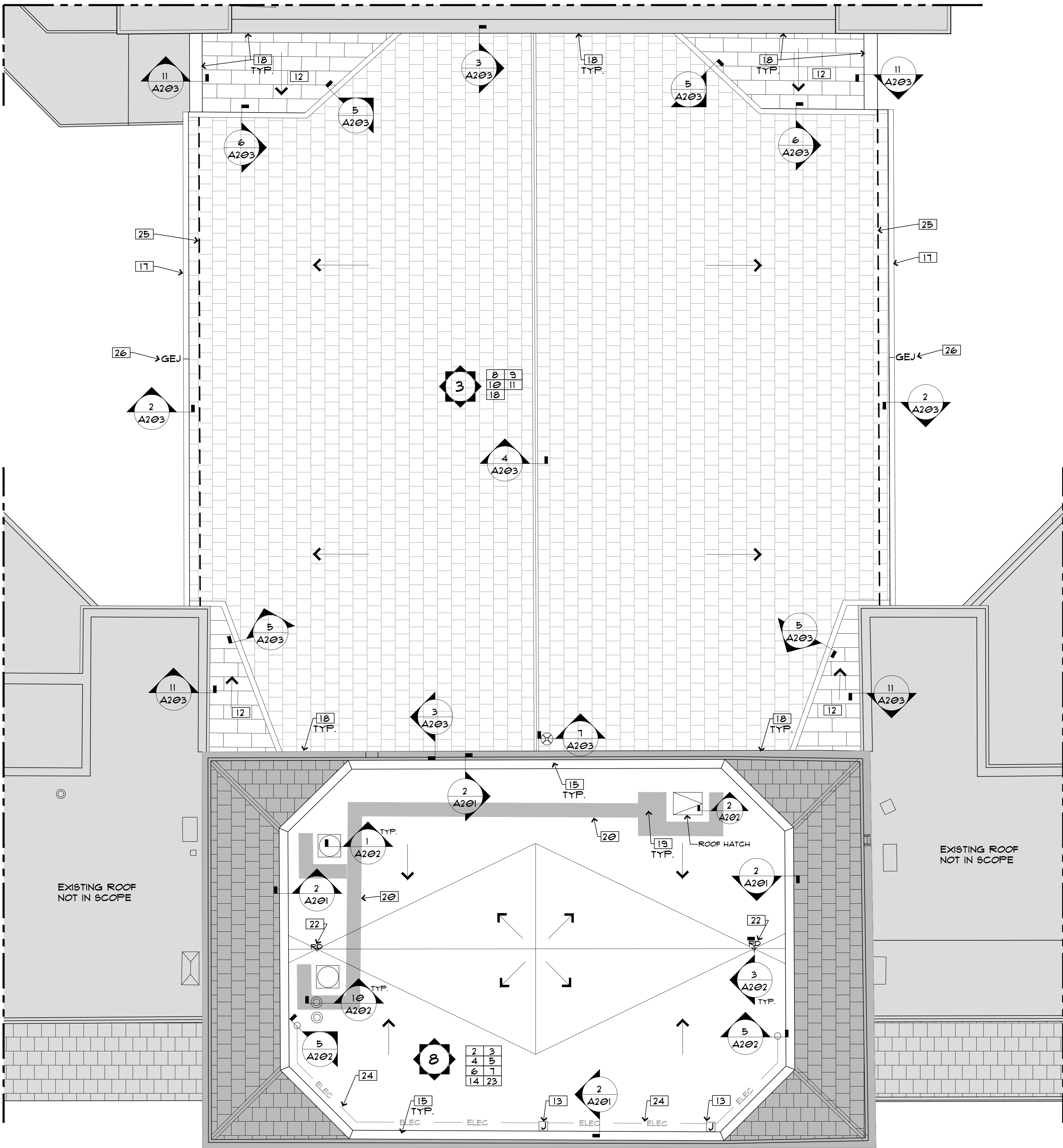


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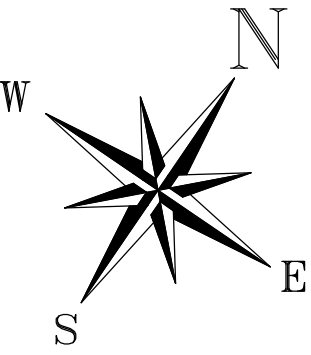




**TYPICAL RENOVATION ROOF NOTES:**

- 1 ROOF RENOVATION NOTES LIMITED TO AREAS 3, 8, 19 AND 21.
- 2 SWEEP AND CLEAN EXISTING ROOF DECK BEFORE ROOF INSTALLATION.
- 3 INSTALL SELF-ADHERED VAPOR BARRIER OVER PRIMED CONCRETE DECK.
- 4 INSTALL BASE LAYER OF 1.5" POLYISO. INSULATION ADHERED WITH LOW-RISE FOAM ADHESIVE PER FM I-90 REQUIREMENTS.
- 5 INSTALL 1/8" PER FOOT TAPERED POLYISO. INSULATION ADHERED WITH LOW-RISE FOAM ADHESIVE PER FM I-90 REQUIREMENTS.
- 6 INSTALL 1/2" HD POLYISO. COVER BOARD ADHERED WITH LOW RISE FOAM ADHESIVE PER FM I-90 REQUIREMENTS.
- 7 INSTALL 60 MIL EPDM ROOF MEMBRANE, ADHERED TO COVER BOARD WITH EPDM MANUFACTURER'S MEMBRANE ADHESIVE.
- 8 INSTALL 1X4 FRT WOOD BATTENS FASTENED TO EXISTING CONCRETE DECK.
- 9 INSTALL 3/4" FRT PLYWOOD FASTENED TO THE 1X4 BATTENS.
- 10 INSTALL ICE & WATER SHIELD AT EAVES, VALLEYS AND SIDE WALLS. INSTALL SYNTHETIC MEMBRANE OVER VENTED PLYWOOD SUBSTRATE, UNDER SYNTHETIC SPANISH TILES.
- 11 INSTALL SYNTHETIC SPANISH TILES FASTENED TO PLYWOOD SUBSTRATE.
- 12 INSTALL NEW COPPER ROOF PANELS AND FLASHING TO MATCH EXISTING.
- 13 REMOVE AND REINSTALL WALL MOUNTED JUNCTION BOX TO EXISTING LOCATION. SEAL WATERTIGHT. REFER TO DETAIL 11/A2Ø2.
- 14 INSTALL 60 MIL EPDM FLASHING MEMBRANE, ADHERED WITH EPDM MANUFACTURER'S MEMBRANE ADHESIVE.
- 15 INSTALL NEW 20 OZ. COPPER FLASHING AT TOP OF EXISTING STONE COPING.
- 16 INSTALL NEW 2-PC 26 GA. KYNAR-COATED SHEET METAL REGLET AND COUNTERFLASHING AT MASONRY WALLS.
- 17 INSTALL NEW COPPER GUTTER AND DOWNSPOUTS, WITH SIZES TO MATCH EXISTING. DOWNSPOUT LOCATIONS TO MATCH EXISTING.
- 18 INSTALL NEW COPPER COUNTERFLASHING AND TRIM AT SPANISH TILE ROOF AND COPPER PANELS.
- 19 AT ALL LADDER AND DOOR EGRESSSES, INSTALL 4' X 4' X 1/2" PLYWOOD IN LIEU OF THE HD COVER BOARD.
- 20 INSTALL WALKPADS FROM ROOF ACCESS LOCATIONS TO AND AROUND EACH MECHANICAL UNIT.
- 21 INSTALL YELLOW WARNING LINE ROUGHLY 10 FT FROM ALL UNPROTECTED ROOF EDGES.
- 22 CONTRACTOR IS RESPONSIBLE TO SNAKE ALL DRAINS AT THE END OF THE ROOFING PROJECT.
- 23 CONTRACTOR RESPONSIBLE FOR RAISING CURBS TO FACILITATE 8" MINIMUM FLASHING HEIGHT ABOVE FINISHED ROOF SURFACE AT ALL SIDES, INCLUDING ABOVE CRICKETS.
- 24 REPLACE ALL WOOD BLOCKING ON CONDUIT AND GAS LINES WITH SYNTHETIC ROOF SUPPORTS.
- 25 INSTALL SNOW GUARDS AT TILE ROOF EAVE AS SPECIFIED.
- 26 PROVIDE GUTTER EXPANSION JOINT PER SMACNA GUIDELINES.

LEGEND	
	ROOF DRAIN
	SCUPPER WITH COLLECTOR AND DOWNSPOUT
	LADDER
	VENT STACK
	DOMED VENTILATOR
	DUCT WORK
	ABANDONED CURB/UNIT
	PITCH PAN
	FAN
	EVAPORATIVE COOLER
	ROOF ACCESS HATCH
	PIPE PENETRATION
	MECHANICAL UNIT/ HVAC
	ROUND GOOSENECK DUCTING
	SKYLIGHT
	SINGLE FAN HVAC UNIT
	STACK ON BASE
	DUAL FAN HVAC UNIT
	SATELLITE DISH
	HEATER STACK
	LOUVER VENT



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03/17/25

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CHECKED BY: TAW

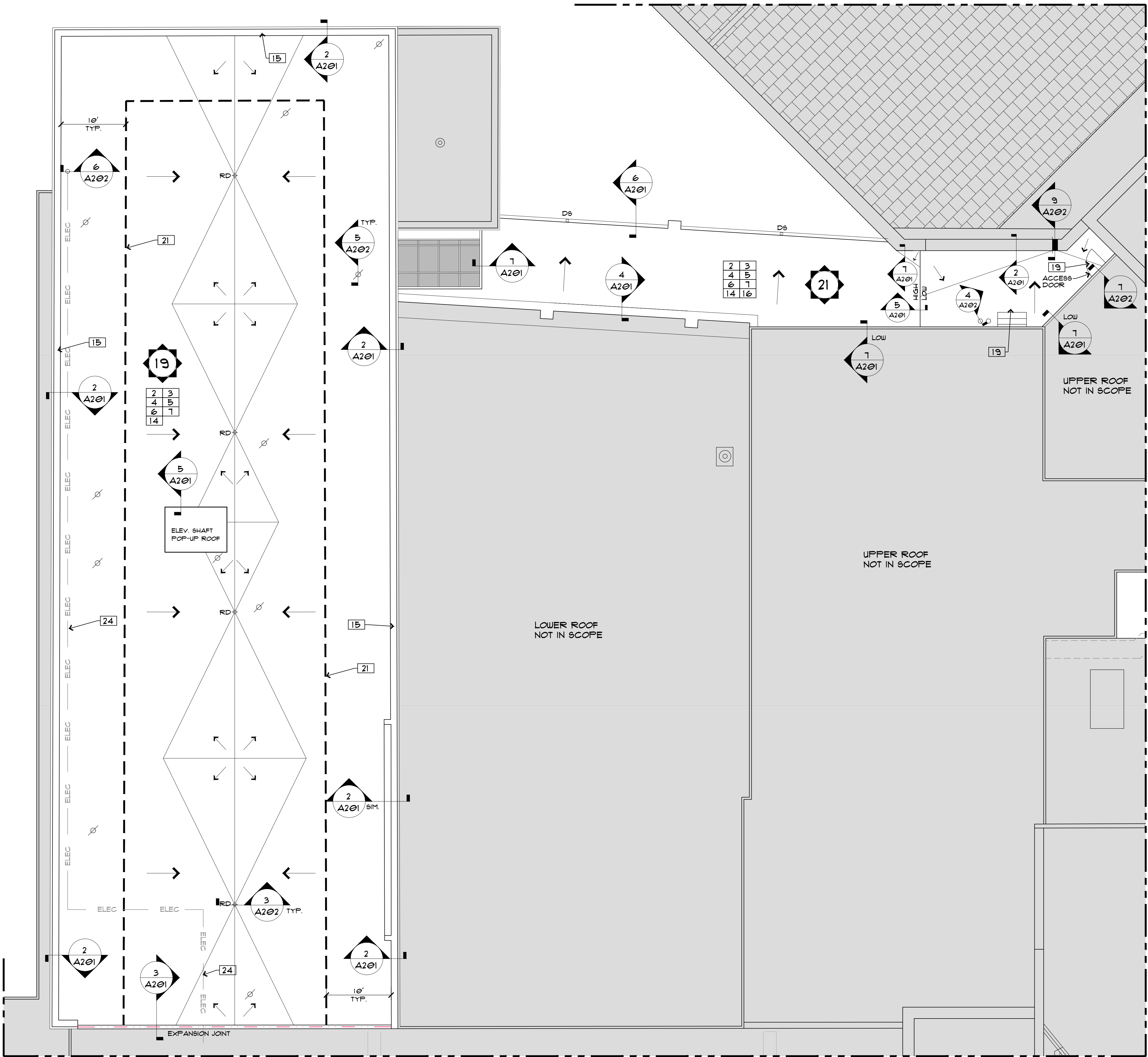
**RMT** RMT ROOFING AND WATERPROOFING CONSULTANTS, INC.  
410 SOVEREIGN COURT #18  
MANCHESTER, MO 63011  
(636)-391-2185

**UNIVERSITY CITY SCHOOL DISTRICT**  
**UNIVERSITY CITY HIGH SCHOOL**  
7401 BALSON AVENUE  
UNIVERSITY CITY, MISSOURI 63130

PROJECT NUMBER  
**S4182-24**

SHEET  
**A102**

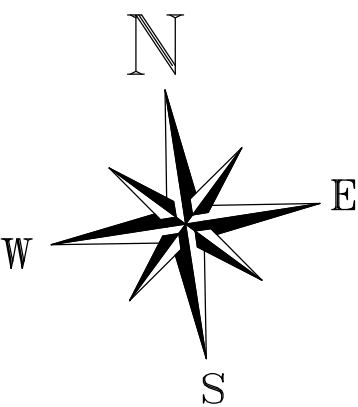




**TYPICAL RENOVATION ROOF NOTES:**

- 1 ROOF RENOVATION NOTES LIMITED TO AREAS 3, 8, 13 AND 21.
- 2 SWEEP AND CLEAN EXISTING ROOF DECK BEFORE ROOF INSTALLATION.
- 3 INSTALL SELF-ADHERED VAPOR BARRIER OVER PRIMED CONCRETE DECK.
- 4 INSTALL BASE LAYER OF 1.5" POLYISO. INSULATION ADHERED WITH LOW-RISE FOAM ADHESIVE PER FM I-90 REQUIREMENTS.
- 5 INSTALL 1/8" PER FOOT TAPERED POLYISO. INSULATION ADHERED WITH LOW-RISE FOAM ADHESIVE PER FM I-90 REQUIREMENTS.
- 6 INSTALL 1/2" HD POLYISO. COVER BOARD ADHERED WITH LOW RISE FOAM ADHESIVE PER FM I-90 REQUIREMENTS.
- 7 INSTALL 60 MIL EPDM ROOF MEMBRANE, ADHERED TO COVER BOARD WITH EPDM MANUFACTURER'S MEMBRANE ADHESIVE.
- 8 INSTALL 1X4 FRT WOOD BATTENS FASTENED TO EXISTING CONCRETE DECK.
- 9 INSTALL 3/4" FRT PLYWOOD FASTENED TO THE 1X4 BATTENS.
- 10 INSTALL ICE & WATER SHIELD AT EAVES, VALLEYS AND SIDE WALLS. INSTALL SYNTHETIC MEMBRANE OVER VENTED PLYWOOD SUBSTRATE, UNDER SYNTHETIC SPANISH TILES.
- 11 INSTALL SYNTHETIC SPANISH TILES FASTENED TO PLYWOOD SUBSTRATE.
- 12 INSTALL NEW COPPER ROOF PANELS AND FLASHING TO MATCH EXISTING.
- 13 REMOVE AND REINSTALL WALL MOUNTED JUNCTION BOX TO EXISTING LOCATION. SEAL WATERTIGHT. REFER TO DETAIL 11/A202.
- 14 INSTALL 60 MIL EPDM FLASHING MEMBRANE, ADHERED WITH EPDM MANUFACTURER'S MEMBRANE ADHESIVE.
- 15 INSTALL NEW 20 OZ COPPER FLASHING AT TOP OF EXISTING STONE COPING.
- 16 INSTALL NEW 2-PC 26 GA. KYNAR-COATED SHEET METAL REGLET AND COUNTERFLASHING AT MASONRY WALLS.
- 17 INSTALL NEW COPPER GUTTER AND DOWNSPOUTS, WITH SIZES TO MATCH EXISTING. DOWNSPOUT LOCATIONS TO MATCH EXISTING.
- 18 INSTALL NEW COPPER COUNTERFLASHING AND TRIM AT SPANISH TILE ROOF AND COPPER PANELS.
- 19 AT ALL LADDER AND DOOR EGRESSSES, INSTALL 4' X 4' X 1/2" PLYWOOD IN LIEU OF THE HD COVER BOARD.
- 20 INSTALL WALKPADS FROM ROOF ACCESS LOCATIONS TO AND AROUND EACH MECHANICAL UNIT.
- 21 INSTALL YELLOW WARNING LINE ROUGHLY 10 FT FROM ALL UNPROTECTED ROOF EDGES.
- 22 CONTRACTOR IS RESPONSIBLE TO SNAKE ALL DRAINS AT THE END OF THE ROOFING PROJECT.
- 23 CONTRACTOR RESPONSIBLE FOR RAISING CURBS TO FACILITATE 8" MINIMUM FLASHING HEIGHT ABOVE FINISHED ROOF SURFACE AT ALL SIDES, INCLUDING ABOVE CRICKETS.
- 24 REPLACE ALL WOOD BLOCKING ON CONDUIT AND GAS LINES WITH SYNTHETIC ROOF SUPPORTS.
- 25 INSTALL SNOW GUARDS AT TILE ROOF EAVE AS SPECIFIED.
- 26 PROVIDE GUTTER EXPANSION JOINT PER SMACNA GUIDELINES.

LEGEND	
	ROOF DRAIN
	SCUPPER WITH COLLECTOR AND DOWNSPOUT LADDER
	VENT STACK
	DOMED VENTILATOR
	DUCT WORK
	ABANDONED CURB/UNIT
	PITCH PAN
	FAN
	EVAPORATIVE COOLER
	ROOF ACCESS HATCH
	PIPE PENETRATION
	MECHANICAL UNIT/ HVAC
	ROUND GOOSENECK DUCTING SKYLIGHT
	SINGLE FAN HVAC UNIT
	STACK ON BASE
	DUAL FAN HVAC UNIT
	SATELLITE DISH
	HEATER STACK
	LOUVER VENT



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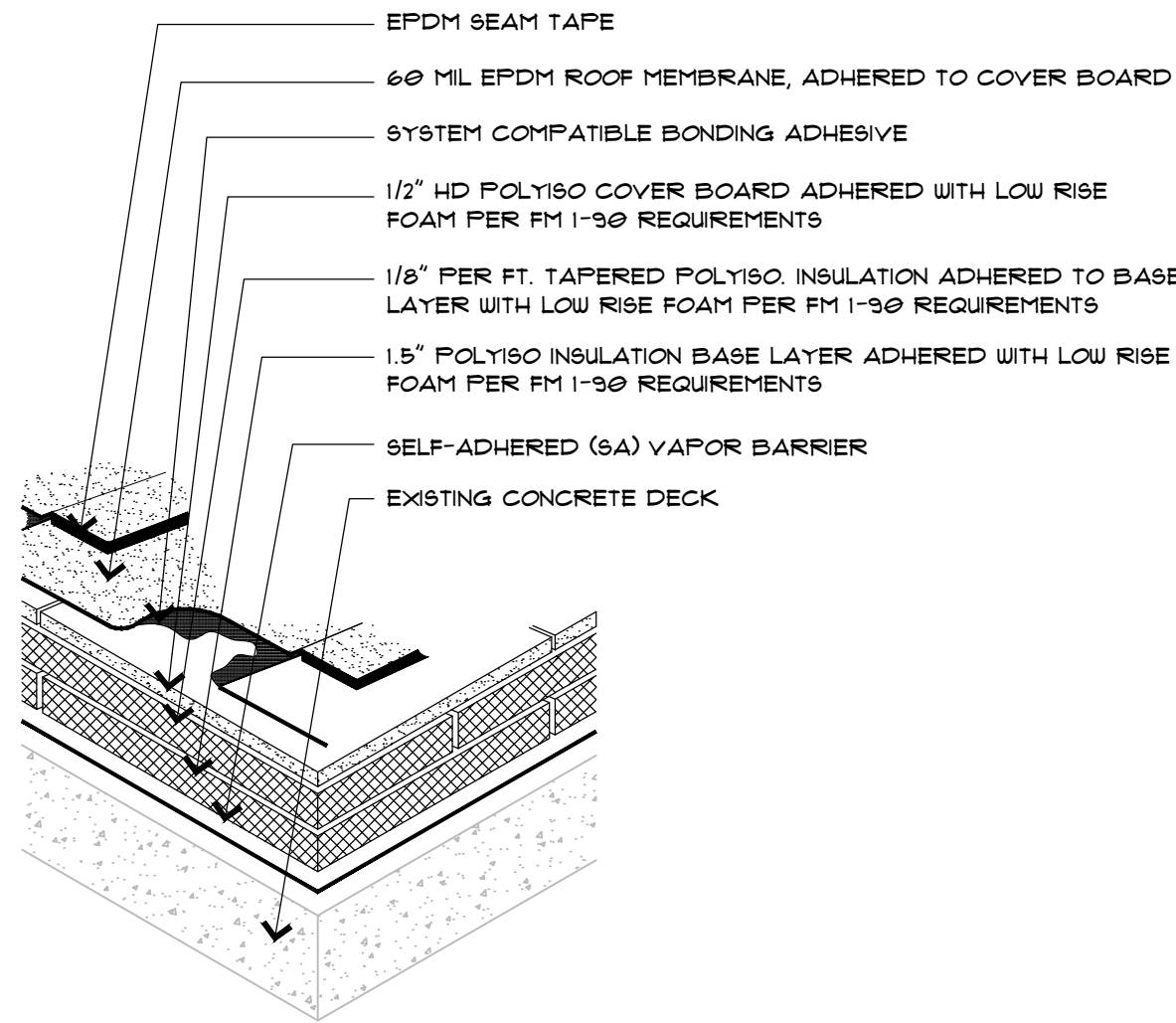
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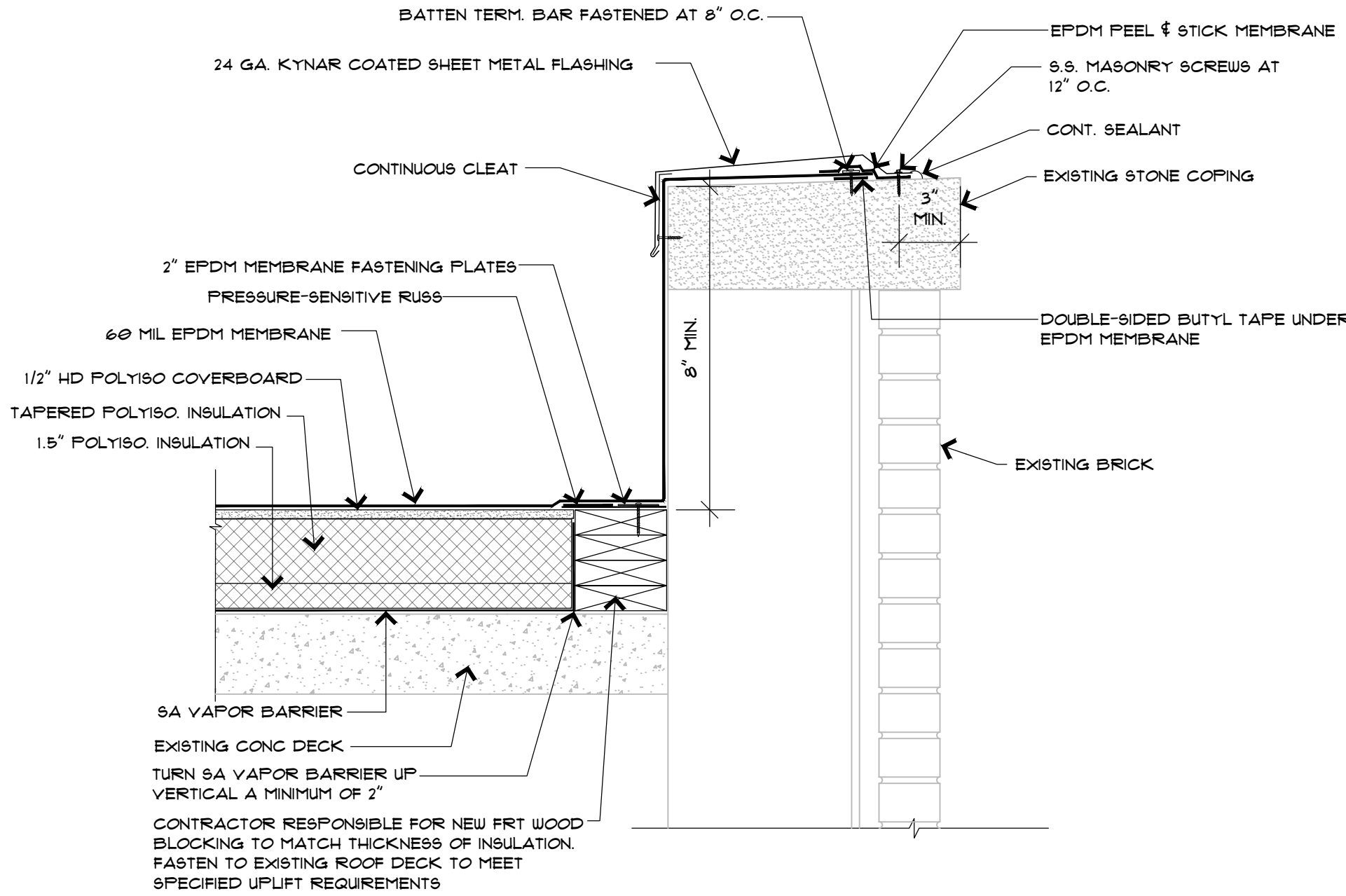
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PROJECT NUMBER	S4182-24
SHEET	A103

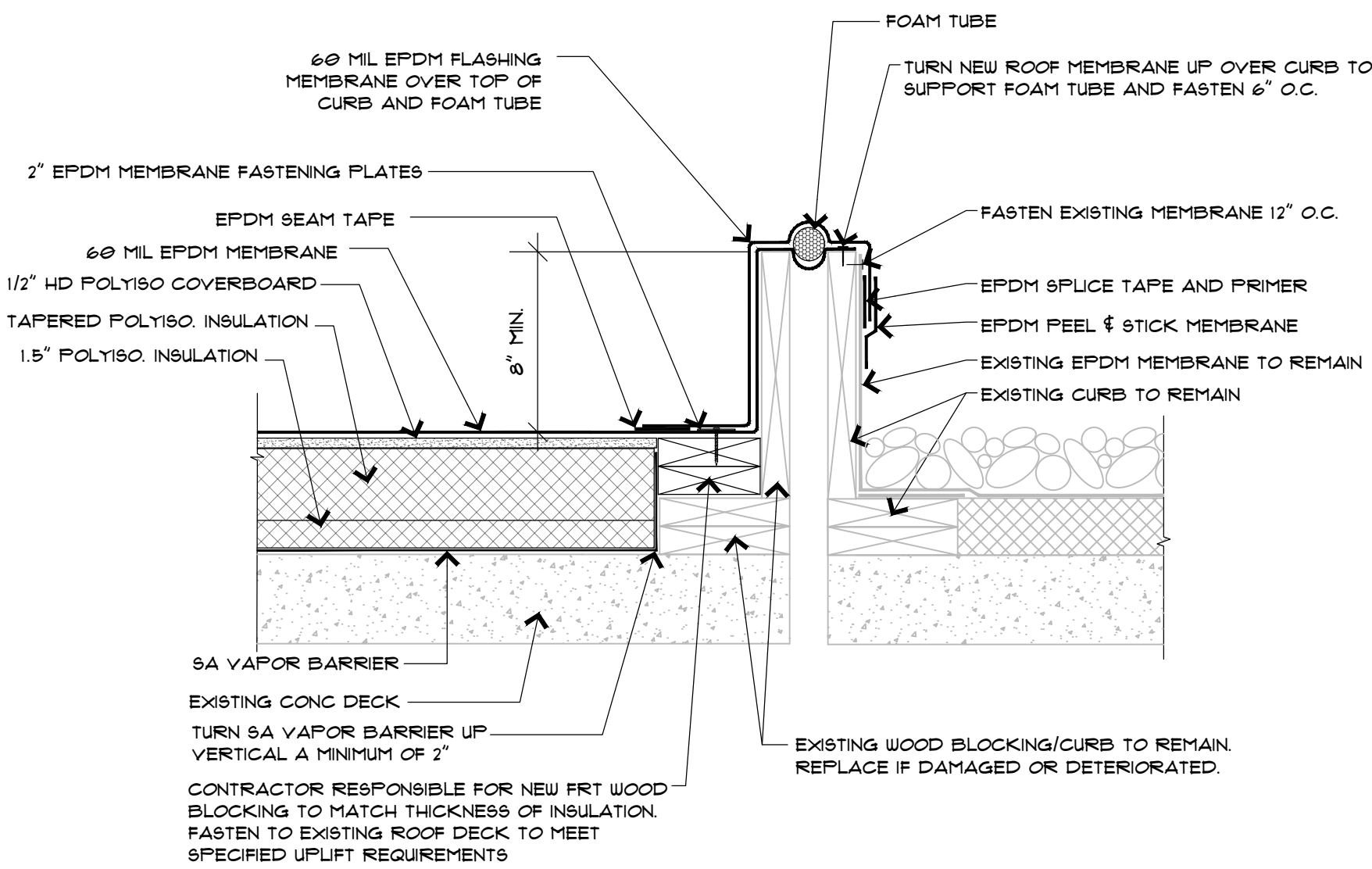




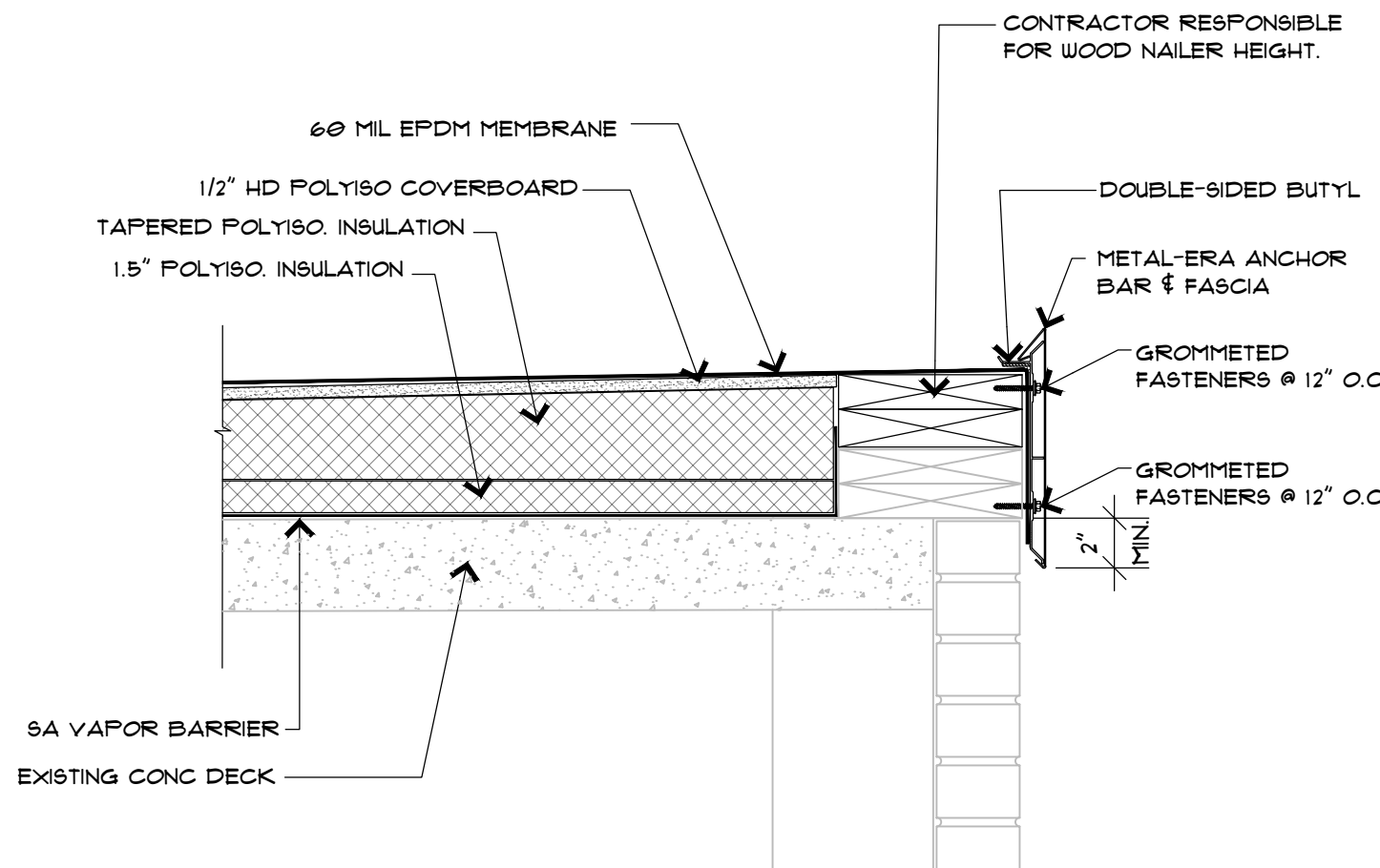
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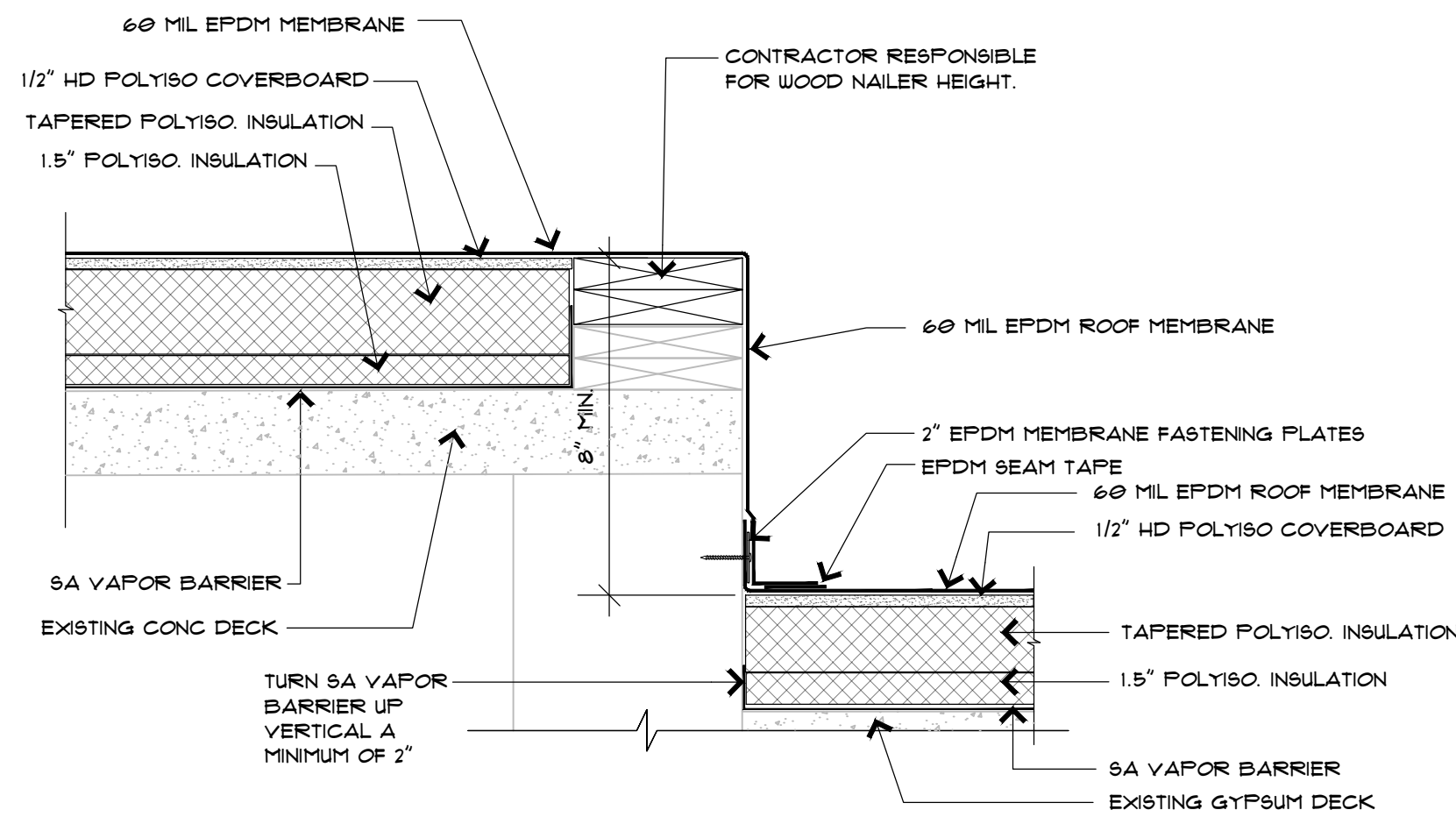
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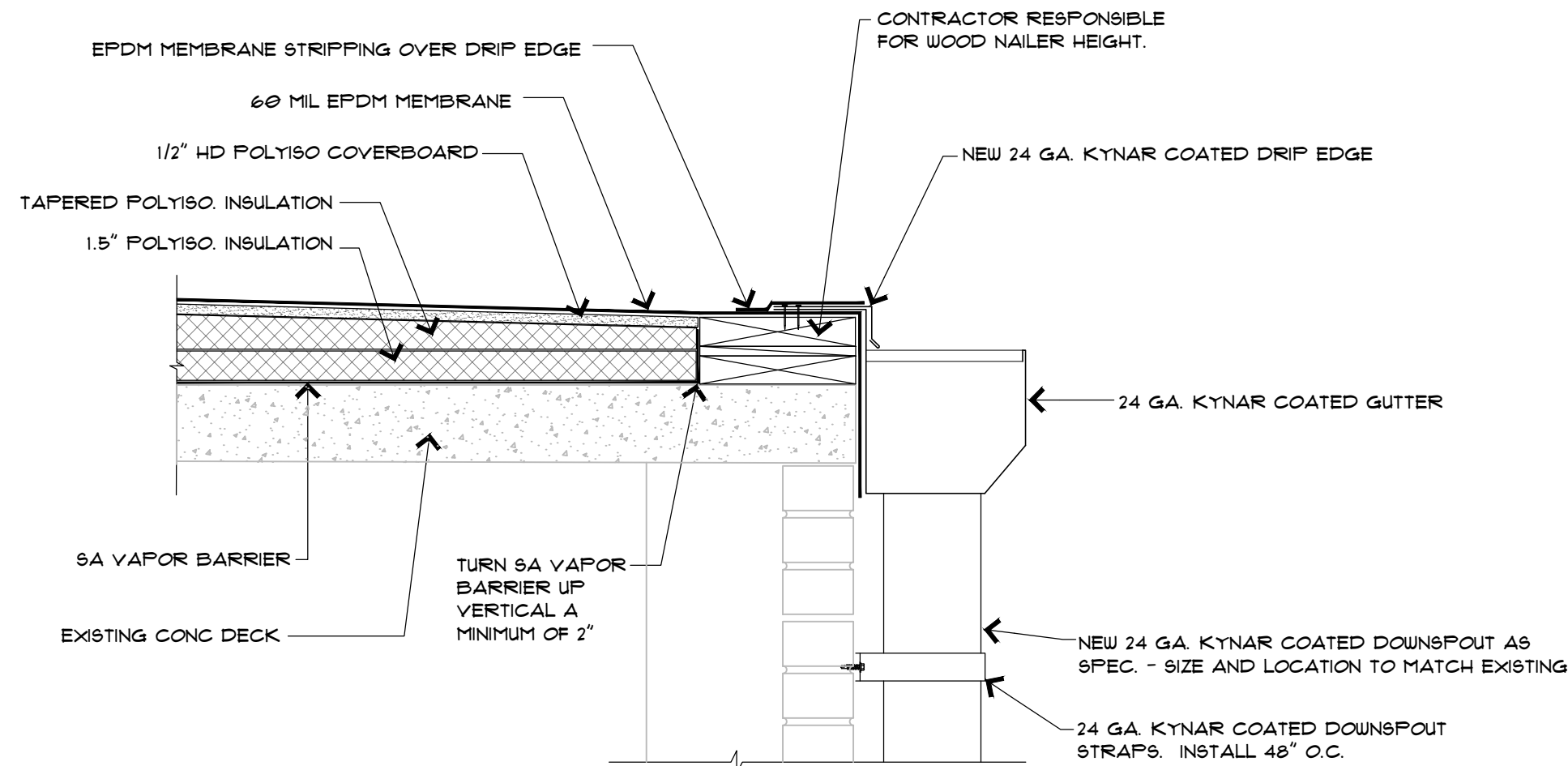
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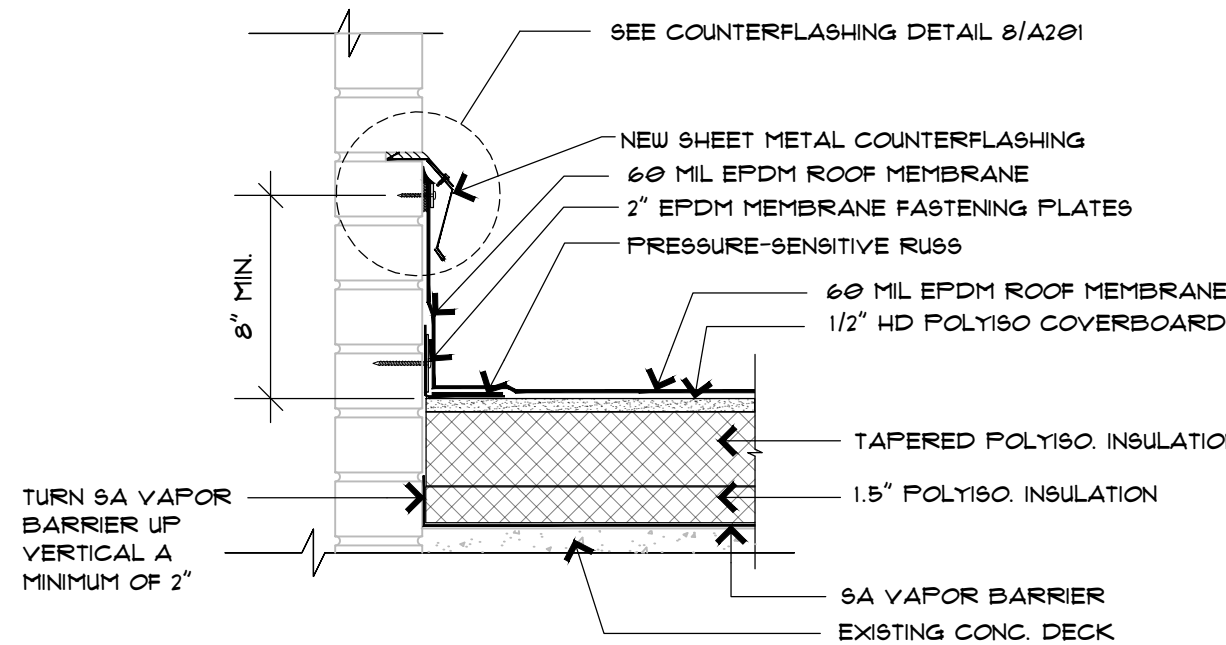
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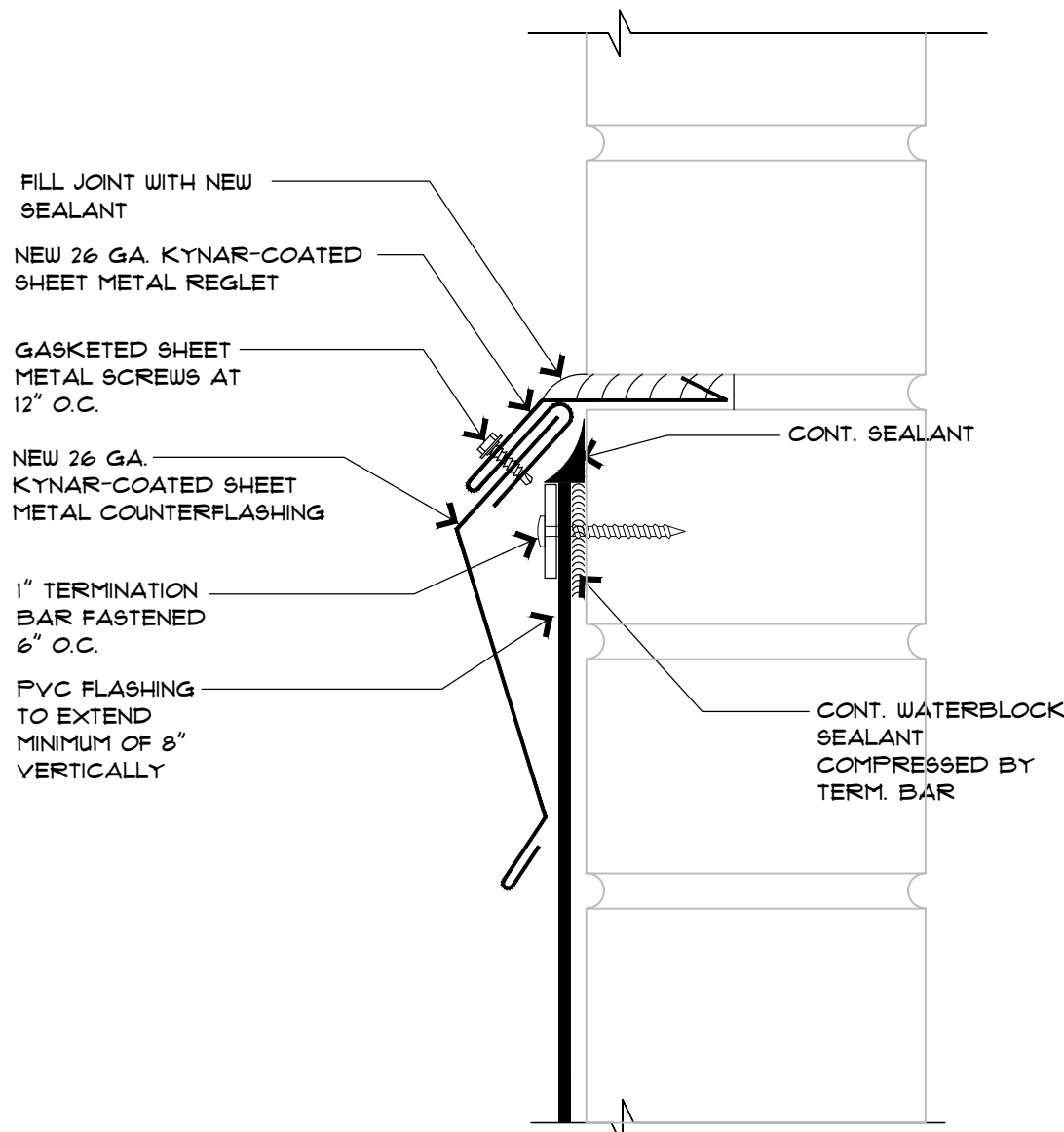
5 ROOF TRANSITION DETAIL  
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6 GUTTER DETAIL  
A201 NOT TO SCALE



7 BRICK RISE WALL DETAIL  
A201 NOT TO SCALE



8 COUNTERFLASHING DETAIL  
A201 NOT TO SCALE

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SHEET

A201





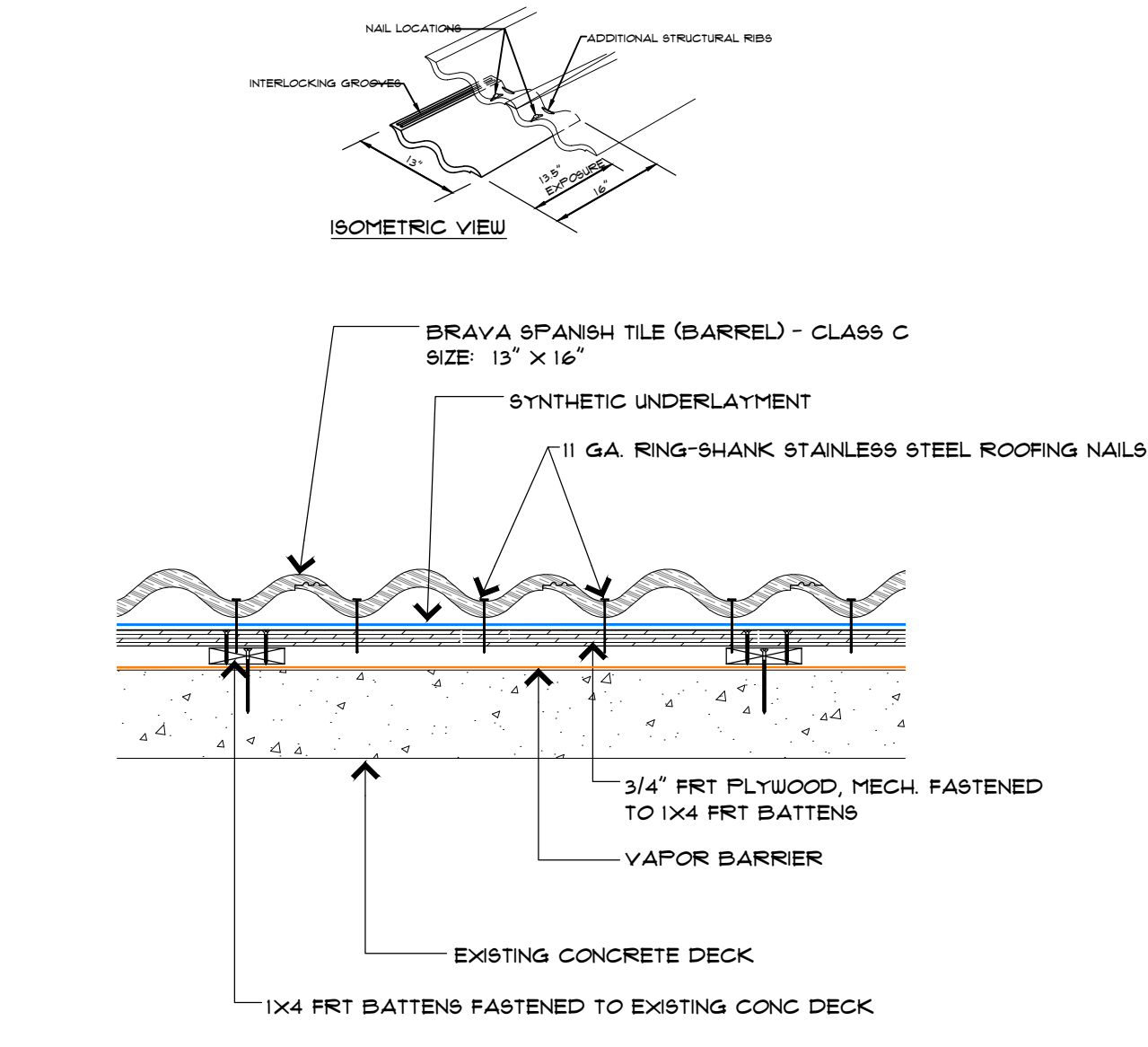

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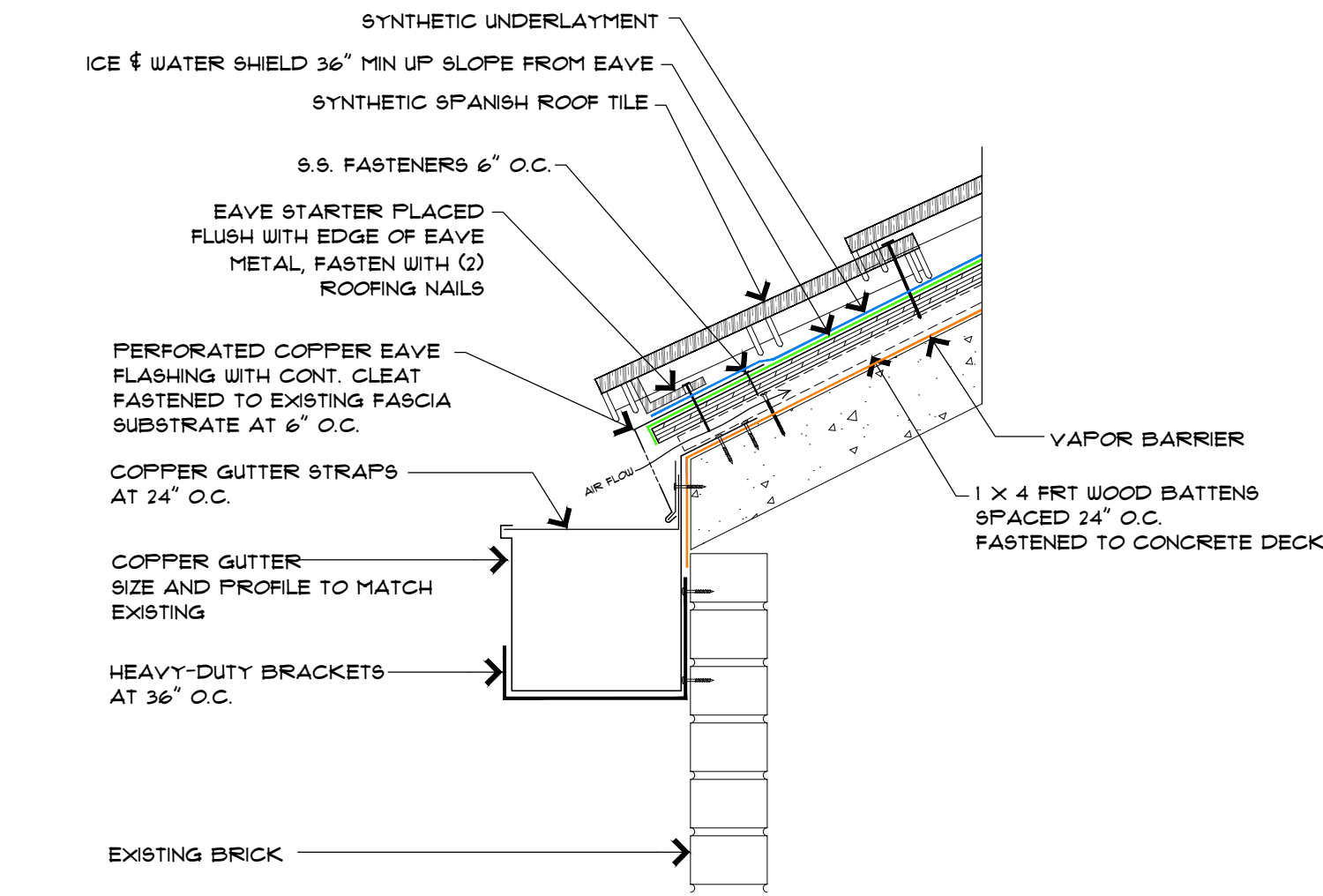
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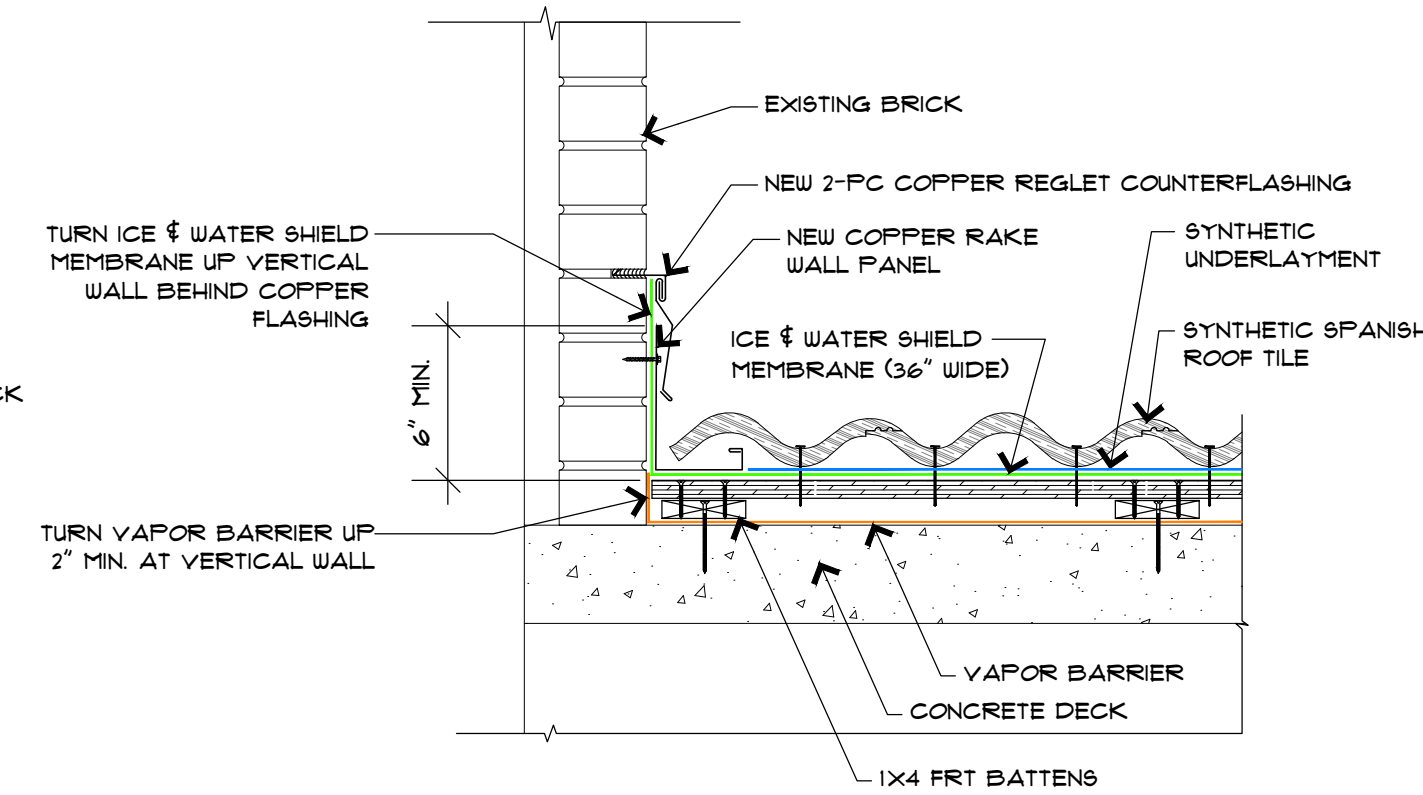




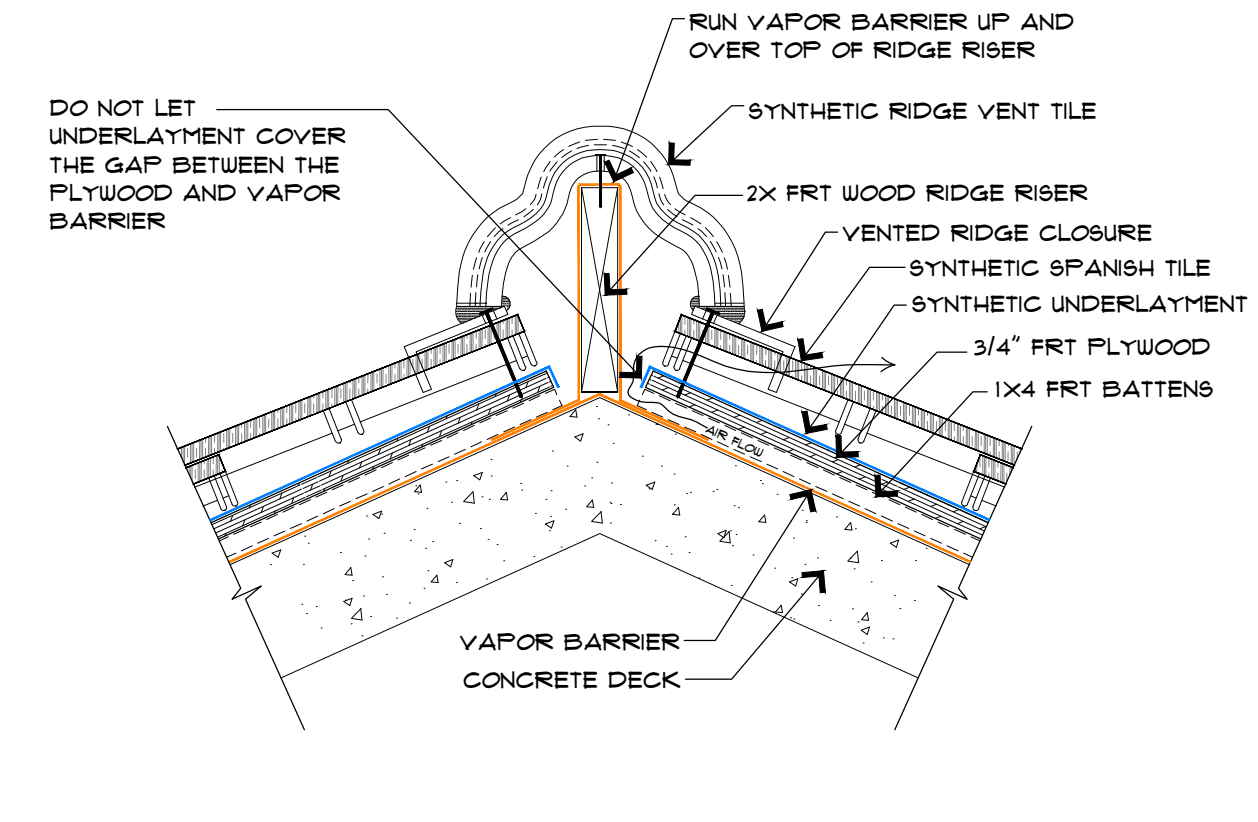
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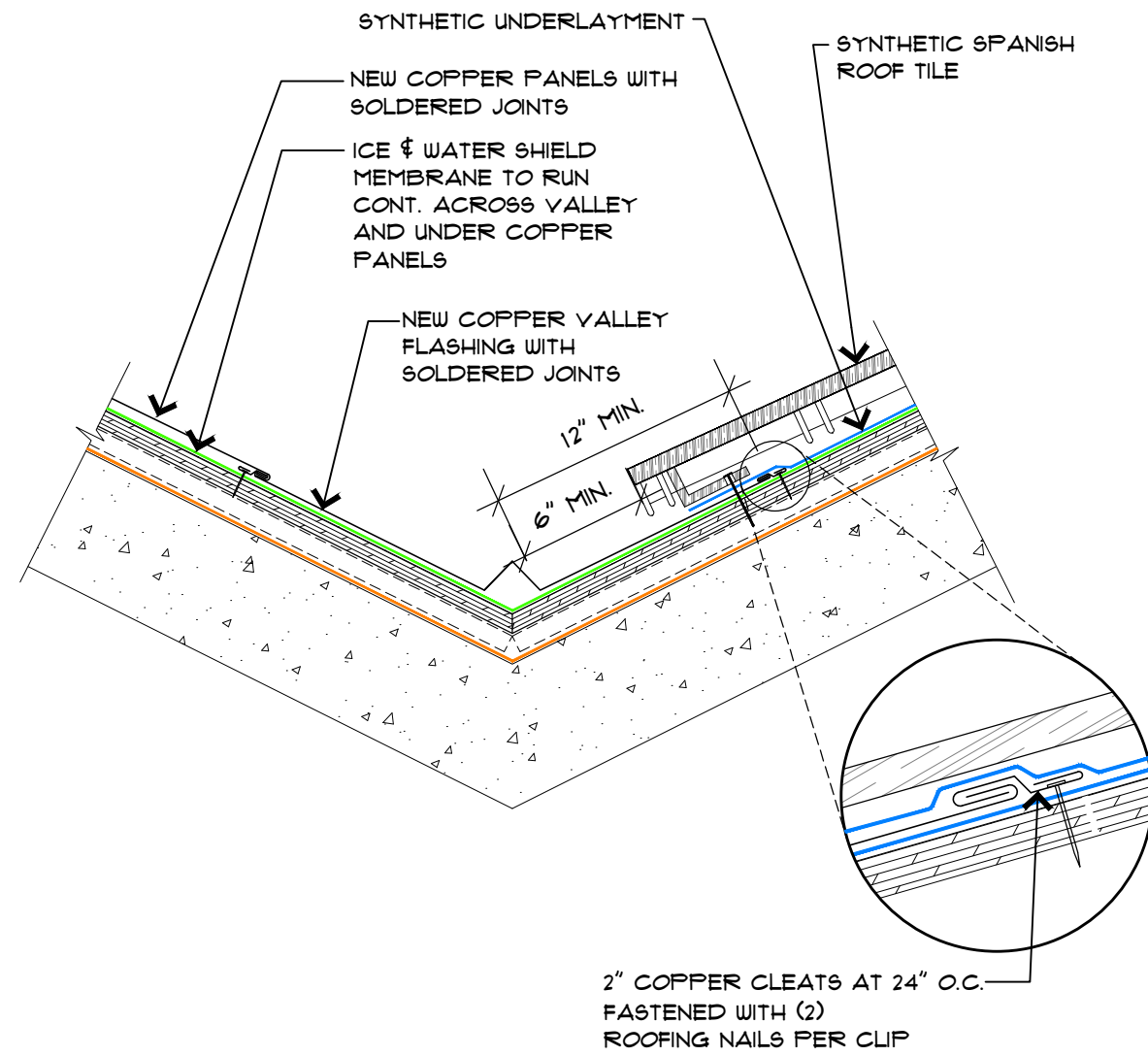
2 VENTED EAVE DETAIL WITH COPPER GUTTERING  
A203 / NOT TO SCALE



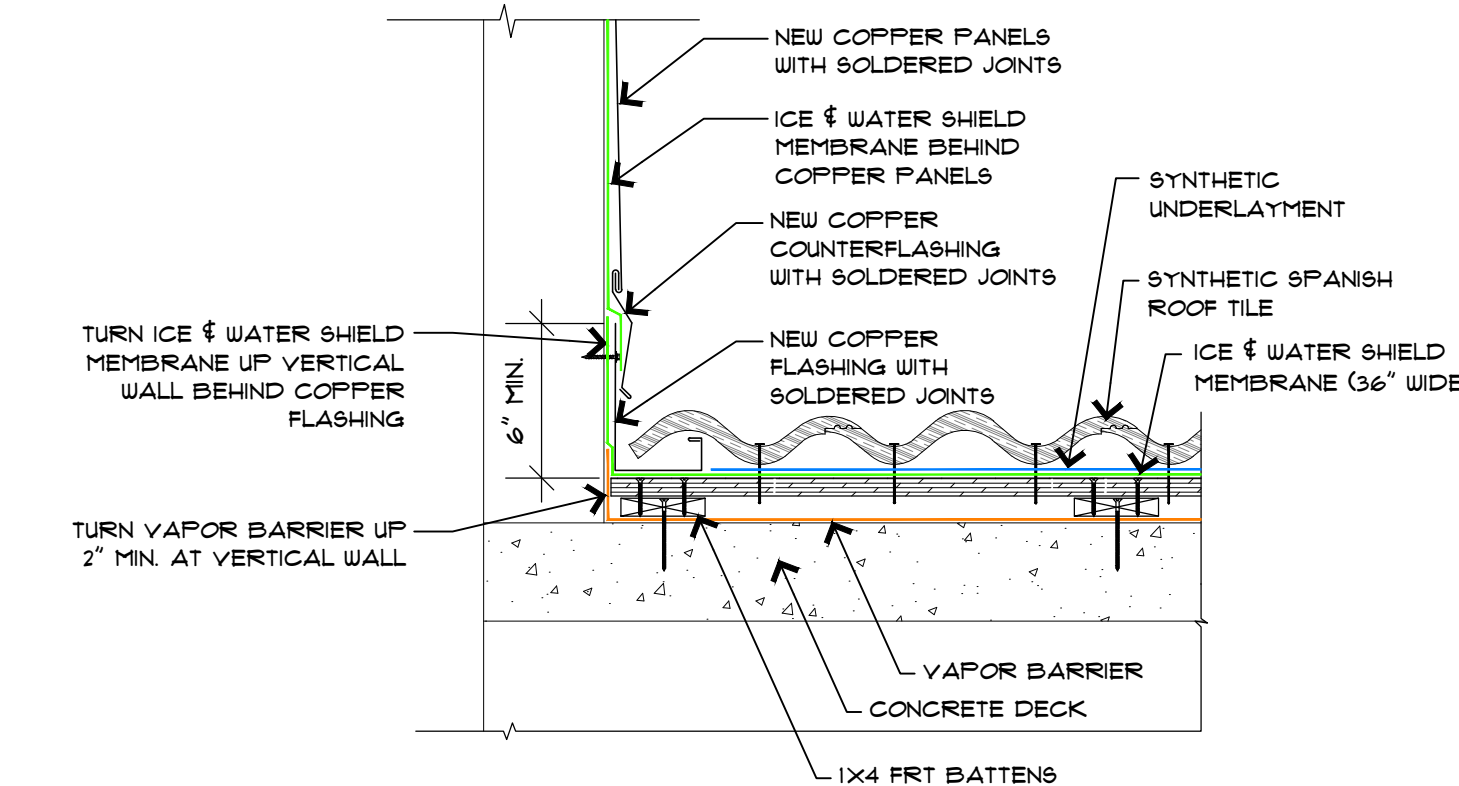
3 BRICK RISE WALL DETAIL  
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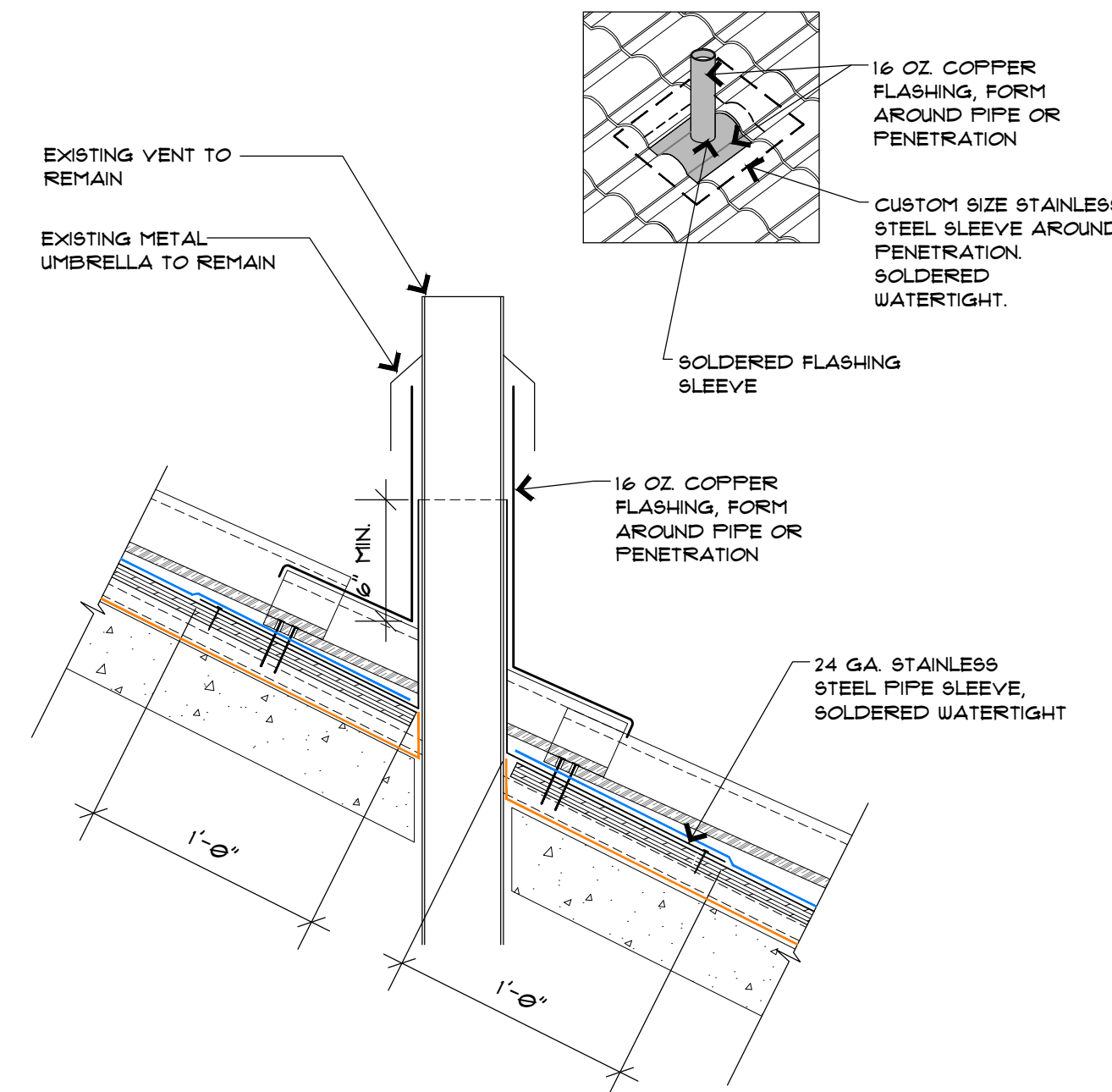
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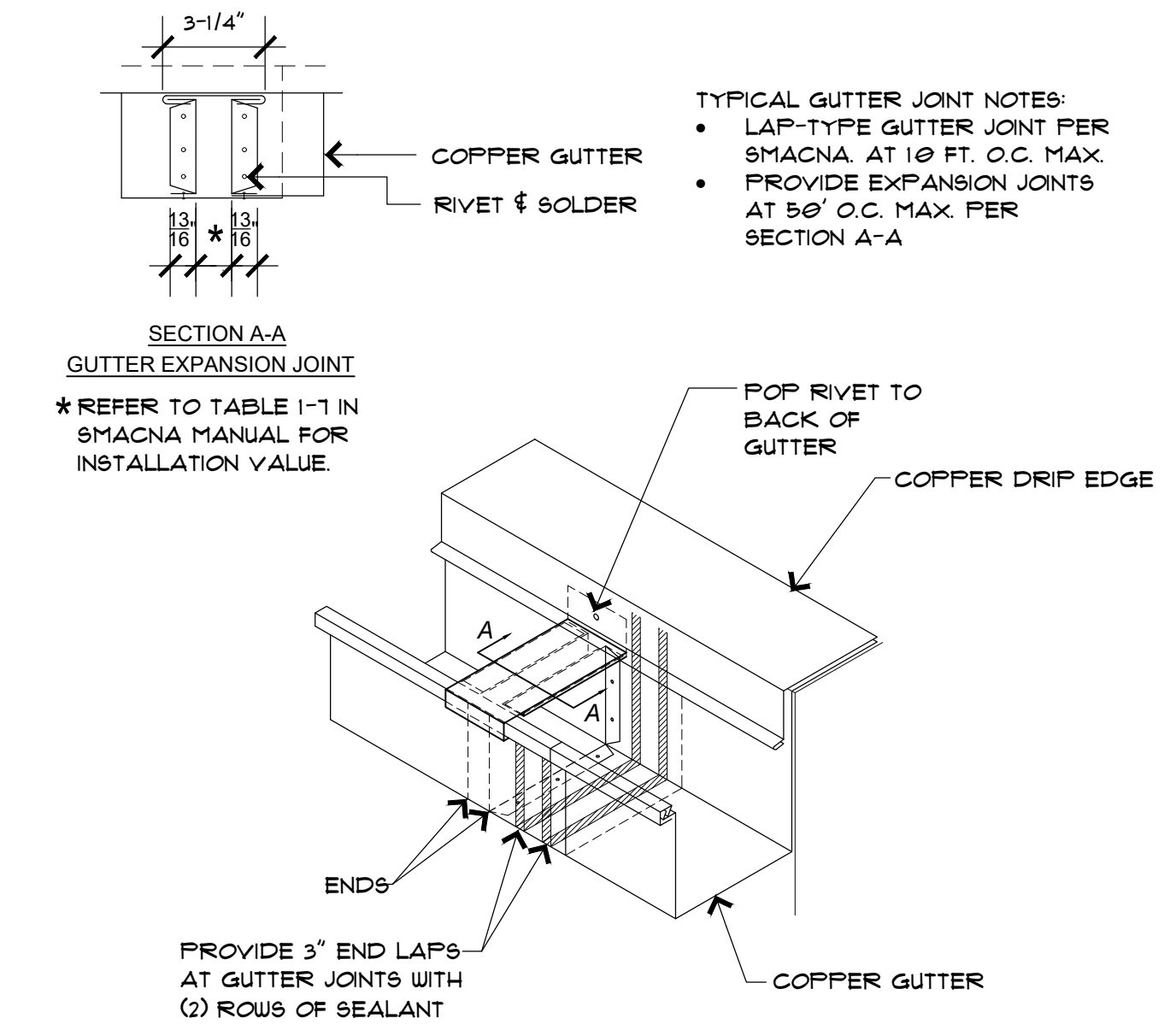
5 VALLEY DETAIL  
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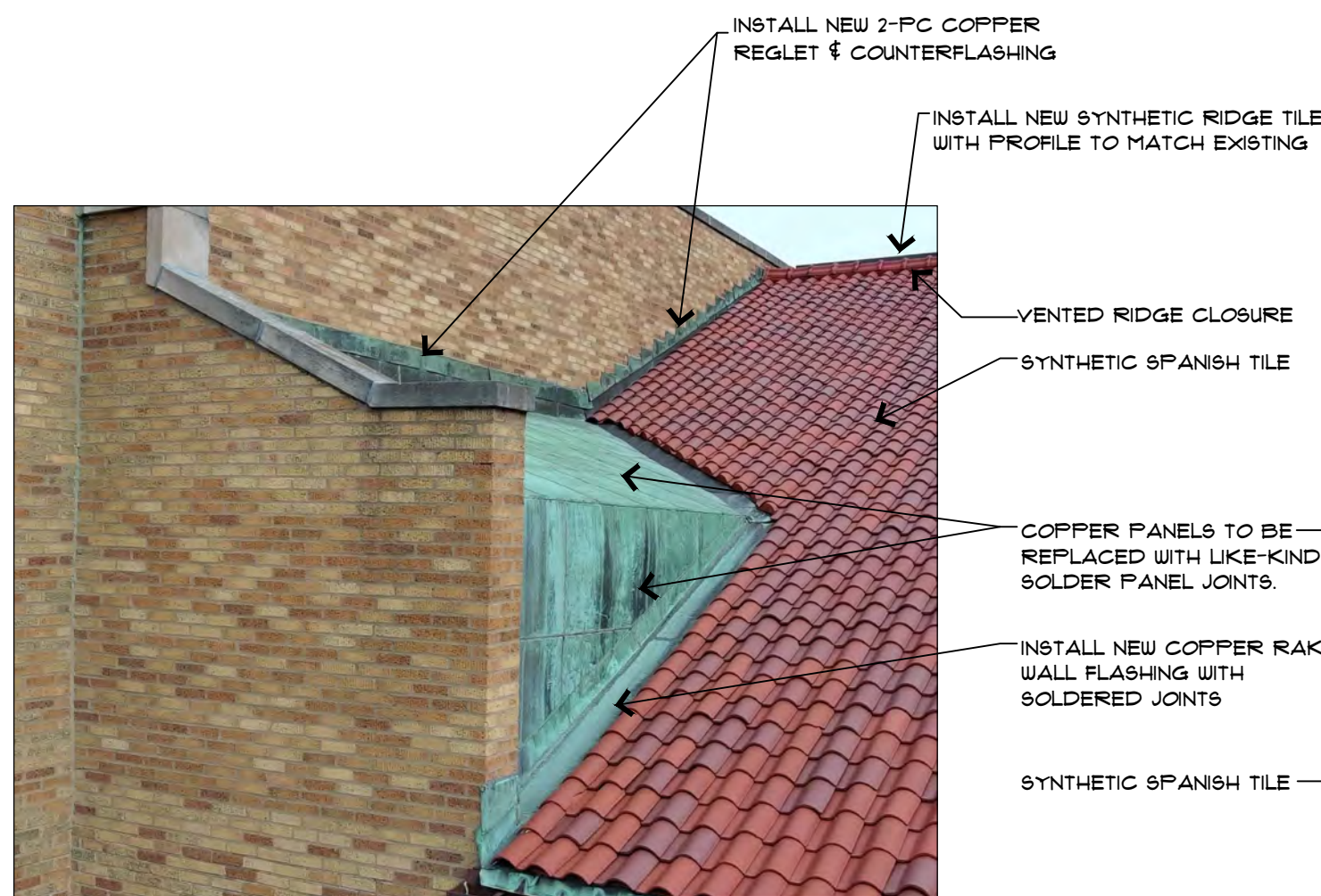
6 RISE WALL DETAIL AT COPPER PANELS  
A203 / NOT TO SCALE



7 PIPE PENETRATION DETAIL  
A203 / NOT TO SCALE



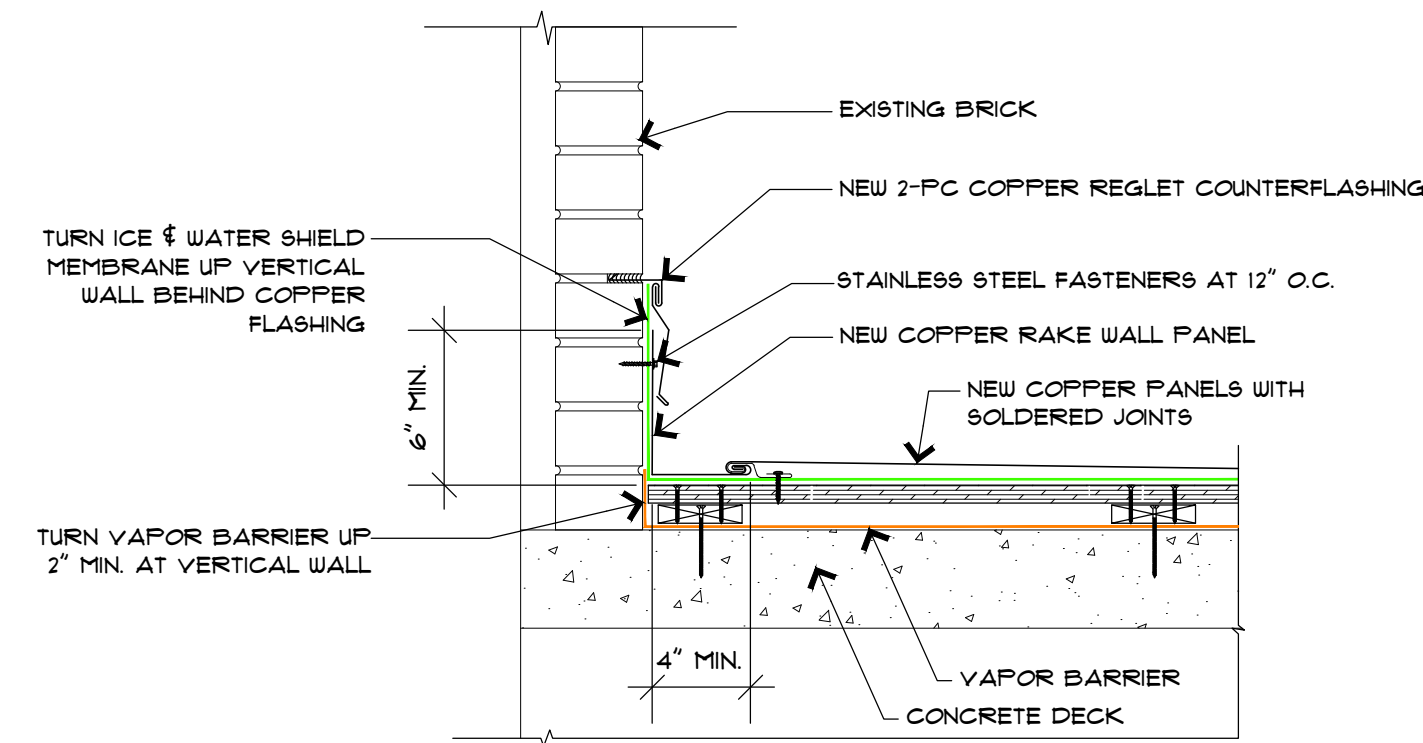
8 GUTTER JOINT  
A203 / NOT TO SCALE



9 VIEW OF COPPER PANELS  
A203 / NOT TO SCALE



10 VIEW OF COPPER PANELS  
A203 / NOT TO SCALE



11 WALL FLASHING AT COPPER PANELS  
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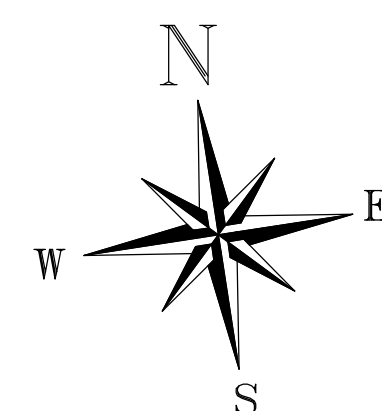
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PROJECT NUMBER  
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SHEET  
A203



- A. PROVIDE MOCK-UP OF MASONRY REPAIRS IN WORK AREA. COORDINATE WITH OWNER AND DESIGNER FOR LOCATION AND ACCESS.
- B. PROTECT SURROUNDING ELEMENTS FROM DAMAGE DUE TO RESTORATION PROCEDURES.
- C. CAREFULLY REMOVE AND STORE REMOVABLE ITEMS LOCATED IN AREAS TO BE RESTORED, INCLUDING FIXTURES, FITTINGS, FINISH HARDWARE, AND ACCESSORIES; REINSTALL UPON COMPLETION.
- D. SEPARATE AREAS TO BE PROTECTED FROM RESTORATION AREAS USING MEANS ADEQUATE TO PREVENT DAMAGE.
- E. MASK IMMEDIATELY ADJACENT SURFACES WITH MATERIAL THAT WILL WITHSTAND CLEANING AND RESTORATION PROCEDURES.
- F. CLOSE OFF ADJACENT OCCUPIED AREAS WITH DUST PROOF AND WEATHERPROOF PARTITIONS.
- G. PROTECT ROOF MEMBRANE AND FLASHINGS FROM DAMAGE WITH 1/2-INCH PLYWOOD LAID ON ROOF SURFACES OVER FULL EXTENT OF WORK AREA AND TRAFFIC ROUTE.



A301

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NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



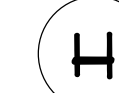
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NOT TO SCALE

- ① RE-FINISH ENTIRE WALL ELEVATION.
  - CUT OUT LOOSE OR DISINTEGRATED MORTAR IN JOINTS TO A MINIMUM 3/4-INCH DEPTH OR UNTIL SOUND MORTAR IS REACHED. UP TO 2 INCHES IN DEPTH.
  - USE POWER TOOLS ONLY AFTER TEST CUTS TO DETERMINE NO DAMAGE TO MASONRY UNITS WILL RESULT.
  - DO NOT DAMAGE MASONRY UNITS.
  - WHEN CUTTING IS COMPLETE, REMOVE DUST AND LOOSE MATERIAL WITH AIR JET.
  - PREMOISTEN JOINT AND APPLY MORTAR. PACK TIGHTLY IN MAXIMUM 1/4-INCH LAYERS. FORM A SMOOTH, COMPACT CONCAVE JOINT TO MATCH EXISTING.
  - MOST CURE FOR 12 HOURS.
- ② REMOVE ALL MATERIAL FROM LINTELS ON ALL WINDOWS AT THIS ELEVATION. SEE ELEVATION PHOTO B.
- ③ AT INSIDE CORNER - REMOVE EXISTING MATERIAL AND APPLY DOW 190 SEALANT TO VERTICAL JOINTS.
- ④ REMOVE CELL TOWER CABLES AND CABLE TRAYS FROM EXTERIOR WALL. REPAIR MASONRY FACADE.

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S4182-24

A301

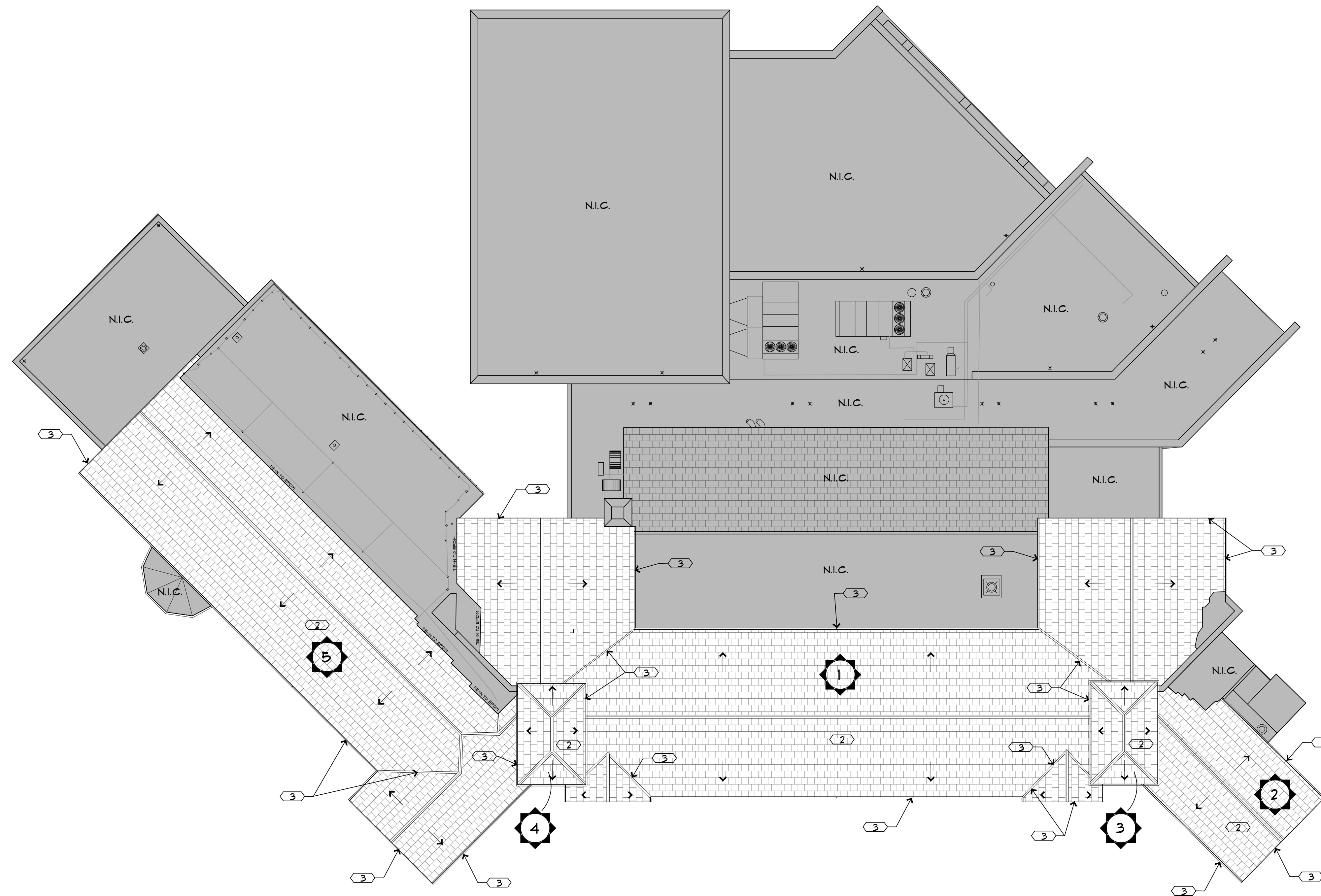


EXISTING ROOF CONSTRUCTION:

- 1 SPANISH TILES AND UNDERLAYMENT OVER PLYWOOD DECK.



















DEMOLITION ROOF NOTES:

- ① ROOF REMOVAL LIMITED TO AREAS 1, 2, 3, 4 AND 5.
- ② REMOVE EXISTING SPANISH TILE AND UNDERLAYMENT TO EXISTING PLYWOOD DECK.
- ③ REMOVE COPPER COUNTERFLASHING, GUTTER, VALLEY PANELS AND TRIM ASSOCIATED WITH THE SPANISH TILE ROOF.



# 1 ROOF DEMOLITION PLAN

# LEGEND

	ROOF DRAIN
	SCUPPER
	LADDER
	VENT STACK
	DOMED VENTILATOR
	DUCT WORK
	ABANDONED CURB/UNIT
	PITCH PAN
	FAN
	EVAPORATIVE COOLER
	ROOF ACCESS HATCH
	PIPE PENETRATION
	MECHANICAL UNIT/ HVAC
	ROUND GOOSENECK DUCTING
	SKYLIGHT
	SINGLE FAN HVAC UNIT
	STACK ON BASE
	DUAL FAN HVAC UNIT
	SATELLITE DISH
	HEATER STACK
	LOUVER VENT

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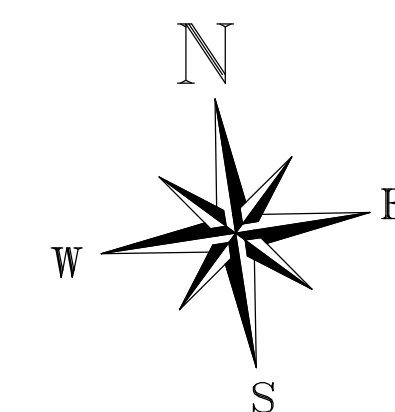
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**S4182-24**

SHEET  
**A401**



- 1 ROOF RENOVATION NOTES LIMITED TO AREAS 1, 2, 3, 4 & 5 ONLY
- 2 SWEEP AND CLEAN EXISTING ROOF DECK BEFORE ROOF INSTALLATION.
- 3 INSTALL 1X4 FRT WOOD BATTENS FASTENED TO EXISTING PLYWOOD DECK.
- 4 INSTALL 3/4" FRT PLYWOOD FASTENED TO 1X4 WOOD BATTENS.
- 5 INSTALL ICE & WATER SHIELD AT EAVES, VALLEYS AND SIDE WALLS. INSTALL SYNTHETIC MEMBRANE OVER VENTED PLYWOOD SUBSTRATE, UNDER SYNTHETIC SPANISH TILES..
- 6 INSTALL SYNTHETIC SPANISH TILES FASTENED TO PLYWOOD SUBSTRATE.
- 7 INSTALL NEW COPPER GUTTER AND DOWNSPOUTS, WITH SIZES TO MATCH EXISTING. DOWNSPOUT LOCATIONS TO MATCH EXISTING.
- 8 INSTALL NEW COPPER COUNTERFLASHING AND TRIM AT SPANISH TILE ROOF.
- 9 INSTALL SNOW GUARDS AT TILE ROOF EAVE AS SPECIFIED.
- 10 PROVIDE GUTTER EXPANSION JOINT PER SMACNA GUIDELINES.



LEGEND	
	ROOF DRAIN
	SCUPPER WITH COLLECTOR AND DOWNSPOUT
	LADDER
	VENT STACK
	DOMED VENTILATOR
	DUCT WORK
	ABANDONED CURB/UNIT
	PITCH PAN
	FAN
	EVAPORATIVE COOLER
	ROOF ACCESS HATCH
	PIPE PENETRATION
	MECHANICAL UNIT/ HVAC
	ROUND GOOSENECK DUCTING
	SKYLIGHT
	SINGLE FAN HVAC UNIT
	STACK ON BASE
	DUAL FAN HVAC UNIT
	SATELLITE DISH
	HEATER STACK
	LOUVER VENT

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A501



## 07 3100 SYNTHETIC ROOF TILES

### PART 1 GENERAL

**Summary:** The scope of work includes the complete removal of the existing Spanish Tile roof system and all allied components down to the existing concrete deck. Installation of a self-adhered vapor barrier over the existing concrete roof deck. Installation of new 1x4 furring strips followed by the installation of  $\frac{3}{4}$ " FTW plywood over the furring strips. Installation of Synthetic underlayment throughout steep slope section. Installation of Ice and water shield membrane to the existing wood deck along gutter edge, ridge and valleys. Installation of new Synthetic Tile shingles to include all accessory items such as new copper gutters, valleys, through wall scuppers, copper drip fascia, flashing around all penetrations and equipment curbs, gutter guards and an approved snow guard system.

- A. **Contractor responsible for applying chalk lines to verify the application of tiles in a uniform and acceptable manner. All wavey or inconsistent tile lines will not be acceptable. In the event the contractor is not capable of installing the tiles in a uniform manner, please reach out to the district.**

#### 1.01 SECTION INCLUDE

- A. Synthetic roof tiles of the following types:
1. Spanish tiles. (Spanish Barrel Tile)
- B. Accessories.

#### 1.02 RELATED SECTIONS

- A. Section 06 1000 - Rough Carpentry.
- B. Section 07 6000 - Flashing and Sheet Metal.

#### 1.03 REFERENCES

- A. ASTM International (ASTM):
1. ASTM D226 - Standard Specification for Asphalt-Saturated Organic Felt Used in Roofing and Waterproofing.
  2. ASTM D3161 - Standard Test Method for Wind-Resistance of Asphalt Shingles (Fan-Induced Method)
  3. ASTM E108 (UL 790) - Standard Test Methods for Fire Tests of Roof Coverings.
  4. ASTM D1970 - Standard Specification for Self-Adhering Polymer Modified Bituminous Sheet Materials Used as Steep Roofing Underlayment for Ice Dam Protection.
  5. ASTM D8257- Standard Specification for Mechanically Attached Polymeric



Roof Underlayment Used in Steep Slope Roofing.

- B. Florida Building Code Testing Application Standard (TAS): TAS 125 - Test for Uplift Resistance on Roof Assemblies.
- C. Florida Building Code Testing Application Standard (TAS): TAS 100 - Standard Test Method for Wind and Wind Driven Rain Resistance of Discontinuous Roof Systems.
- D. International Code Council (ICC): ES Acceptance Criteria AC07 Section 4.9.
- E. Miami Dade County, FL. ([www.miamidade.gov](http://www.miamidade.gov))
- F. Texas Department of Insurance. ([www.tdi.texas.gov](http://www.tdi.texas.gov))
- G. Underwriters Laboratories (UL):
  - 1. UL 790 - (Exterior Exposure), Standard Test Methods for Fire Tests of Roof Coverings.
  - 2. UL 997 - Wind Resistance of Prepared Roof Covering Materials.
  - 3. UL 2218 - Impact Resistance of Prepared Roof Covering Materials.

#### **1.04 SUBMITTALS**

- A. Product Data:
  - 1. Manufacturer's data sheets on each product to be used.
  - 2. Preparation instructions and recommendations.
  - 3. Storage and handling requirements and recommendations.
  - 4. Typical installation methods.
- B. Selection Samples: For each finished product specified, two sample roof tiles representing the manufacturer's full range of available colors and patterns.
- C. Verification Samples: For each finished product specified, two samples, representing actual product, color, and patterns.
- D. Shop Drawings: Include details of materials, construction, and finish. Include relationship with adjacent construction.

#### **1.05 QUALITY ASSURANCE**

- A. Manufacturer Qualifications: Company specializing in manufacturing products specified in this section with a minimum [5] year documented experience.
- B. Installer Qualifications: Company specializing in performing Work of this section with minimum two years' documented experience with projects of similar scope and complexity.



- C. Source Limitations: Provide each type of product from a single manufacturing source to ensure uniformity.
- D. Mock-Up: Construct a mock-up with actual materials in sufficient time for Architect's review and to not delay construction progress. Locate mock-up as acceptable to Architect and provide temporary foundations and support.
  - 1. Intent of mock-up is to demonstrate quality of workmanship and visual appearance.
  - 2. If mock-up is not acceptable, rebuild mock-up until satisfactory results are achieved.
  - 3. Retain mock-up during construction as a standard for comparison with completed work.
  - 4. Do not alter or remove mock-up until work is completed or removal is authorized.

#### **1.06 PRE-INSTALLATION CONFERENCE**

- A. Convene a conference approximately two weeks before scheduled commencement of the Work. Attendees shall include Architect, Contractor and trades involved. The agenda shall include schedule, responsibilities, critical path items and approvals.

#### **1.07 DELIVERY, STORAGE, AND HANDLING**

- A. Store and handle in strict compliance with manufacturer's written instructions and recommendations.
- B. Protect from damage due to weather, excessive temperature, and construction operations.
- C. Store and dispose of solvent-based materials, and materials used with solvent based materials, in accordance with requirements of local authorities having jurisdiction.

#### **1.08 PROJECT CONDITIONS**

- A. Maintain environmental conditions (temperature, humidity, and ventilation) within limits recommended by manufacturer for optimum results. Do not install products under environmental conditions outside manufacturer's recommended limits.

#### **1.09 WARRANTY**

- A. Manufacturer's Warranty: Provide manufacturer's standard limited warranty:
  - 1. Manufacturer's 50-year warranty for tiles against material defects that cause



leaks under normal weather and use conditions.

## **PART 2 PRODUCTS**

### **2.01 MANUFACTURERS**

A. Acceptable Manufacturer: Brava Roof Tile, which is located at: 915 E. Tyler St.; Washington, IA 52353; Tel: 844-290-4196; Fax: 319-343-1038; Email: request info (marketing@bravarooftile.com); Web: <http://www.bravarooftile.com>

B. Substitutions: Owner approved

C. Requests for substitutions will be considered.

### **2.02 PERFORMANCE REQUIREMENTS**

A. Roof system to consist of manufactured synthetic tiles attached to structural substrate to form weather tight roof envelope with no measurable water penetration.

B. Tiles shall be manufactured with variations in color and size, textured faces and edges, and sufficient thickness to provide a realistic installed appearance.

C. Method of attachments shall be designed to adequately resist wind uplift for roof configuration and project location.

D. Wind Uplift Resistance: When installed over minimum 15/32-inch-thick plywood. Tested in accordance with method TAS 125. See Code Evaluation Report for specific fire classified assemblies.

E. Hail Impact Resistance: Class 4 to withstand two drops of 2 inches (51 mm) diameter, 1.2 lbs. (0.54 kg) steel ball dropped from 20 feet (6096 mm) tested in accordance with UL 2218.

F. Freeze-thaw resistance: No crazing, cracking, delamination of coating, or other deleterious surface changes after one month exposure with temperature cycled from -40 to +180 degrees F (0 degrees to 82 degrees C) in 22 hours tested in accordance with International Code Council (ICC)- ES Acceptance Criteria AC07 Section 4.9.

G. Accelerated weathering: Little change after 2,500 hours exposure to ultraviolet (UV) radiation, elevated temperature, moisture, and thermal shock.

### **2.03 SYNTHETIC SPANISH BARREL TILES**

A. Basis of Design: Brava Roof Tile, Spanish Barrel Tile as manufactured by Brava Roof Tile.



- B. Lightweight, synthetic Spanish tiles with the appearance, texture, and thickness of concrete or clay Spanish tiles.
  - C. Material: Engineered polymer formulated from post-industrial recycled plastic.
  - D. Installed weight: At 13-inch (330 mm) exposure: 281 lbs. per 100 square feet (12.6 kg per sq m).
  - E. Profile: Barrel shape with exposed upper surface and edges to resemble concrete or clay Spanish tile.
  - F. Size:
    - 1. Length: 16.5 inches (419 mm).
    - 2. Width: 13 inches (330 mm).
  - G. Eave Starter: 3 inches (76 mm) wide by 11.75 inches (298 mm) long.
  - H. Markings: Form tiles with markings on upper surface to indicate nailing locations and provide alignment guidelines.
  - I. Finish: Specified color patterning comparable to concrete or clay Spanish tiles. Internal UV stabilizers to provide durable color stability.
- Match Spanish Tile color currently in place with closest colors provided.
- 1. Color: Terra Cotta Brown.
  - 2. Color: Vintage Terra Cotta.
  - 3. Color: Spanish Barrel (Premium Blend).

## **2.04 ACCESSORIES**

### Underlayment:

- A. Shark Skin Ultra.
- B. Eave Protection Membrane (valleys, ridge and rake edges):
  - 1. Ice and water shield, self-adhering polymer-modified asphalt sheet complying with ASTM D 1970; nominal total thickness of 40 mils; with strippable release paper and polyethylene sheet top surface.
- C. Waterproof Sheet Membrane: Cold applied, self-adhering waterproof membrane composed of polyethylene film coated one side with rubberized asphalt adhesive which meets or exceeds requirements of ASTM D1970, in accordance with



manufacturer's instructions.

1. Thickness: 40 mils (1 mm).
2. Low temperature flexibility: Unaffected at minus 32 degrees F (minus 36 degrees C).
3. Minimum tensile strength: 250 psi (1724 kPa).
4. Minimum elongation: 250 percent.
5. Permeance: 0.05 perms maximum.
6. Approved membranes include, but are not limited to:

D. Flashing: Fabricate from sheet to profiles and dimensions indicated on Drawings and approved shop drawings and in accordance with general requirements specified in Section 07 60 00 - Flashing and Sheet Metal- Flashing and Sheet Metal.

1. Material: 16-ounce copper.
2. Material: 26 gage (0.455 mm) galvanized steel.
3. Base Flashings: To be used over or under the roof coverings and are turned up on the vertical surface.
  - a. Base flashings should extend under the uppermost row of tile the full depth of the tile or at least 4 inches (102 mm) over the tile immediately below the metal. The vertical leg of the metal should be turned up a minimum of 4 inches (102 mm) and extend 4 inches (102 mm) on the tile as it is laid.
4. Linear Components: Form in longest possible lengths with 8 ft (2.5 m) as minimum.
5. Counter Flashings: Extend 4 inches (102 mm) minimum up vertical surfaces and 4 inches (102 mm) minimum under shingles.
6. Eave Flashings: Form bottom edge outward 1/4-inch (6 mm) and hem to form drip.
7. Valley Flashings: 24 inches (610 mm) minimum width and extending 10 inches (254 mm) minimum from valley center line.

E. Standard Fasteners: 3/8-inch (9.5 mm) diameter, corrosion resistant flat head ring shank roofing nails 1-3/4 inches (44 mm) long.

1. Material: Copper.

F. Standard Fasteners: No. 10 DSVT T25 screws 2 inches (51 mm) long.

1. Material: Copper.

G. High wind fasteners (90,100, 130 mph): 1/8-inch (3 mm) diameter, No. 8 x 2-inch (51 mm) screws.

1. Material: Copper.

H. High wind fasteners (90,100, 130 mph): No. 10 x 2-1/2-inch (64 mm) screws.

1. Epoxy, polymer or ceramic coated.
2. Material: Stainless steel.
3. Material: Hot-dipped galvanized.



- I. Snow Guards
  - 1. Alpine Fusion-Guard Hybrid Pad-Style Snow Guard.
  - 2. Snow Gem Half Carat™ Metal Snow Guard with Plate
  - 3. TRA Snow & Sun - Snow Bracket Brava – APEX
- J. Attachment Members:
  - 1. Material: Pressure preservative treated wood complying with AWWPA U1 Use Category UC3B, Commodity Specification A (Treatment C2) using waterborne preservative to 0.25 lb/cu ft retention.
  - 2. Nailers: Nominal 2 inch wide by 1 inch thick members, or thickness as required for specific conditions.
- K. Nails: Slater's large-headed copper ring shank nails, length not less than twice slate thickness plus 1 inch, or long enough to penetrate completely through roof sheathing.
- L. Plastic Cement: ASTM C 1311 one-part non-sag polymerized butyl sealant.
- M. Sealant: ASTM C 920 low-modulus silicone joint sealer.
- N. Copper Ridge and Hip Accessories: As indicated on drawings, same material as exposed flashings.
- O. Roof Accessories for snow guards to be installed on roofs where indicated in drawings by snow guard manufacturer.

## **PART 3 EXECUTION**

### **3.01 EXAMINATION**

- A. Do not begin installation until substrates have been properly constructed and prepared.
- B. If substrate preparation is the responsibility of another installer, notify Architect in writing of unsatisfactory preparation before proceeding.

### **3.02 PREPARATION**

- A. Clean surfaces thoroughly prior to installation.
- B. Prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions.
- C. Coordinate installation with the provision of gutters and downspouts as specified herein.
- D. Verify roof is complete, rigid, braced, and deck members are securely fastened.



Ensure proper ventilation has been provided for roof space. Do not proceed with roofing until deficiencies are addressed.

E. Verify roof deck is clean, dry, and ready to receive synthetic Spanish Barrel tiles.

### 3.03 INSTALLATION- GENERAL

- A. Install slate shingle roofing system in accordance with recommendations of shingle manufacturer and in accordance with recommendations of NRCA Steep Roofing Manual (MS104).
- B. Sheet Metal Flashing: Install flashing as indicated and as required by project conditions.
  - 1. Install flashing at all locations where tile roof intersects other roofs, walls, parapets, chimneys, ventilators, and similar projections.
  - 2. Fabricate flashings at open valleys with standing rib at center of valley, not less than 1 inch high; extend flashing not less than 12 inches onto roof deck on each side of valley.
  - 3. Attach shingles at valleys using copper wires to copper straps nailed beyond edge of flashing sheets.
  - 4. Install drip edge flashing at eaves prior to installing underlayment.
  - 5. Install drip edge flashing on downslope roof edges after installation of underlayment.
  - 6. Install metal ridge cap in accordance with NRCA details and recommendations.
- C. Underlayment:
  - 1. Ice and Water Shield Protection: Install eave protection membrane at eaves, valleys, and rake edges, extending to a line that when projected to the horizontal is not less than 24 inches inside of interior wall line.
  - 2. Installation of Synthetic Shark Skin Ultra throughout steep slope roof area. This is to extend over the ice and water shield.
- D. Wood Attachment Members:
  - 1. Nailers: Install nailers at ridge and hips, directly over underlayment. Protect with additional layer of underlayment before installing ridge and hip slates and accessories.
- E. Flashing Installation:
  - 1. Install overhanging drip edge on eaves and gable ends and metal flashings at valleys, ridges, hips, roof curbs, penetrations, and intersections with vertical surfaces in accordance with Section 07 60 00 - Flashing and Sheet Metal- Flashing and Sheet Metal.
  - 2. Weather lap joints 2 inches (52 mm) minimum and seal with sealant as specified in Section 07 91 13 - Compression Seals- Joint Fillers.
  - 3. Secure in place with clips, nails, and other fasteners.



## 3.04 TILE INSTALLATION- SPANISH BARREL

- A. Hip & Ridge Nailers: Install Hip and Ridge Nailers (required) and Rake Nailers (optional) before Field Tile Installation.
  - 1. Determine Nailer height for hips and ridges.
  - 2. Install Hip and Ridge Nailers using code approved wood or metal hip and 07 31 00-11 ridge nailers, fastened at a maximum of 24" (610 mm) o.c., holding hip nailers back 4" (102 mm) from outside corners.
- B. Eave Starter: When installing Field Tile at the eave, the two tile ribs should engage with the vertical closure section of the Eave Starter. Use the eave reference line and Field Tile line to keep the first course of tile even and straight.
- C. Field Tile: Install the first Field Tile courses from right to left **using chalk lines** to maintain straight courses. Ribs underneath the Field Tile should engage with the vertical closure section of the Eave Starter.
  - 1. Dry fit the next Field Tile on the next Eave Starter and position the pair, fitting it with the previously installed Field Tile/Eave Starter pair and the chalk lines.
  - 2. Mark the location and Fasten the Eave Starter.
  - 3. Install the Field Tile with an offset seam.
  - 4. Repeat process of installing each Eave Starter/Field Tile pair.
  - 5. Optional installation of battens should be a weather-resistant material meeting application and code requirements.
- D. Exposure: Maximum 13 inches (330 mm). Minimum 4 inches (102 mm).
- E. Fastening: Attach each tile to wood deck with 2 approved fasteners.
  - 1. Place fasteners at locations indicated on tiles.
  - 2. Use approved nails for the tile type being installed.
  - 3. Ensure full penetration but do not overdrive nails.
  - 4. Do not nail at an angle.
  - 5. Ensure that nail head is flush with shingle surface.
  - 6. At valleys do not nail shingles within 5 inches (127 mm) of valley center line.
- F. Cutting: Layout work to avoid cutting shingles.
  - 1. If cutting is required, cut tiles and accessories at valleys, rakes, and other details, make straight even cuts. When possible, place the factory edge to the outside.
- G. Valleys: Install full 36-inch (914 mm) sheet of self-adhered waterproof sheet membrane in valleys. Flashing should extend 11 inches (279 mm) in each direction from the valley centerline for slopes 4:12 or greater and 14 inches (355 mm) in each direction for slopes less than 4:12
  - 1. Open Valley: For Open Valleys, use a "Double W" Style flashing with



minimum 2 1/2-inch (63 mm) crimps.

2. Closed Valley: For Closed Valleys, use a “W” style flashing with a minimum 2 1/2-inch (63 mm) center crimp.
3. Cut Tiles before they are installed, dry fitting and marking to for an even line Up the valley. Install Field Tile along the crimps leaving a minimum 3/16-inch (4.7 mm) gap between the tiles and crimp(s) for expansion.
4. At valleys do not fasten tiles within 5 inches (127 mm) of valley center line.

## H. Hip & Ridge:

1. Trim Field Tiles, leaving a 3/16-inch (4.7 mm) gap at the hip and ridge nailers for expansion and contraction.
2. Install a UV-resistant flashing over the hip nailers and any unvented ridge nailers. Flashing should extend at least 3-inches (76 mm) over the tile in each direction and conform to the tiles.
3. At intersections, ensure a minimum lap of 4-inch (102 mm) of vented and unvented flashing or comply with the flashing manufacturer's guidance.
4. Install the Bullnose and Hip & Rake up the hip using corrosion-resistant Fasteners at the locators. Match the exposure of the Field Tile with a maximum exposure of 13 inches (330 mm).
5. Install Ridge Closures by placing fasteners 1 1/4 inches (32 mm) from the top edge into the high side of the barrel. Avoid exposed fasteners.
6. Miter/Trim Hip & Rake and Top Ridge at joints and intersections. Seal with f lashing at the joint and paint to match if desired.
7. Begin Ridges with a Bullnose or Top Ridge trimmed for the desired fit and appearance.
8. Install Bullnose and Top Ridge using corrosion-resistant fasteners at the locators. Match the exposure of the Field Tile and Hip & Rake with a maximum exposure of 13-inch (330 mm).

## I. Rake:

1. Dry Fit and Mark Hip & Rake. Measure the overhang and mark the distance from the top of the Hip & Rake piece.
2. Cut the first Hip & Rake. Ensure the factory edge is flush with the visible face of the first course of Field Tile. Alternative installation methods include use optional Rake Edge.
3. Fasten with two fasteners, one in the fascia board and one in the nailer (or roof deck).
4. Install Full Hip & Rake Pieces. Proceed up the remaining rake using fasteners and sealant.
5. Ridges and Transitions. Miter the Hip & Rake, Top Ridge, and Bullnose at ridges and transitions to complete the installation.

## 3.05 FIELD QUALITY CONTROL

A. Field Inspection: Coordinate field inspection in accordance with appropriate sections



in Division 01.

- B. Inspect tiles as they are installed. Do not install cracked, broken, twisted, curled, or otherwise, damaged tiles.
- C. As work progresses, exercise care not to scratch or mark installed tiles. Tiles damaged during installation shall be immediately removed and discarded.
- D. After approximately 200 square feet of tiles have been installed, inspect roof from ground. Verify proper layout and appearance. Repeat inspection throughout installation.
- E. Visually inspect complete installation to ensure that it is weather tight.

### **3.06 CLEANING AND PROTECTION**

- A. Clean products in accordance with the manufacturer's recommendations.
- B. Protect installed products until completion of the project.
- C. Color match accessories for aesthetic purposes if desired.
- D. Touch-up, repair or replace damaged products before Substantial Completion.

### **END OF SECTION**





Beautifully Authentic High-Performance Roofing

# Spanish Barrel Tile







Autumn



# Build With BRAVA

Whether you're taking your first steps, navigating mountain trails, walking beach side under blue skies, or sharing laughs around a campfire, life's core memories bring us back to one place: home.

Make it a home *Built with BRAVA.*





# Inspiring Beauty

## Every BRAVA Roof Tile Is A Choice Tile.

Extraordinary color, superior mineral pigment throughout, variegation within each tile and super fine detail create an unparalleled natural terracotta look.

## Compression Molded

Compression molding makes our tiles stronger and more detailed.

## Thicker, More Material

The gauge of BRAVA material is thicker and provides more headlap than comparable synthetic roofing products. The finished roof is more durable and dimensional.

## Sustainable

We turn plastic destined for the landfill into a beautiful and durable roof made of recycled material that itself is fully recyclable.



# Color For Life



**Chemical or dye-based colorants get broken down by the sun over time** and they degrade as you see in old comic books or photographs.

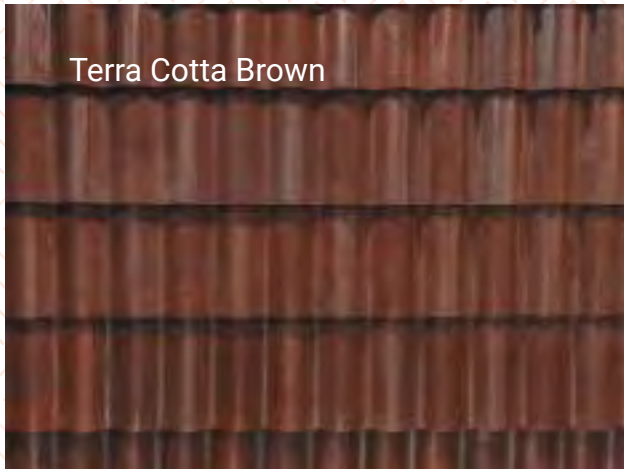


**Pure mineral pigments keep a 3,000 year old wall colorful** and paintings that are hundreds of years old remain bright.

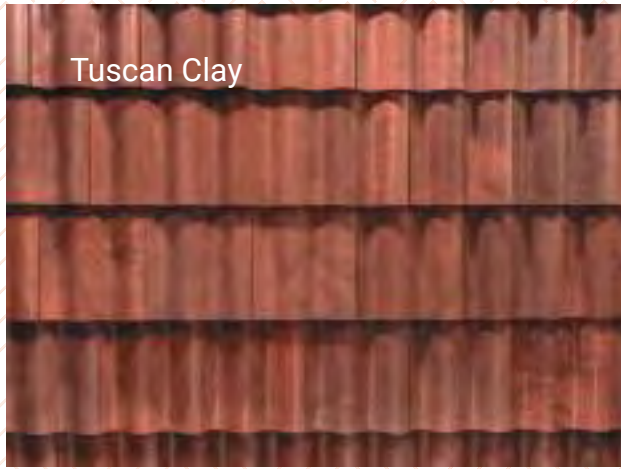


**BRAVA tiles are made with pure mineral pigments found in nature** – colorants that can last for centuries.





Terra Cotta Brown



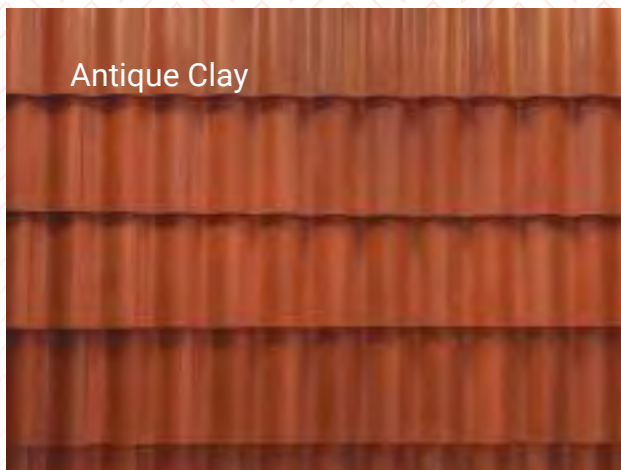
Tuscan Clay



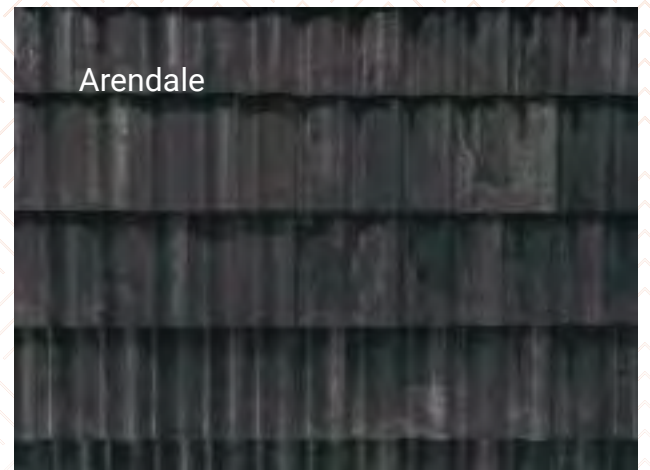
Vintage Terra Cotta



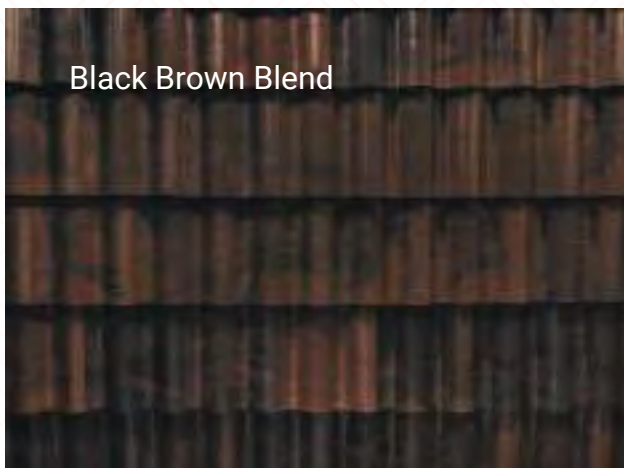
Aged Mission



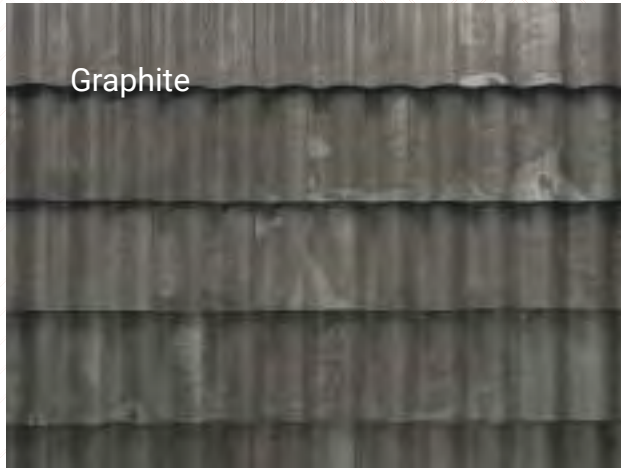
Antique Clay



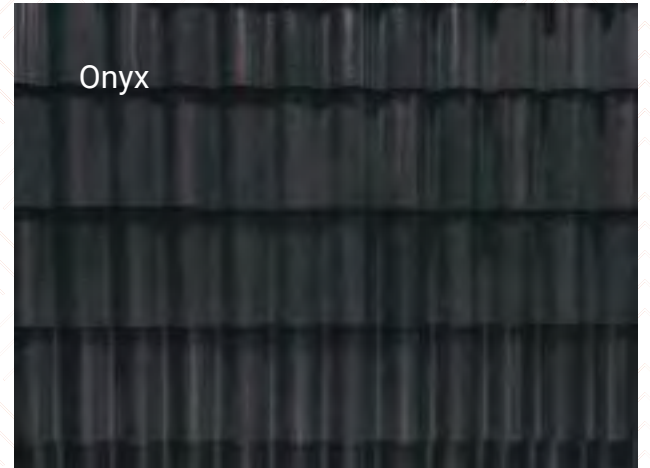
Arendale



Black Brown Blend

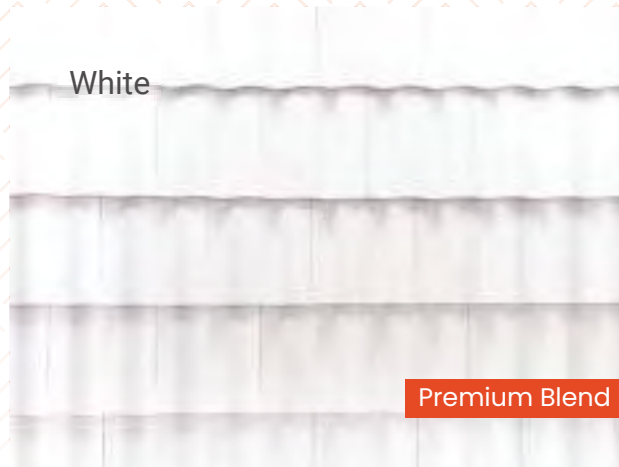


Graphite



Onyx





# Mother Nature Inspired Hues

**Standard** color line of natural color blends gives an authentic look of natural terracotta tile.

**Premium** striking color blends complimenting homes that strive for a luxurious look and feel.

**Cool Roof Colors** (Title 24 compliant) are perfect for any home looking for the benefits of increased energy efficiency.



**VIDEO:** See how color changes throughout the day and access high resolution photos. **Scan QR Code.**





## Brutally Tough

BRAVA materials won't suffer damage during transport, installation, or even the friend who always slices on the fairway.







Pine Green





Antique Clay





## Lasting Color

Revolutionary fade-resistant technology ensures your roof will look stunning year after year.





## Lightweight

BRAVA materials are lightweight enough to be installed on homes without any structural reinforcement.





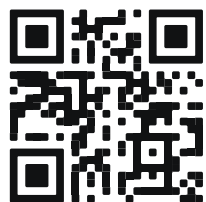


Arendale





## Blessed Stanley Rother Shrine



**VIDEO:** See the full story of this historical project - scan QR Code.

Antigua  
(custom color)





Trusted By

# Historical & Landmark Buildings

What we do is more than protecting  
homes. We set out to impact and  
inspire our communities.











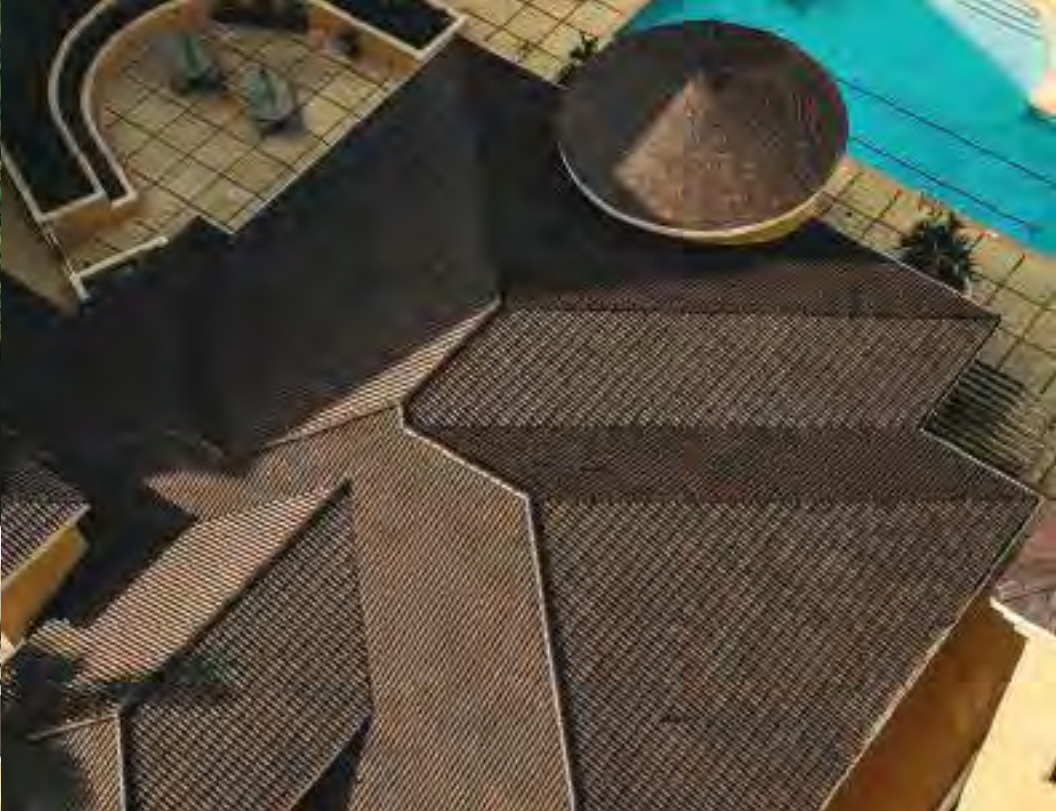
Graphite





Black Brown Blend









## Sustainable

We turn plastic destined for the landfill into a beautiful and durable roof made of recycled material that itself is fully recyclable.



An aerial photograph of a residential community. The houses have prominent red-tiled roofs and are surrounded by lush greenery, including palm trees and a golf course. A winding road and a small pond are also visible. The ocean is in the background.

## **Trusted by Homeowner's Associations**

When a community is developed, architecture and design are critical for success. Creating a cohesive and beautiful-looking community is easy with BRAVA roofing.

Tuscan Clay



# Industry Leading Protection



## Limited Lifetime Warranty

BRAVA offers a Limited Lifetime Warranty with a coverage period of 50-years making it one of the strongest warranties in the industry.



## Fortified Roof Program

Save money with grants and insurance policy discounts with FORTIFIED Roof™. See our website for program requirements and benefits **before** you start your project.



## Wildland Urban Interface

Some areas require compliance with the WUI code. BRAVA is a Class A fire rated roofing system and our products are WUI approved and reduce risk of wildfire spread.



# Installed by Factory-Trained Roofing Contractors

When you use a  
**BRAVA Preferred Contractor**  
you will be dealing with a  
qualified, dependable and  
professional contractor.

**Superior** workmanship.

Adequately **insured**.

**Passed** background check.

**Trained** by factory.

Consistently shows **ethical**  
contracting practices in their area.

Committed to **ongoing training**.



BRAVA trains hundreds of installers each year.



# An Integrated System to Keep You Safe & Dry

## Spanish Barrel Tile Roof System



### Field Tile

Install at all roof sections.  
9.7 Bundles per Square

### Nailer

**Bullnose**  
5 Pieces  
per Bundle

### Hip & Rake



5.4 linear feet per bundle

### Flexible Flashing (Vented)

Installed over nailer and covered  
by Ridge Closure and Top Ridge.

### Ridge Closure

Installed at ridge and  
covers fasteners.  
9.6 linear feet per bundle

### Top Ridge

Installed at ridge and  
covers Ridge Closure.  
5.6 linear feet per bundle

### Hip & Rake

5.6 linear feet per bundle

### Flexible Flashing (Non-Vented)

Install above nailer, below Hip Cap.

### Nailer

Required at hip and ridge.  
Install nailer 4" from eave.  
Recommended at rake.\*

Ice & Water Shield

### Ice & Water Shield

Recommended at eaves and valleys.

### Nailer

### Headwall Closure

(Same piece as Ridge Closure)  
Install to cover fasteners.  
9.6 linear feet per bundle

### Underlayment

Synthetic recommended.

### Eave Starter

Install at eaves.  
9.6 linear feet per bundle

**Note:** Images not to scale.

\*Refer to nailer height chart for correct dimensions.



# BRAVA Spanish Roof Tile



Beautiful appearance  
that fits your home.



No maintenance  
costs.



50-year transferable  
warranty.



Class A fire rating.



Highest resistance  
rating against hail and  
storm damage.



Lightweight and strong.  
Does not require any  
structural changes.



Beautiful appearance  
that fits your home.



Must be inspected and  
repaired annually for  
cracked or slipped tiles,  
spalling, and fastener  
failures.



Natural slate is  
brittle and must  
be monitored and  
replaced by a  
specialist.



Class A fire rating.



More susceptible  
to hail and storm  
damage.



Heavyweight requires  
additional structural  
reinforcement.

# Traditional Clay Tile



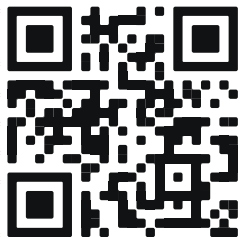




# Build With Authenticity

We work hard every day to be the premier synthetic tile manufacturer in the United States. We're driven by creativity, customer satisfaction, and a commitment to a cleaner planet.

Our tiles support homes and spaces filled with memories, reflect the lives of our customers and are a promise to leave the world better than we found it.



**VIDEO: Tour our plant,**  
meet our people and see how  
BRAVA products are made -  
**scan this QR code!**



Antique Clay









## Brava Spanish Barrel Tile



Brava Spanish Barrel Tile Black Brown Blend



Brava Spanish Barrel Tile French Clay



Brava Spanish Barrel Tile Mediterranean



Brava Spanish Terra Cotta

# Beautifully authentic high-performance roofing.

The beautiful look of a Spanish barrel tile roof without the maintenance.

#### Truly realistic

Our proprietary process creates the most authentic-looking Spanish barrel tile on the market.

#### Superior performance

Brava is designed to withstand even the most severe weather, boasting the highest hail resistance rating in the industry.

#### Enhanced curb appeal

Curb appeal directly correlates with owner satisfaction and higher property value.

#### Maintenance free

Brava's proprietary formulation ensures extreme durability.

#### Color technology

Brava's proprietary multi-coloring process means you get the authentic appearance of a natural product, complete with variegated colors throughout the entire product.

#### Fully sustainable

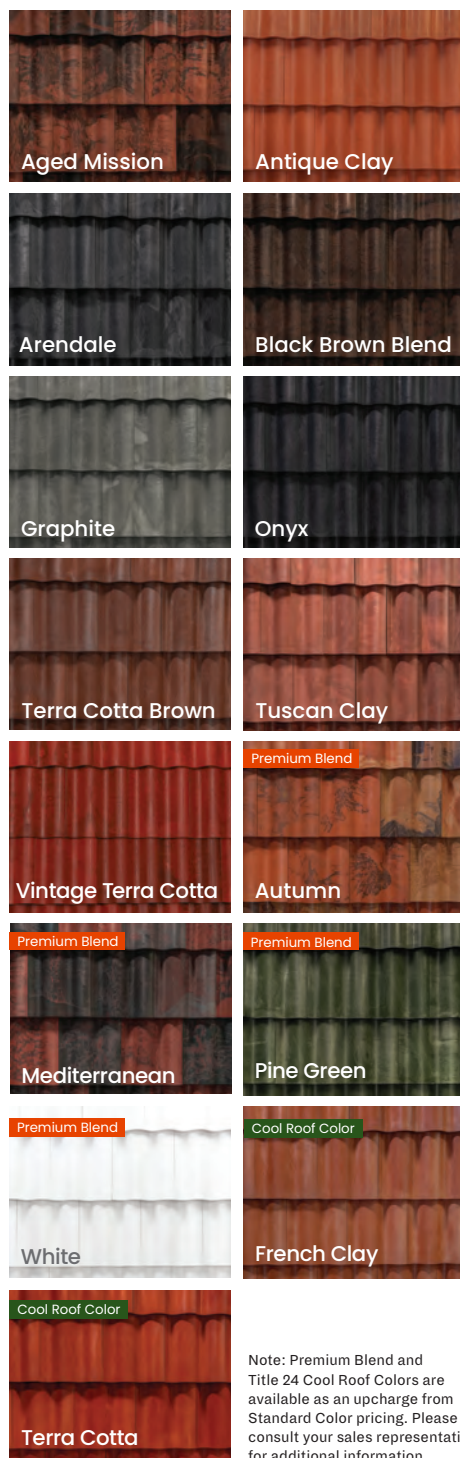
Brava uses recycled material to create a roof that is fully recyclable.

#### Complete

Brava offers a complete line of accessory tiles.



# Unparalleled Performance



Note: Premium Blend and Title 24 Cool Roof Colors are available as an upcharge from Standard Color pricing. Please consult your sales representative for additional information.

Description	Weight	Dimensions
Spanish Field Tile	2.9 lbs.	13" x 16 1/2"
Eave Starter	0.6 lbs.	11 3/4" x 3"
Ridge Closure	0.5 lbs.	11 3/4" x 2 1/2"
Hip & Rake	3.5 lbs.	8 1/4" x 9" x 17 1/2"
Top Ridge	4.2 lbs.	10" x 10 3/8" x 17"
Bullnose	3.9 lbs.	7 3/4" x 8 3/4" x 17 1/2"
Rake Edge (Optional)	3.0 lbs.	5 1/2" x 6 1/2" x 16"

Weight Per Square 281 lbs./sq.

Aesthetics	Brava Spanish Barrel Tile	Clay / Concrete Spanish Tile
Authentic Look	✓	✓
Multi-Colored Variegated	✓	✗

Performance	Brava Spanish Barrel Tile	Clay / Concrete Spanish Tile
Fire Retardant: Class A or Class C	✓	✓
Wind Resistance: 188+ mph*	✓	✗
Impact Resistance: Class 4	✓	Varies by manufacturer
Freeze/Thaw Resistant	✓	✗
Maintenance Free	✓	Requires repair throughout life cycle
Colorfast	✓	Varies; concrete may develop efflorescence (powdery appearance)
Hail Warrantied	✓	Varies by manufacturer

Installation	Brava Spanish Barrel Tile	Clay / Concrete Spanish Tile
Lightweight	✓	✗
Estimated Waste Factor	Low	High; tiles with hairline cracks or broken during install will be discarded
Gun Nailed in Cold Weather	✓	✗



\*Brava tiles are tested and approved to withstand wind speeds of up to 188 mph with nails and up to 211 mph with high wind / screw installation.

Tolerances +or- 1/2". All specifications subject to change without notice.

The printed colors shown may vary from actual colors. Before making a final selection, be sure to review actual material samples and roof installations. Please contact your salesperson for further assistance.

In order to achieve certain fire and wind ratings, special installation instructions may be required. Please reference Brava Roof Tile installation manuals at [www.BravaRoofTile.com](http://www.BravaRoofTile.com) for more details.

[bravarooftile.com](http://bravarooftile.com) • (844) 290-4196 • [info@bravarooftile.com](mailto:info@bravarooftile.com)