

RESOLUTION 2025-05

WHEREAS, Section 400.850 of the University City Zoning Code requires that a preliminary development plan be approved by the City Council by adoption of a resolution approving said preliminary development plan, with conditions as may be specified and authorizing the preparation of the final development plan. Section 400.760 of the Zoning Code requires that the permitted land uses and developments shall be established in the conditions of the ordinance adopted by the City Council governing the particular Planned Development-Commercial District (PD-C).

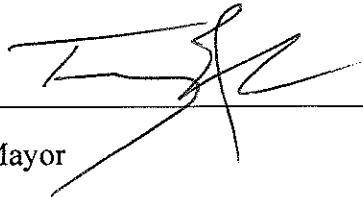
NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF UNIVERSITY CITY, MISSOURI, AS FOLLOWS:

The City Council hereby authorizes the preparation of the final development plan for a development on Adjusted Lots 2 and 3 of Market at Olive Plat 7. The development shall be developed with the following conditions:

1. The building and property shall be developed, constructed and maintained in compliance with the Site Development Plan dated February 24, 2025, attached hereto and made a part hereof. The footprint and general layout, and the height and mass, shall be as shown in the Site Development Plan.
2. The land uses and developments shall comply with the Zoning Map amendment for the development site, Ordinance No. 7379, simultaneously approved. Permitted land uses and developments shall include restaurants; restaurants, fast-food; restaurants with drive-through facilities; retail stores; retail service establishments; offices; offices, medical and dental.
3. Accessible pedestrian walkways shall be provided from the public sidewalk to each building.
4. Off-street parking and loading requirements shall be provided as required by Chapter 400, Article VII (Off-Street Parking and Loading Requirements) of the University City Municipal Code.
5. A detailed construction traffic control and parking plan should be submitted to the Director of Planning and Development for approval. The plan shall set forth details pertaining to worker parking during all phases of the proposed construction. It shall further detail solutions to public property maintenance issues such as street cleaning and traffic diversion. Said plan shall be finalized prior to the issuance of a building permit. It shall be the applicant's responsibility to obtain those approvals in written form in a timely manner prior to issuance of a building permit.
6. Bicycle racks shall be provided in accordance with Zoning Code Section 400.2145 (Off-Street Bicycle Parking Requirements).

7. A final landscape plan shall be submitted to and approved by the Department of Planning and Development prior to issuance of a building permit.
8. Approval of the Preliminary Development Plan shall be valid for a period of two years from the date of City Council approval. A final development plan shall be submitted within the said two-year period per Zoning Code Sections 400.860 and 400.870.

PASSED and ADOPTED this 12th day of May, 2025

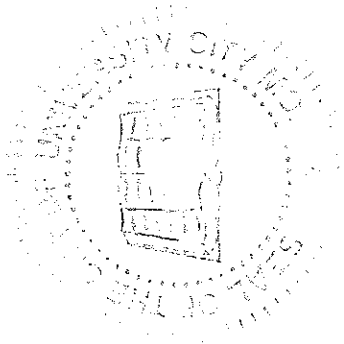


Mayor

ATTEST



City Clerk





SCALE: 3/8" = 1'-0"

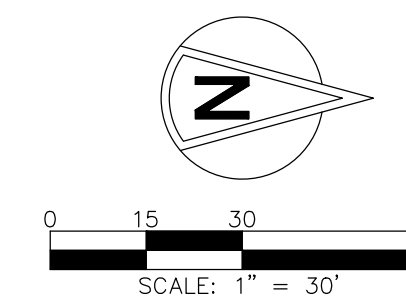
CASCO DIVERSIFIED CORPORATION
12 Sunnen Drive, Suite 100, St. Louis, MO 63143 T: 314-821-1100

A100

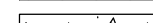
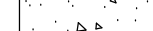
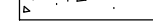
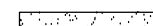
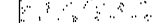
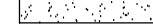
	Previous		Impervious	
	Total Area (sf)	Total Area (ac)	Total Area (sf)	Total Area (ac)
Lot 1	235,320	5.40	82,201	1.89
Lot 2 (Future Development)	45,260	1.04	18,819	0.27
Lot 3 (Future Development)	24,625	0.57	15,119	0.35
			33,441	0.77
			19,993	0.46
Total Lot Area	305,205	7.01	98,652	2.26
			206,553	4.74

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Site Coverage/Impervious Area includes buildings, driveways, parking lots, and loading areas.



PAVEMENT LEGEND

PROPOSED ASPHALT PAVEMENT	
PROPOSED CONCRETE PAVEMENT	
PROPOSED CONCRETE SIDEWALK	
ASPHALT/CONCRETE PAVEMENT OPTION	
EXISTING ASPHALT PAVEMENT	
EXISTING CONCRETE PAVEMENT	
EXISTING CONCRETE SIDEWALK	

CUMULATIVE PARKING CALCULATIONS

BUILDING USAGE:

BUILDING J - 75,934± SF TOTAL
50,082± SF - RETAIL
1 SPACE PER 250 SF
25,852± SF - STORAGE
1 SPACE PER 1,000 SF

BUILDING L - 3,437± SF TOTAL
3,437± SF - BUSINESS/DENTAL
1 SPACE PER 200 SF

BUILDING M - 4,891± SF TOTAL
2,308± SF - BUSINESS
1 SPACE PER 200 SF
2,583± SF - RESTAURANT
1 SPACE PER 75 SF

MUNICIPALITY REQUIRED PARKING:

BUILDING J - 75,934± SF TOTAL
 (50,082± SF / 250 SF) = 200.33 = 200
 (25,852± SF / 1,000 SF) = 25.85 = 26
 = 226 TOTAL SPACES REQUIRED

BUILDING L - 3,437± SF TOTAL
 $(3,437\pm \text{ SF} / 200 \text{ SF}) = 17.19 = 17$
 = 17 TOTAL SPACES REQUIRED

BUILDING M - 4,891± SF TOTAL
 (2,308 SF / 200 SF) = 11.54 = 12
 (2,583± SF / 75 SF) = 34.44 = 34
 = 46 TOTAL SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED
226 SPACES REQUIRED
+ 17 SPACES REQUIRED
+ 46 SPACES REQUIRED
= 289 TOTAL SPACES REQUIRED

TOTAL PARKING PROVIDED:

286 STANDARD SPACES
+ 11 ACCESSIBLE SPACES
= 297 TOTAL SPACES PROVIDED

+ 8 CART CORRALS = 305 CUMULATIVE SPACES

ACCESSIBLE PARKING ANALYSIS:

301-400 PROPOSED PARKING SPACES REQUIRE 8 ACCESSIBLE PARKING SPACES

8 ACCESSIBLE SPACES REQUIRED
11 ACCESSIBLE SPACES PROVIDED

SHEET INDEX

C1.0 - FULL DEVELOPMENT - PRELIMINARY SITE PLAN

C2.0 - PRELIMINARY SITE PLAN

C3.0 - PRELIMINARY GRADING PLAN

EXISTING CONDITIONS NOTE

THE EXISTING TOPOGRAPHIC DATA, UTILITY LOCATIONS AND ELEVATIONS, AND ALL OTHER EXISTING SITE FEATURES SHOWN IN THIS PLAN SET ARE BASED ON THE AUTOCAD FILE PROVIDED BY GRIMES CONSULTING, INC. RECEIVED OCTOBER 21, 2022 & AS-BUILT DRAWINGS OF THE EXISTING RETAINING WALL.



CALL BEFORE YOU
DIG - DRILL - BLAST
1-800-344-7483
MISSOURI ONE-CALL SYSTEM, INC.

25MSD-00012 | MSD Basemap: 25K/25L
Existing Condition: 22MSD-00015

DIERBERGS MARKETS - UNIVERSITY CITY
BUILDING L & BUILDING M
MARKET AT OLIVE
UNIVERSITY CITY, MO 63132



CONSTR. DOC. & REVISIONS		
No.	Description	Date
-	Preliminary Development Plan	02-24-25

CASCO DIVERSIFIED CORPORATION
 CERTIFICATE OF AUTHORITY - ENGINEERING
 License No. #000613 Expiration Date: 12/31/25

NOT FOR CONSTRUCTION
FOR PLANNING PURPOSES ONLY

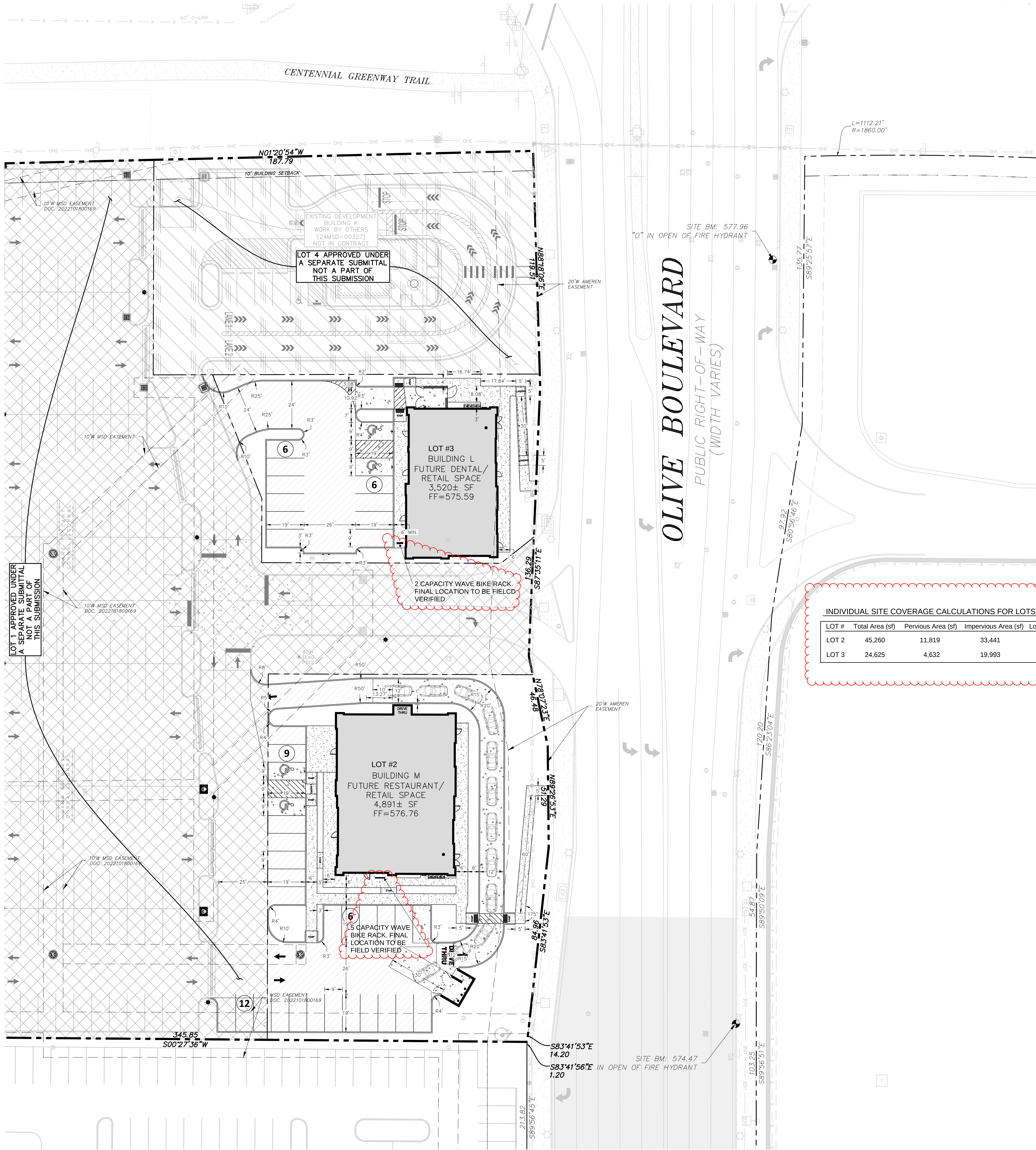
02-24-25
PROFESSIONAL OF RECORD
Sarah B. Fonda
License NO. PE-2021001024
Expiration Date: 12/31/25

Drawn By/Checked By:	MEB/SBI
Project Number	240457
MSD Permit Date	-- --
Permit Date	-- --
Bid Date	-- --

FULL
DEVELOPMENT -
PRELIMINARY SITE
PLAN

C1.0

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PAVEMENT LEGEND	
PROPOSED ASPHALT PAVEMENT	
PROPOSED CONCRETE PAVEMENT	
PROPOSED CONCRETE SIDEWALK	
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CUMULATIVE PARKING CALCULATIONS	
BUILDING USAGE:	
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301-400 PROPOSED PARKING SPACES REQUIRE 8 ACCESSIBLE PARKING SPACES	
8 ACCESSIBLE SPACES REQUIRED	
11 ACCESSIBLE SPACES PROVIDED	

INDIVIDUAL SITE COVERAGE CALCULATIONS FOR LOTS 2 AND 3				
LOT #	Total Area (sf)	Pervious Area (sf)	Impervious Area (sf)	Lot Coverage %
LOT 2	45,260	11,819	33,441	73.88%
LOT 3	24,625	4,632	19,993	81.18%

KEYNOTE LEGEND		
Keynote	Description	Detail Reference
1C	80' Flag Pole	Detail 8 / C5.4
1D	Heavy Duty Concrete Pavement	Detail 1 / C5.0
1F	Heavy Duty Asphalt Pavement	Detail 2 / C5.0
1H	Concrete Sidewalk	Detail 3 and Detail 4 / C5.0
1I	Barrier Curb	Detail 7 / C5.0
1J	Extended Barrier Curb	Detail 8 / C5.0
1N	Guard Rail – Black Powder Coated	Detail 5 / C5.0
1Q	Concrete Flume with Rock	Detail 6 / C5.2
1R	Trench Drain	Detail 1 / C5.3
1S	Fire Hydrant	C5.4 Water Details
1X	Existing Retaining Wall w/ Fence	
1U	Building Downspout	Detail 5 / C5.2 & Detail 12 / C5.4
2A	Planter	Detail 6 / C5.3
2B	Trash Compactor	
2C	Trash Enclosure	
2D	Smoker	
2E	Grease Trap	Detail 2 / C5.2
2G	Standard Ballard	Detail 5 / C5.4
2H	4" Dashed Yellow Stripe	Thermoplastic (typ)
2I	4" Solid Yellow Stripe	Thermoplastic (typ)
2K	24" Solid White Stop Line	Thermoplastic (typ)
2P	Stairs	
2R	Stop Sign	

EXISTING CONDITIONS NOTE

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DIERBERGS MARKETS - UNIVERSITY CITY
BUILDING L & BUILDING M
MARKET AT OLIVE
UNIVERSITY CITY, MO 63132



CONSTR. DOC. & REVISIONS	
No.	Description
1	Preliminary Development Plan

CASCO DIVERSIFIED CORPORATION
CERTIFICATE OF AUTHORITY - ENGINEERING
License No. 0000013 Expiration Date: 12/31/25

NOT FOR CONSTRUCTION
FOR PLANNING PURPOSES ONLY

02-24-25
PROFESSIONAL OF RECORD
Sarah B. Fonda
License No. PE-2021001034
Expiration Date: 12/31/25

Drawn By/Checked By: MEB/SBF
Project Number 2404573
MSD Permit Date --- --
Permit Date --- --
Bid Date --- --

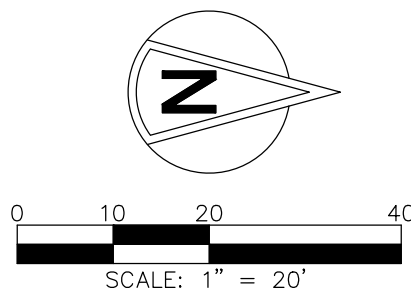
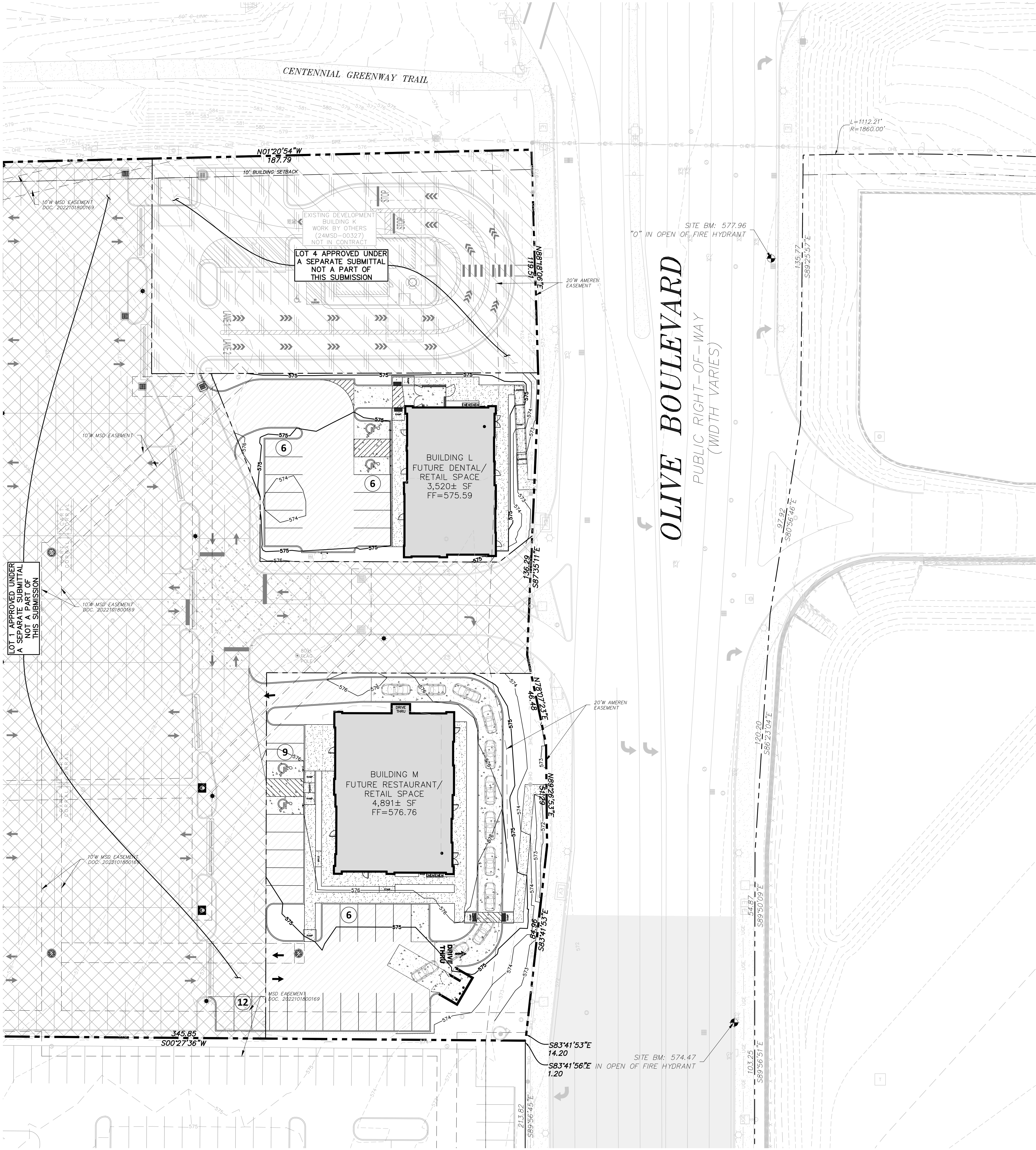
PRELIMINARY SITE
PLAN - BUILDING L &
BUILDING M



CALL BEFORE YOU
DIG - DRILL - BLAST
1-800-344-7483
MISSOURI ONE-CALL SYSTEM, INC.

C2.1

25MSD-00012 | MSD Basemap: 25K/25L
Existing Condition: 22MSD-00015



DIERBERGS MARKETS - UNIVERSITY CITY
BUILDING L & BUILDING M
MARKET AT OLIVE
UNIVERSITY CITY, MO 63132



CONSTR. DOC. & REVISIONS		
No.	Description	Date
-	Preliminary Development Plan	02-24-25

CASCO DIVERSIFIED CORPORATION
CERTIFICATE OF AUTHORITY - ENGINEERING
License No. 0000013 Expiration Date: 12/31/25

NOT FOR CONSTRUCTION
FOR PLANNING PURPOSES ONLY

02-24-25
PROFESSIONAL OF RECORD
Sarah B. Fonda
License No. PE-2021001024
Expiration Date: 12/31/25

Drawn By/Checked By: MEB/SBF
Project Number 2404573
MSD Permit Date --- --
Permit Date --- --
Bid Date --- --

**PRELIMINARY
GRADING PLAN**

EXISTING CONDITIONS NOTE

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CALL BEFORE YOU
DIG - DRILL - BLAST
1-800-344-7483
MISSOURI ONE-CALL SYSTEM, INC.

C3.0

25MSD-00012 | MSD Basemap: 25K/25L
Existing Condition: 22MSD-00015

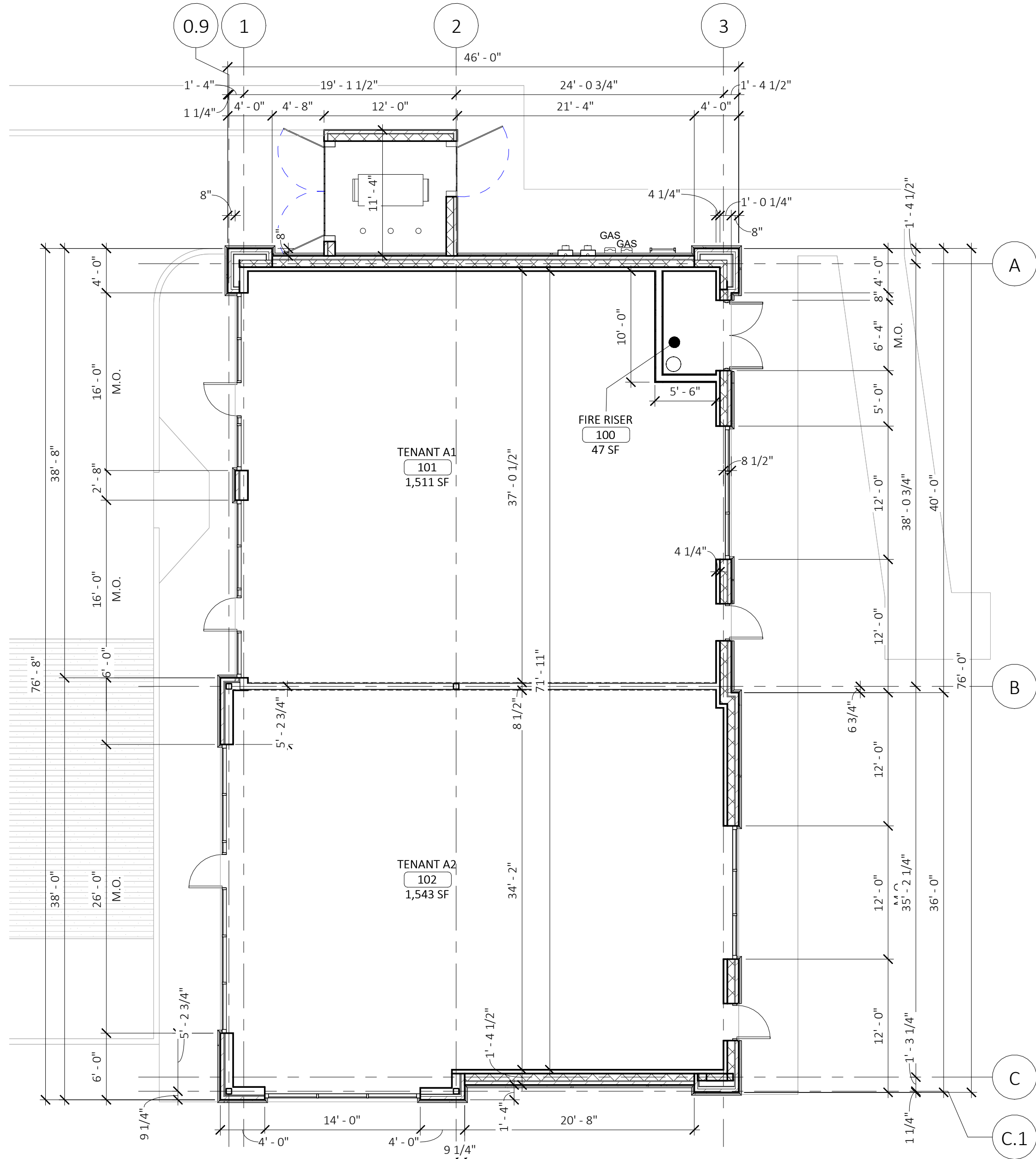


ENLARGED
PLANS -
BUILDING M

A102



1
A101
ENLARGED SITE PLAN - BUILDING L
SCALE: NOT TO SCALE



2
A101
FLOOR PLAN - BUILDING L
SCALE: 1/8" = 1'-0"

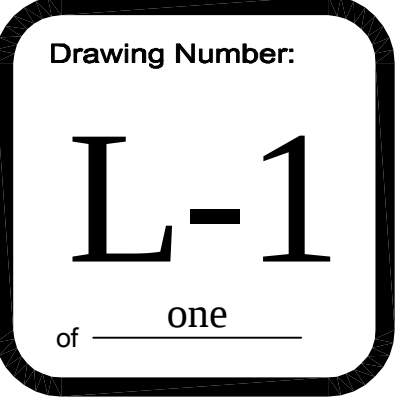
DIERBERGS MARKETS - UNIVERSITY CITY
OUTLOT L
MARKET AT OLIVE
UNIVERSITY CITY, MO 63132

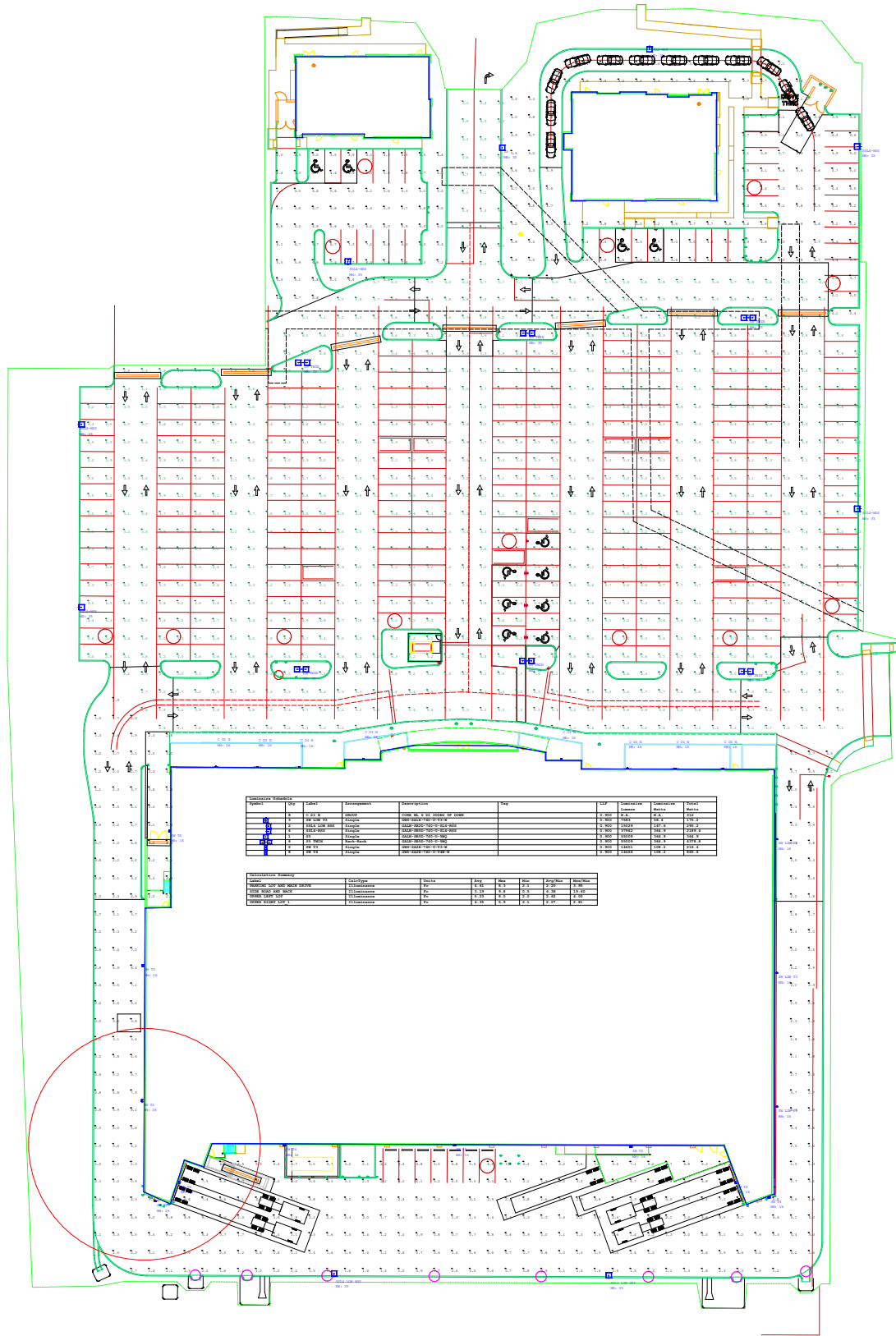


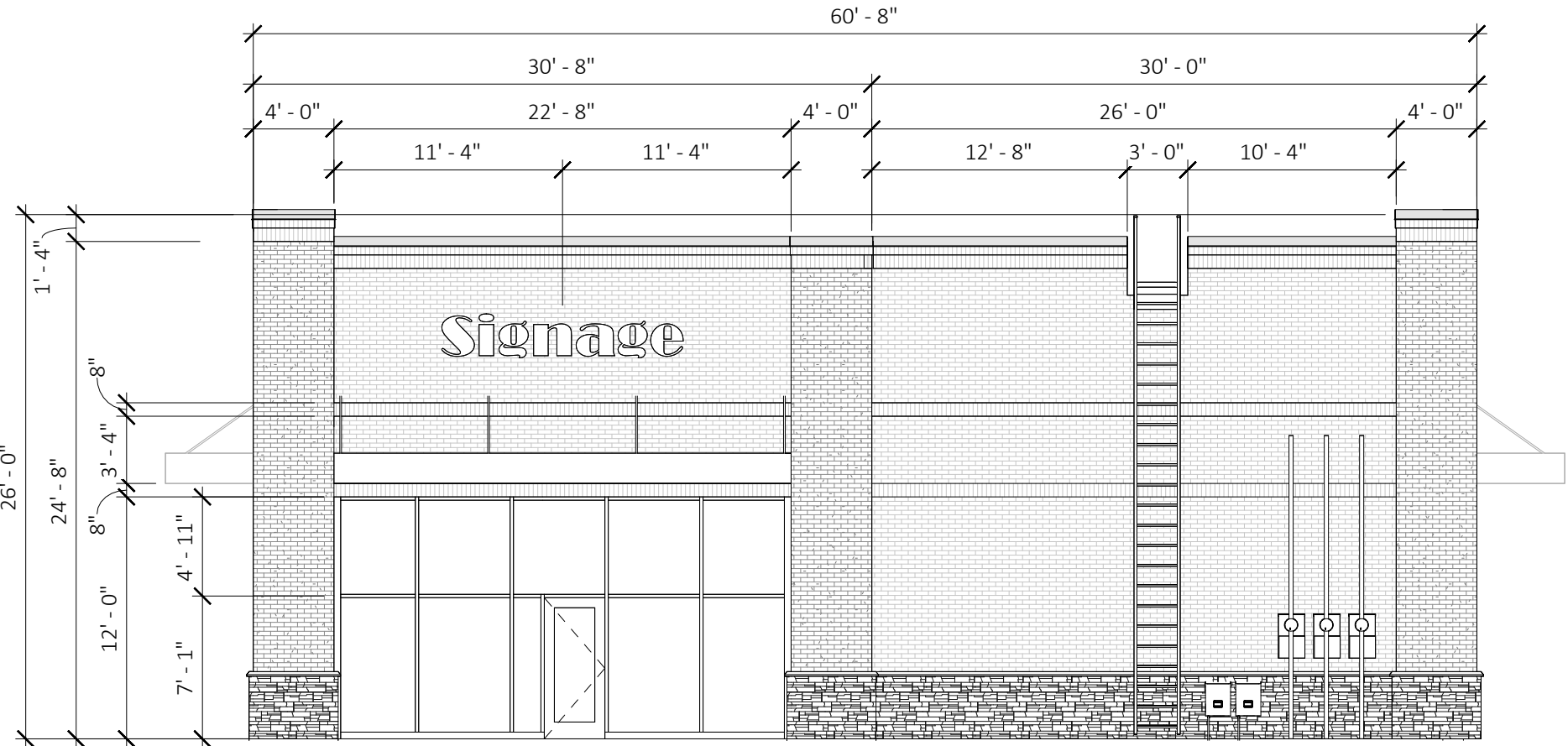
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Description	No.
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Professional of Record: KEYMA L. BULLOCK License No.: 2004011669 Expiration Date: 12/31/26	
Drawn/Checked KMH/ KLB	
Project Number 2504860	
Owner Date --/--/--	
Bid Date --/--/--	
Permit Date --/--/--	

ENLARGED
PLANS - BLDG L

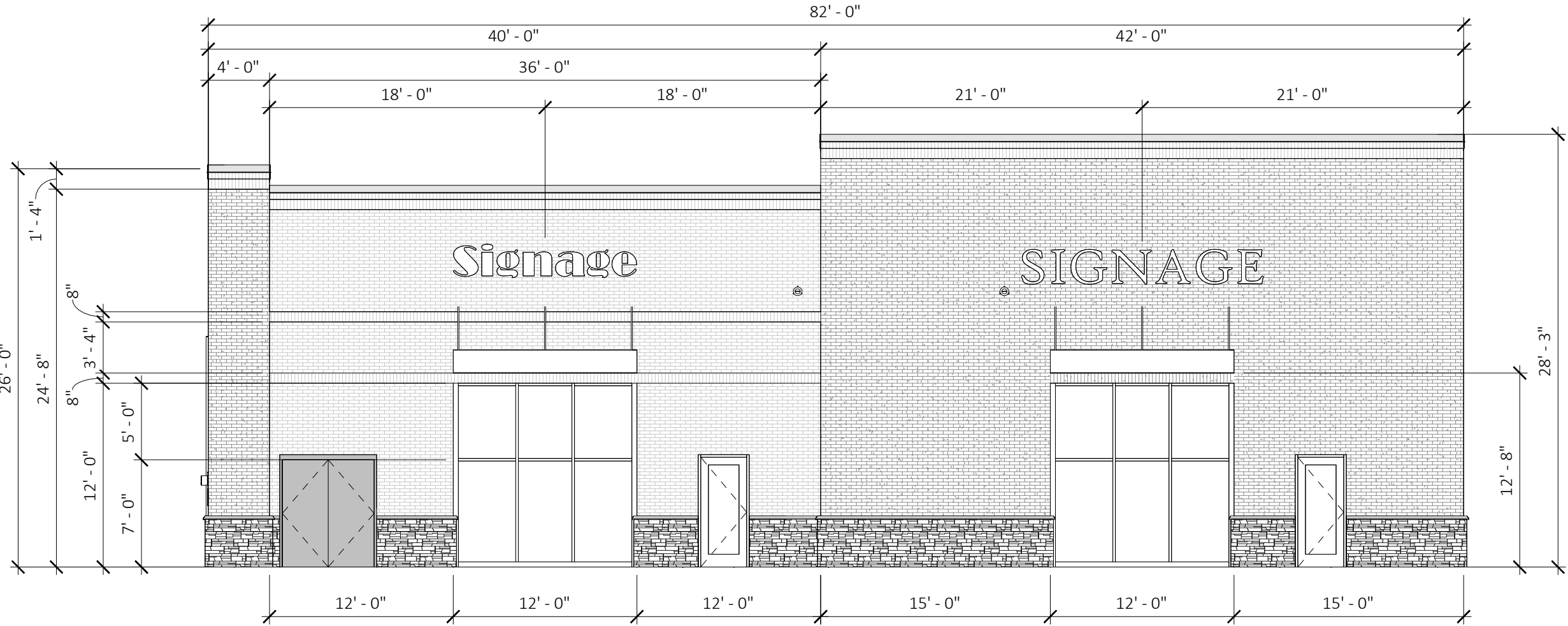
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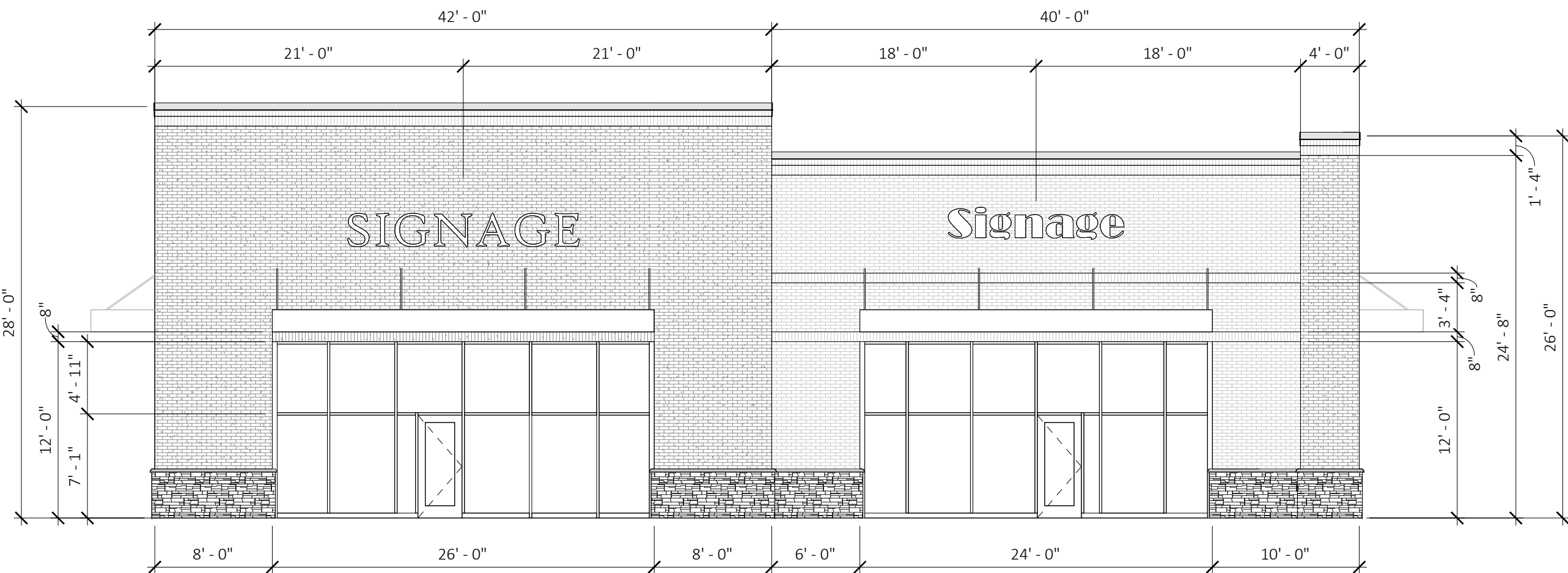




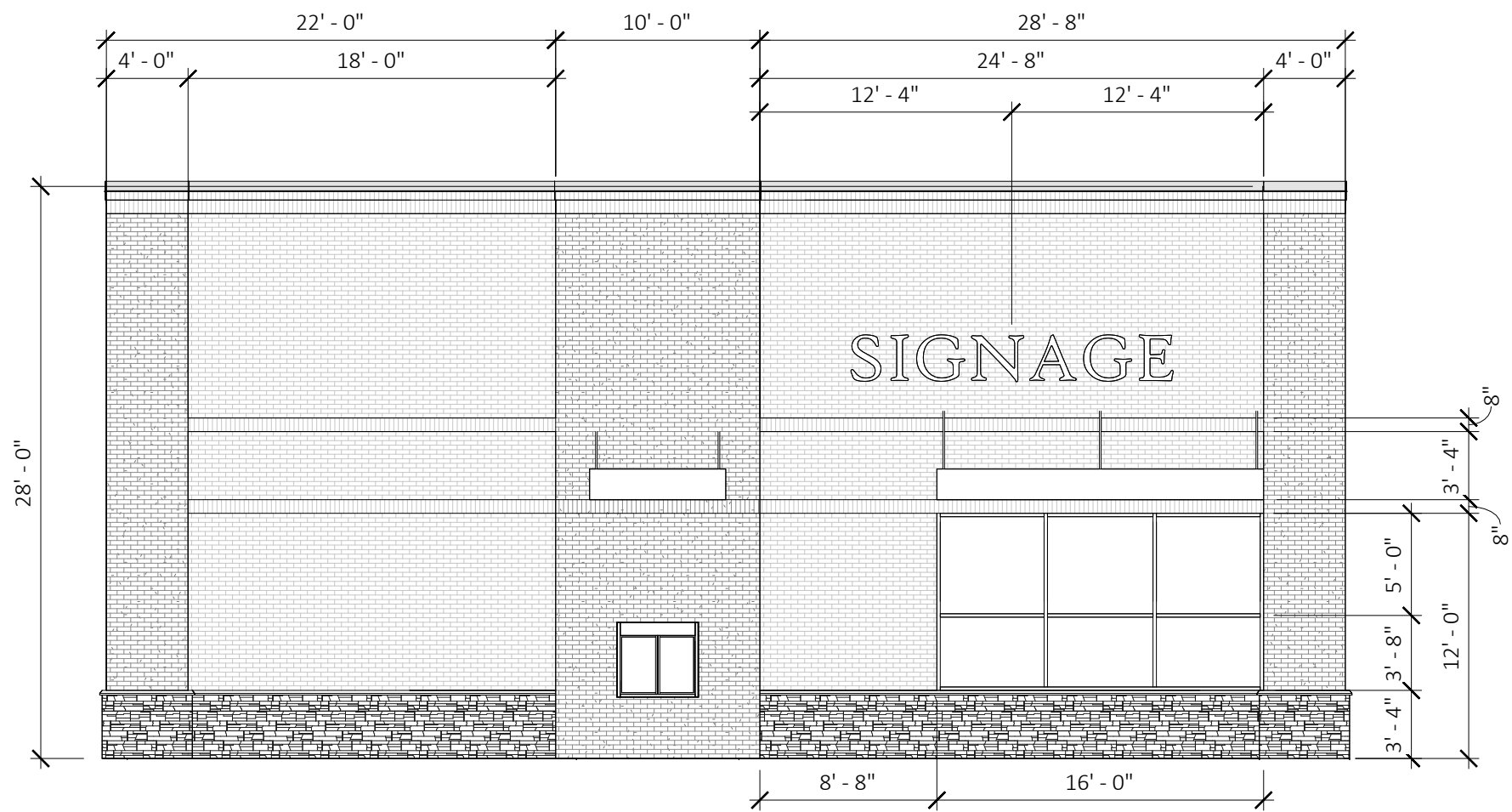
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A104 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION - BUILDING M
A104 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION - BUILDING M
A104 SCALE: 1/8" = 1'-0"



4 WEST ELEVATION - BUILDING M
A104 SCALE: 1/8" = 1'-0"

DIERBERGS MARKETS - UNIVERSITY CITY

OUTLOT M

MARKET AT OLIVE
UNIVERSITY CITY, MO 63123



Date

CONSTR. DOC. & REVISIONS
Description

No.

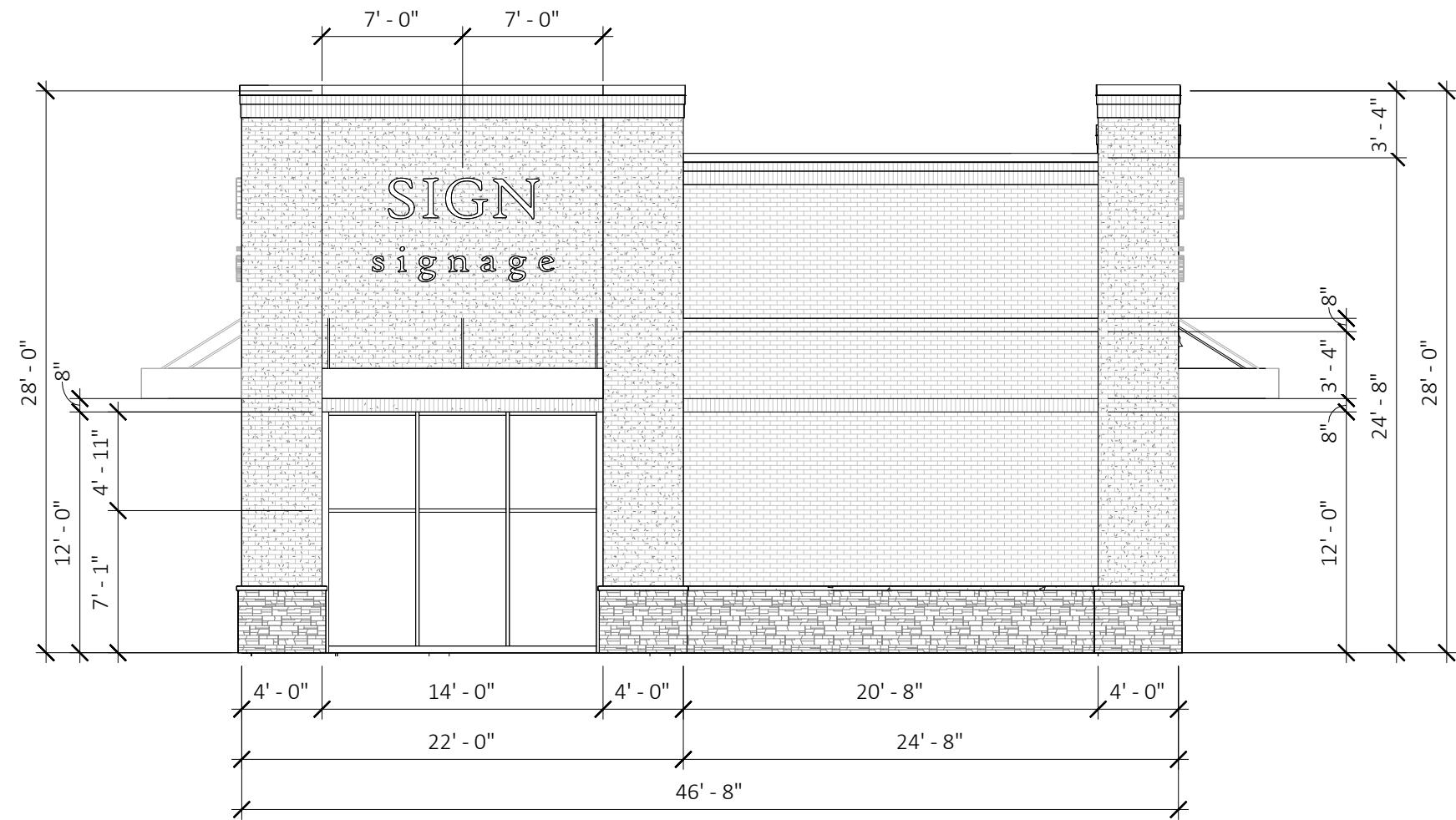
CASCO DIVERSIFIED CORPORATION
ARCHITECTURAL
Registration No.000329
Expiration Date: 12/31/25

Professional of Record:
KEYMA L. BULLOCK
License No.: 2004011669
Expiration Date: 12/31/26

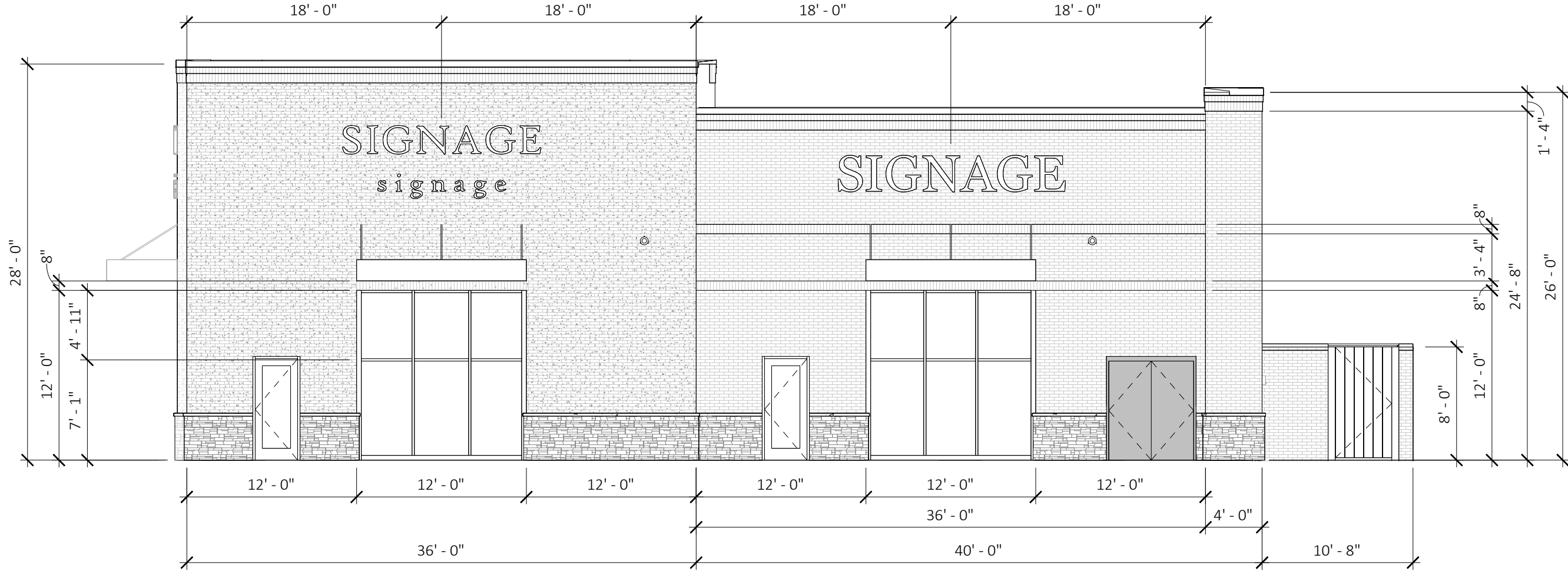
Drawn/Checked	SAV/ KLB
Project Number	2504861
Owner Date	--/--/--
Bid Date	--/--/--
Permit Date	--/--/--

ELEVATIONS -
BUILDING M

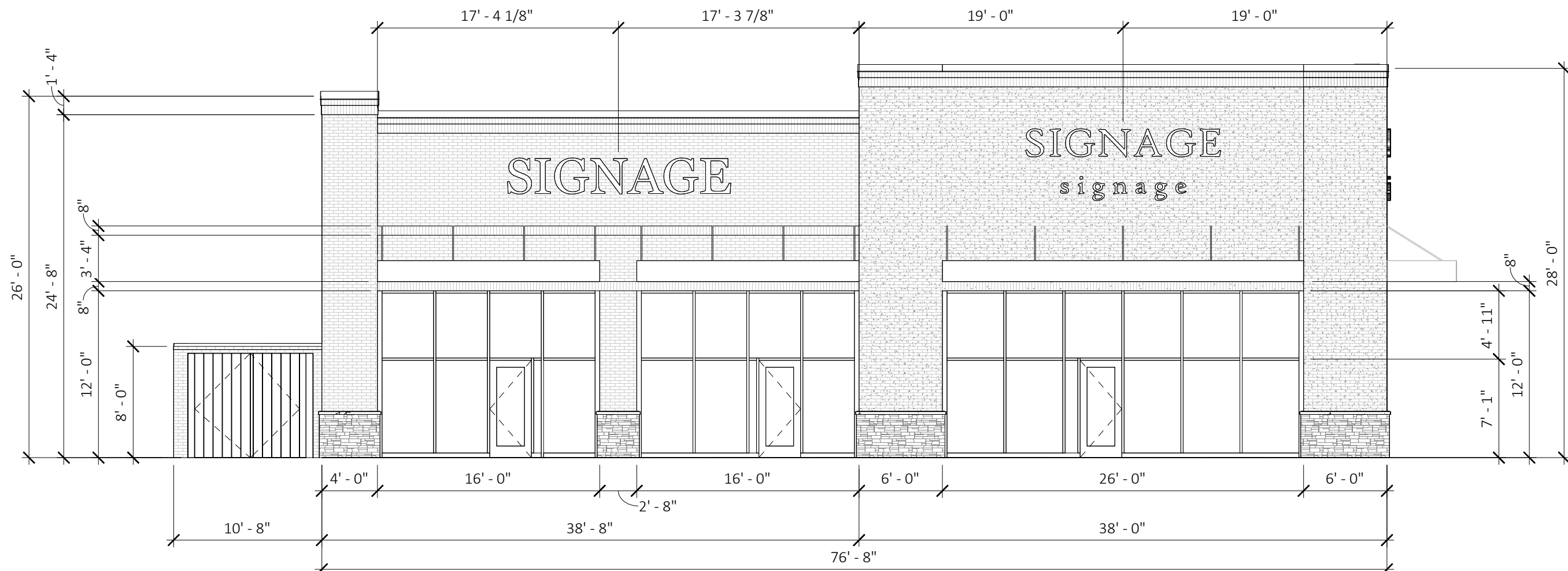
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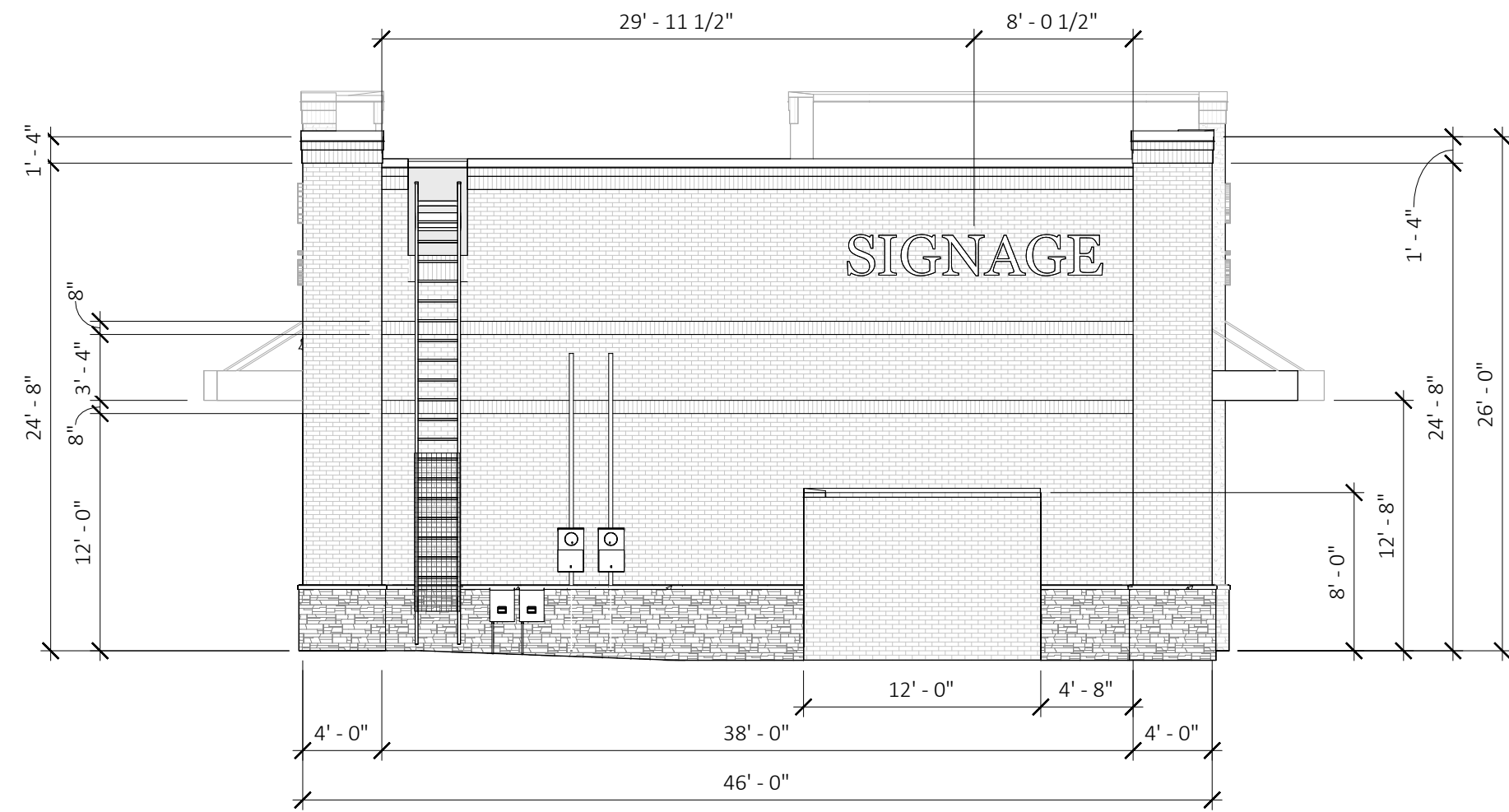
1 EAST ELEVATION - BUILDING L
A103 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION - BUILDING L
A103 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION - BUILDING L
A103 SCALE: 1/8" = 1'-0"



4 WEST ELEVATION - BUILDING L
A103 SCALE: 1/8" = 1'-0"

DIERBERGS MARKETS - UNIVERSITY CITY

OUTLOT L

MARKET AT OLIVE
UNIVERSITY CITY, MO 63132



Date

CONSTR. DOC. & REVISIONS
Description

No.

CASCO DIVERSIFIED CORPORATION
ARCHITECTURAL
Registration No.000329
Expiration Date: 12/31/25

Professional of Record:
KEYMA L. BULLOCK
License No.: 2004011669
Expiration Date: 12/31/26

Drawn/Checked	SAV/ KLB
Project Number	2504860
Owner Date	--/--/--
Bid Date	--/--/--
Permit Date	--/--/--

ELEVATIONS -
BLDG L

A103

CASCO

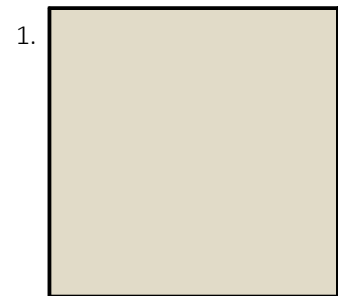
CASCO DIVERSIFIED CORPORATION
12 Summit Drive, Suite 100, St. Louis, MO 63143 T: 314.821.1100



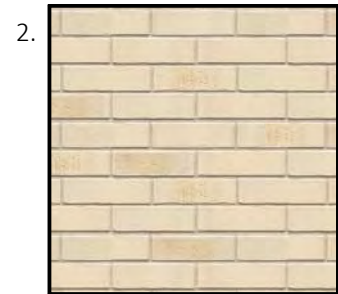
1
A107
ELEVATION - SOUTH (FRONT)
SCALE: NOT TO SCALE



2
A107
ELEVATION - EAST
SCALE: NOT TO SCALE



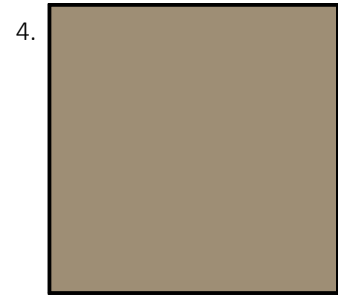
1. PAINT - MATCH BOWERSTON
#940 WIRECUT BRICK



2. BOWERSTON #940
WIRECUT BRICK



3. CLOUD CERAMICS -
GRANITE VELOUR



4. SHERWIN WILLIAMS
SW7535 SANDY RIDGE



5. DARK BRONZE



6. CULTURED STONE -
CHARDONNAY COUNTRY
LEDGESTONE

DIERBERGS MARKETS - UNIVERSITY CITY
OUTLOT L
MARKET AT OLIVE
UNIVERSITY CITY, MO 63132



Date

CONSTR. DOC. & REVISIONS
Description

No.

CASCO DIVERSIFIED CORPORATION
ARCHITECTURAL
Registration No.000329
Expiration Date: 12/31/25

Professional of Record:
KEYMA L. BULLOCK
License No.: 2004011669
Expiration Date: 12/31/26

Drawn/Checked	KMH/ KLB
Project Number	2504860
Owner Date	--/--/--
Bid Date	--/--/--
Permit Date	--/--/--

RENDERINGS -
BUILDING M

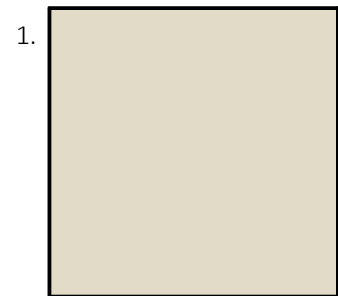
A107



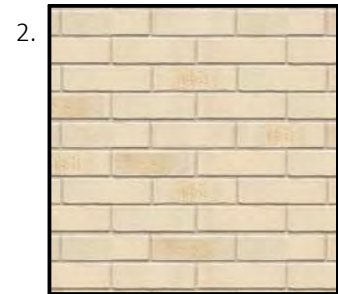
1
A108
ELEVATION - NORTH (REAR)
SCALE: NOT TO SCALE



2
A108
ELEVATION - EAST
SCALE: NOT TO SCALE



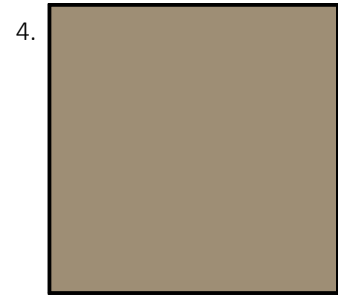
1. PAINT - MATCH BOWERSTON
#940 WIRECUT BRICK



2. BOWERSTON #940
WIRECUT BRICK



3. CLOUD CERAMICS -
GRANITE VELOUR



4. SHERWIN WILLIAMS
SW7535 SANDY RIDGE



5. DARK BRONZE



6. CULTURED STONE -
CHARDONNAY COUNTRY
LEDGESTONE

DIERBERGS MARKETS - UNIVERSITY CITY
OUTLOT L
MARKET AT OLIVE
UNIVERSITY CITY, MO 63132



CONSTR. DOC. & REVISIONS		Date	
No.	Description		
CASCO DIVERSIFIED CORPORATION ARCHITECTURAL Registration No.000329 Expiration Date: 12/31/25			
Professional of Record: KEYMA L. BULLOCK License No.: 2004011669 Expiration Date: 12/31/26			
Drawn/Checked	KMH/ KLB		
Project Number	2504860		
Owner Date	--/--/--		
Bid Date	--/--/--		
Permit Date	--/--/--		

RENDERINGS -
BUILDING M

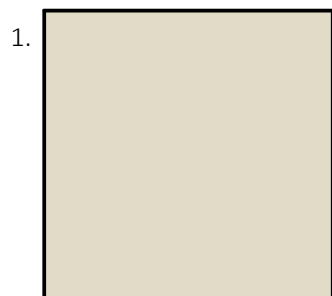
A108



1
A105 ELEVATION - SOUTH (FRONT)
SCALE: NOT TO SCALE



2
A105 ELEVATION - EAST
SCALE: NOT TO SCALE



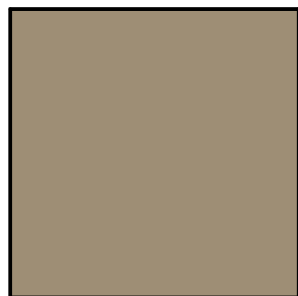
1. PAINT - MATCH BOWERSTON
#940 WIRECUT BRICK



2. BOWERSTON #940
WIRECUT BRICK



3. CLOUD CERAMICS -
GRANITE VELOUR



4. SHERWIN WILLIAMS
SW7535 SANDY RIDGE



5. DARK BRONZE



6. CULTURED STONE -
CHARDONNAY COUNTRY
LEDGESTONE

DIERBERGS MARKETS - UNIVERSITY CITY

OUTLOT L

MARKET AT OLIVE
UNIVERSITY CITY, MO 63132



Date

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Bid Date	--/--/--
Permit Date	--/--/--

RENDERINGS -
BUILDING L

A105



1
A106

ELEVATION - WEST

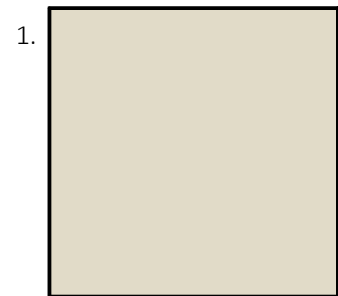
SCALE: NOT TO SCALE



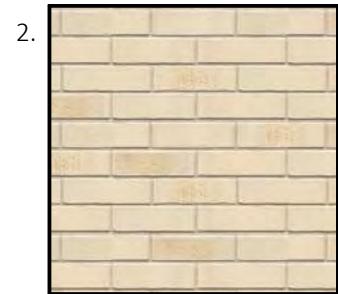
2
A106

ELEVATION - NORTH (REAR)

SCALE: NOT TO SCALE



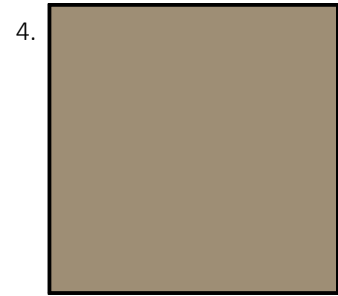
PAINT - MATCH BOWERSTON
#940 WIRECUT BRICK



BOWERSTON #940
WIRECUT BRICK



CLOUD CERAMICS -
GRANITE VELOUR



SHERWIN WILLIAMS
SW7535 SANDY RIDGE



DARK BRONZE



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RENDERINGS -
BUILDING L

A106

CASCO

CASCO DIVERSIFIED CORPORATION
12 Summit Drive, Suite 100, St. Louis, MO 63143 T: 314.821.1100