

INTRODUCED BY: Councilmember Bwayne Smotherson

DATE: April 28, 2025

BILL NO. 9568

ORDINANCE NO. 7380

AMENDED

**AN ORDINANCE APPROVING A FINAL DEVELOPMENT PLAN FOR
ADJUSTED LOTS 2 AND 3 OF MARKET AT OLIVE PLAT 7.**

WHEREAS, a Preliminary Development Plan was approved by the City Council on May 12, 2025, by Resolution No. 2025-05 for a development on Adjusted Lots 2 and 3 of Market at Olive Plat 7, in a Planned Development – Commercial (PD-C) District in the City of University City, Missouri, and the City Council authorized the submittal of a Final Development Plan; and

WHEREAS, a Final Development Plan dated February 24, 2025, has been submitted for review and approval; and

WHEREAS, the review and approval of a final development plan shall be in accordance with Section 400.870 (Final Development Plan Procedure) and Section 405.380 (Final Plat Submittal Requirements) of the University City Municipal Code with the adoption of an ordinance by City Council; and

WHEREAS, at its meeting on March 26, 2025, the University City Plan Commission reviewed the Final Development Plan and recommended to the City Council that it be approved; and

WHEREAS, the Final Development Plan, including all required documents and information submitted therewith, is before the City Council for its consideration.

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
UNIVERSITY CITY, MISSOURI, AS FOLLOWS:**

Section 1. Attached, marked “Exhibit A” and made a part hereof, is a Final Development Plan submitted for a development on Adjusted Lots 2 and 3 of Market at Olive Plat 7.

Section 2. It is hereby found and determined that the Final Development Plan is in full compliance with Section 400.870 (Final Development Plan Procedure) of the University City Municipal Code.

Section 3. The Final Development Plan shall include the following additional conditions:


1. The buildings and property shall be developed, constructed, and maintained in compliance with the plans submitted and attached. The footprint and general layout are subject to the Final Development Plan. The height and mass shall be restricted to that shown on the Final Development Plan.
2. Accessible pedestrian walkways shall be provided from the public sidewalk to each building.

3. Off-street parking and loading requirements shall be provided as required by Chapter 400, Article VII (Off-Street Parking and Loading Requirements) of the University City Municipal Code.
4. A detailed construction traffic control and parking plan should be submitted to the Director of Planning and Development for approval. The plan shall set forth details pertaining to worker parking during all phases of the proposed construction. It shall further detail solutions to public property maintenance issues such as street cleaning and traffic diversion. Said plan shall be finalized prior to the issuance of a building permit. It shall be the applicant's responsibility to obtain those approvals in written form in a timely manner prior to issuance of a building permit.
5. Bicycle racks shall be provided in accordance with Zoning Code Section 400.2145 (Off-Street Bicycle Parking Requirements).
6. A final landscape plan shall be submitted to and approved by Department of Planning and Development prior to issuance of a building permit.

Section 4. The City Clerk is hereby directed to endorse upon the Final Development Plan the approval of the City Council under the hand of the City Clerk and the seal of the City of University City, Missouri.

Section 5. This ordinance shall take effect and be in force from and after its passage as provided by law.

PASSED and ADOPTED this 12th day of May, 2025.


MAYOR

ATTEST:


CITY CLERK

CERTIFIED TO BE CORRECT AS TO FORM:


CITY ATTORNEY

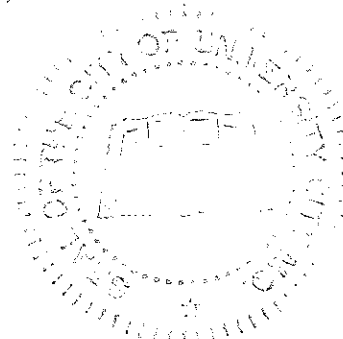
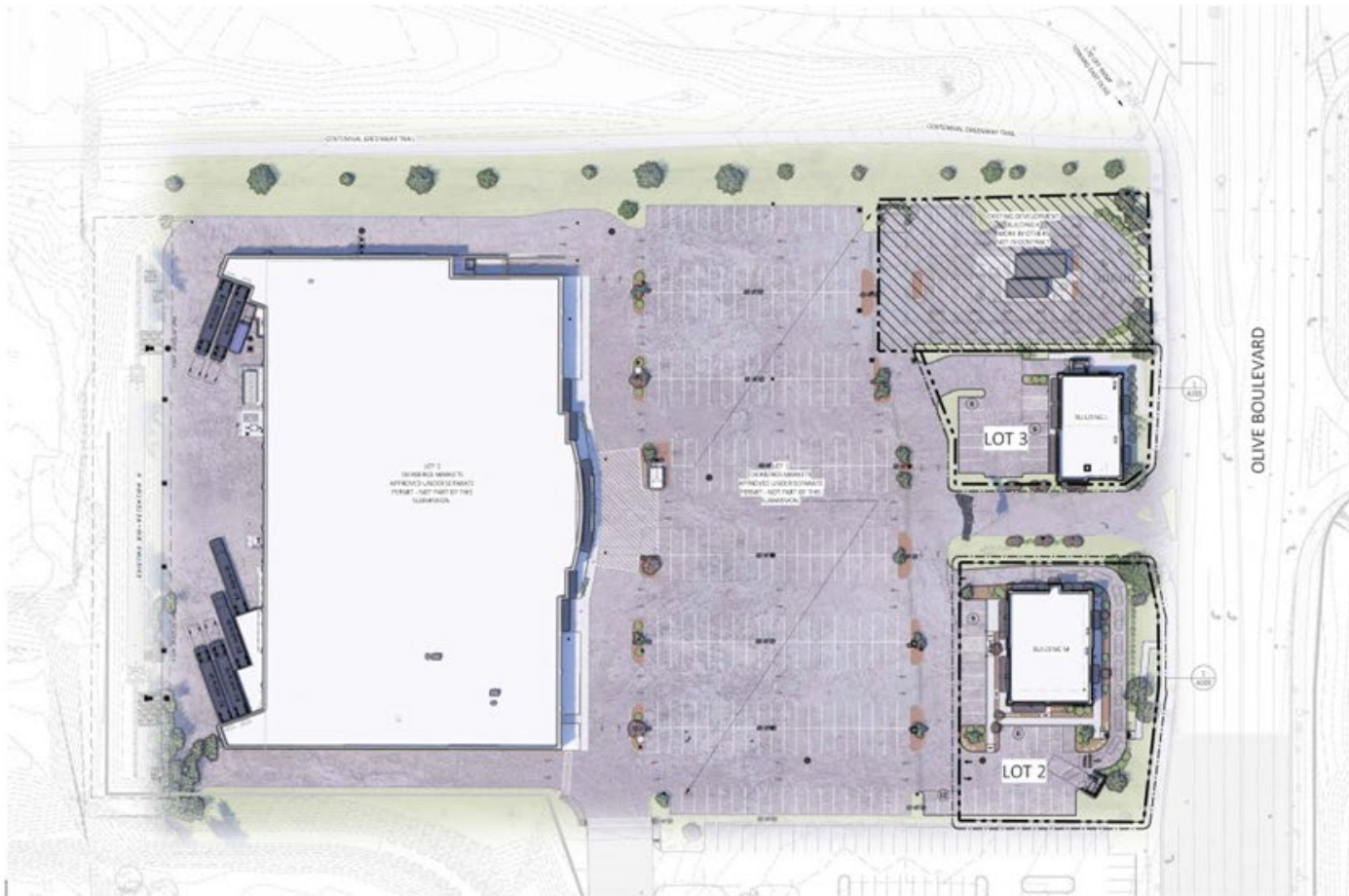


Exhibit A



1
A100
OVERALL SITE PLAN
SCALE: 1/8" = 1'-0"

DIERBERG'S MARKETS - UNIVERSITY CITY
 OUTLOT L
 MARKET AT OLIVE
 UNIVERSITY CITY, MO 63132



CONCEPTS, DESIGN & CONSTRUCTION
 PROJECT MANAGER
 DATE

CONCEPT DEVELOPMENT CORPORATION
 PROJECT MANAGER
 DATE

(Professional Seal)
 License No.: 2004010000
 Expiration Date: 12/31/2025

Drawn/Checked: KMH / KLB
 Project Number: 2004010000
 Owner Date: / /
 Bid Date: / /
 Permit Date: / /

OVERALL SITE
PLAN

A100





PERMITS CHARGES	
PROPOSED INITIAL PERMIT	
PROPOSED EXISTING PERMIT	
PROPOSED EXISTING PERMIT	
PROPOSED EXISTING PERMIT	
PROPOSED EXISTING PERMIT	
PROPOSED EXISTING PERMIT	
PROPOSED EXISTING PERMIT	

CUMULATIVE PARKING CALCULATIONS

BUILDING L (DENTAL)

BUILDING L = 15,834 SF TOTAL
 15,834 SF / 100 SF = 158 SPACES
 15,834 SF / 100 SF = 158 SPACES
 15,834 SF / 100 SF = 158 SPACES

BUILDING M = 4,891 SF TOTAL
 4,891 SF / 100 SF = 49 SPACES
 4,891 SF / 100 SF = 49 SPACES

BUILDING N = 4,891 SF TOTAL
 4,891 SF / 100 SF = 49 SPACES
 4,891 SF / 100 SF = 49 SPACES

BUILDING O = 4,891 SF TOTAL
 4,891 SF / 100 SF = 49 SPACES
 4,891 SF / 100 SF = 49 SPACES

BUILDING P = 4,891 SF TOTAL
 4,891 SF / 100 SF = 49 SPACES
 4,891 SF / 100 SF = 49 SPACES

BUILDING Q = 4,891 SF TOTAL
 4,891 SF / 100 SF = 49 SPACES
 4,891 SF / 100 SF = 49 SPACES

BUILDING R = 4,891 SF TOTAL
 4,891 SF / 100 SF = 49 SPACES
 4,891 SF / 100 SF = 49 SPACES

BUILDING S = 4,891 SF TOTAL
 4,891 SF / 100 SF = 49 SPACES
 4,891 SF / 100 SF = 49 SPACES

BUILDING T = 4,891 SF TOTAL
 4,891 SF / 100 SF = 49 SPACES
 4,891 SF / 100 SF = 49 SPACES

BUILDING U = 4,891 SF TOTAL
 4,891 SF / 100 SF = 49 SPACES
 4,891 SF / 100 SF = 49 SPACES

BUILDING V = 4,891 SF TOTAL
 4,891 SF / 100 SF = 49 SPACES
 4,891 SF / 100 SF = 49 SPACES

BUILDING W = 4,891 SF TOTAL
 4,891 SF / 100 SF = 49 SPACES
 4,891 SF / 100 SF = 49 SPACES

BUILDING X = 4,891 SF TOTAL
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 4,891 SF / 100 SF = 49 SPACES

BUILDING Y = 4,891 SF TOTAL
 4,891 SF / 100 SF = 49 SPACES
 4,891 SF / 100 SF = 49 SPACES

BUILDING Z = 4,891 SF TOTAL
 4,891 SF / 100 SF = 49 SPACES
 4,891 SF / 100 SF = 49 SPACES

BUILDING AA = 4,891 SF TOTAL
 4,891 SF / 100 SF = 49 SPACES
 4,891 SF / 100 SF = 49 SPACES

BUILDING AB = 4,891 SF TOTAL
 4,891 SF / 100 SF = 49 SPACES
 4,891 SF / 100 SF = 49 SPACES

BUILDING AC = 4,891 SF TOTAL
 4,891 SF / 100 SF = 49 SPACES
 4,891 SF / 100 SF = 49 SPACES

BUILDING AD = 4,891 SF TOTAL
 4,891 SF / 100 SF = 49 SPACES
 4,891 SF / 100 SF = 49 SPACES

BUILDING AE = 4,891 SF TOTAL
 4,891 SF / 100 SF = 49 SPACES
 4,891 SF / 100 SF = 49 SPACES

BUILDING AF = 4,891 SF TOTAL
 4,891 SF / 100 SF = 49 SPACES
 4,891 SF / 100 SF = 49 SPACES



CASCO CIVIL
 A Division of the Casco Group, Inc.
 1000 North 10th Street, Suite 100
 University City, MD 21045
 Phone: 410-528-1100
 Fax: 410-528-1101
 Email: info@casco-civil.com

DIERBERG'S MARKETS - UNIVERSITY CITY
 BUILDING L & BUILDING M
 MARKET AT OLIVE
 UNIVERSITY CITY, MD 21045



DATE: 08/24/20
 DRAWN BY: J. J. JONES
 CHECKED BY: J. J. JONES
 APPROVED BY: J. J. JONES

NOT FOR CONSTRUCTION

PRELIMINARY SITE PLAN - BUILDING L & BUILDING M

PRELIMINARY SITE PLAN - BUILDING L & BUILDING M

PRELIMINARY SITE PLAN - BUILDING L & BUILDING M

PRELIMINARY SITE PLAN - BUILDING L & BUILDING M

PRELIMINARY SITE PLAN - BUILDING L & BUILDING M

PRELIMINARY SITE PLAN - BUILDING L & BUILDING M

PRELIMINARY SITE PLAN - BUILDING L & BUILDING M

PRELIMINARY SITE PLAN - BUILDING L & BUILDING M

The site plan illustrates a development along Olive Boulevard, which runs vertically on the right side of the image. The plan is bounded by Centennial Greenway Trail to the north and a 10' W OPEN OF FIRE HYDRANT line to the south. Two main building footprints are shown: Building L, a Future Dental/Retail Space (3,500 ± SF, FF=575.59), and Building M, a Future Restaurant/Retail Space (4,891 ± SF, FF=576.76). Both buildings are oriented with their long sides facing Olive Boulevard. To the west of Building L is a large parking lot with 20 spaces, and to the west of Building M is another parking lot with 12 spaces. A central area between the buildings contains a smaller parking lot with 6 spaces. The plan also shows various setbacks, easements, and utility lines. A note on the left side states: 'EXIST. FURNISHED DRIVE A SEPARATE SUBMITTAL NOT A PART OF THIS SUBMISSION'. A note on the right side states: 'SITE ON: 577.34 10' W OPEN OF FIRE HYDRANT'. A note at the bottom right states: 'SITE ON: 574.27 14.20 581.71/587.2 IN OPEN OF FIRE HYDRANT 1.20'. The plan is titled 'OLIVE BOULEVARD PUBLIC RIGHT-OF-WAY (WIDTH VARIES)'.



LOT 2

BUILDING W
(RETURN/RECYCLED)
TOTAL SPACE
6,000 sq. ft.

80% FLAG
POLE

9

6

12

OLIVE BOULEVARD

N

0 15 30 60



2
A700

ENLARGED
BLANC

A102

A102

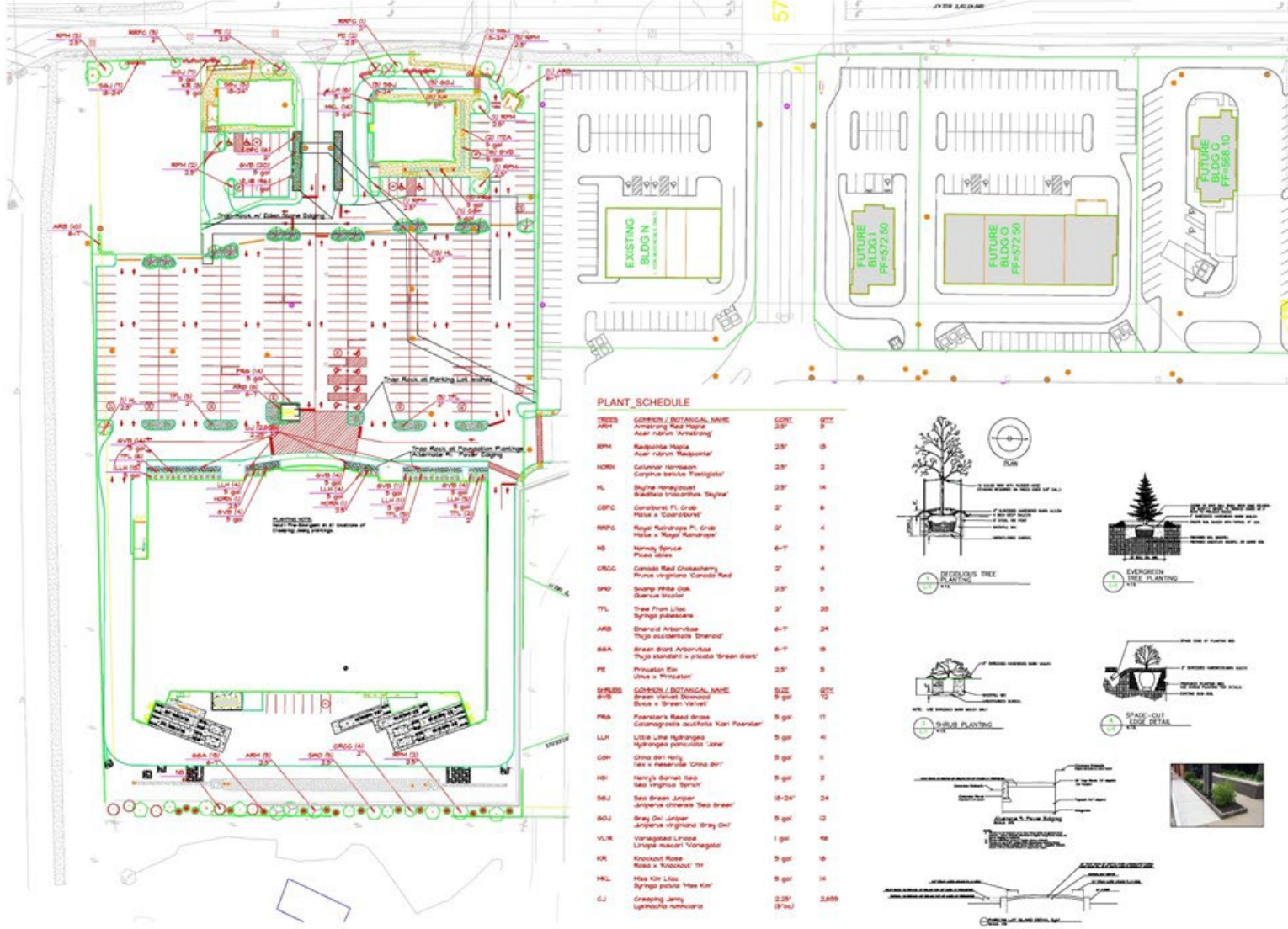


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FLOOR PLAN - BUILDING L

SCALE: 1/8" = 1'-0"

8

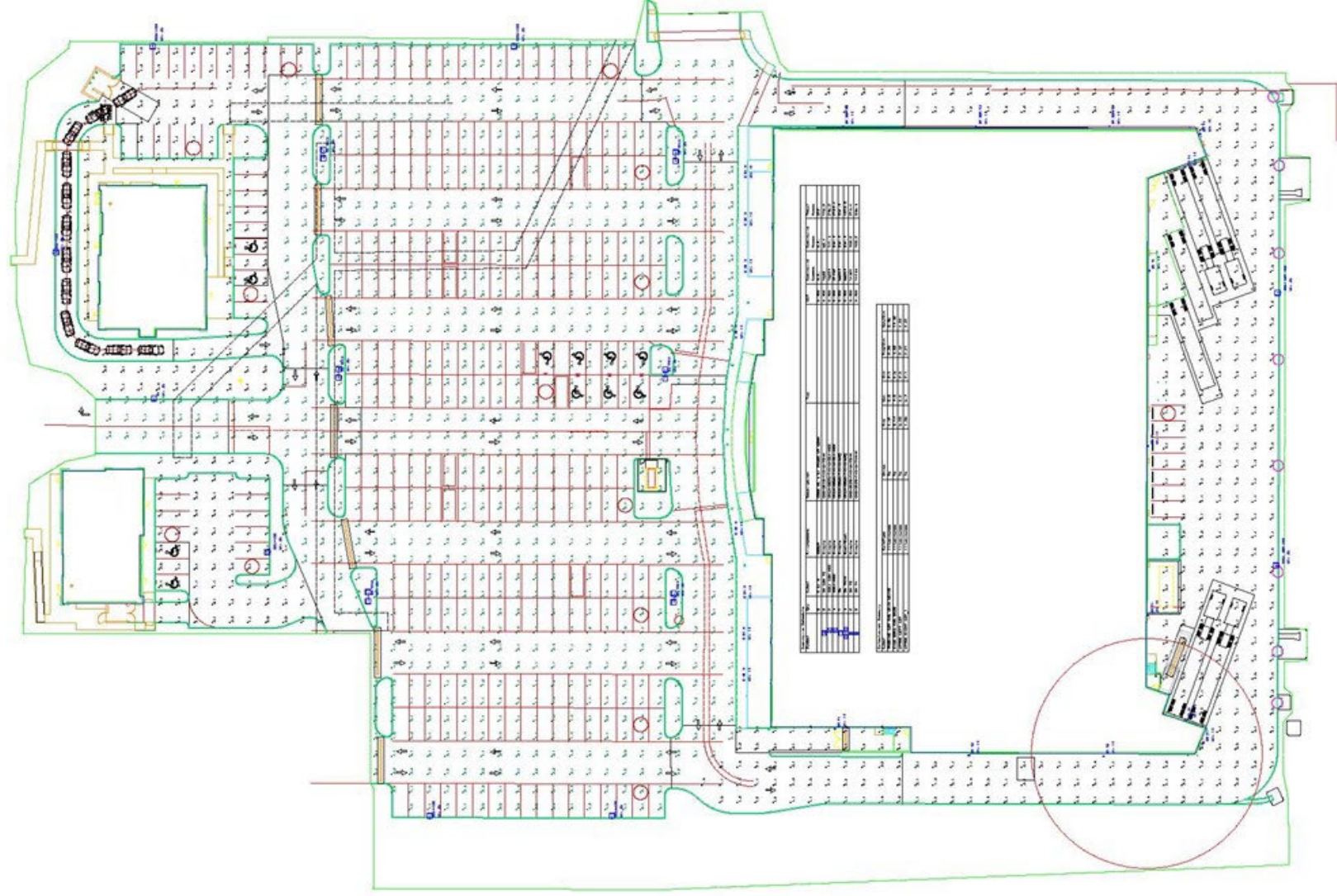


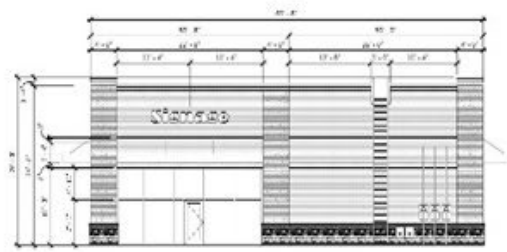
Owner: CJA
 Date: 5-28-22
 Title: 10-2-24
 Revised: 3-13-25

BAXTER FARMS and NURSERIES
 3411 CREVE COEUR BLVD. ROAD
 ST. LOUIS, MISSOURI 63114

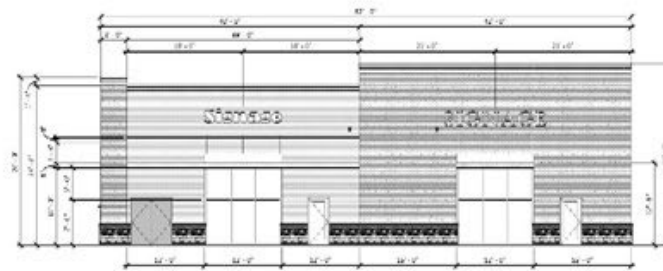
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L-1

Exhibit A

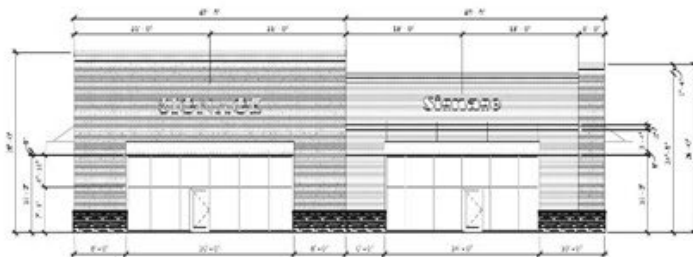




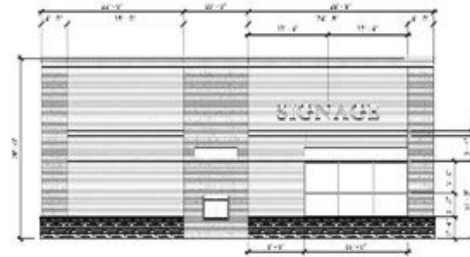
1 EAST ELEVATION - BUILDING M
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION - BUILDING M
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION - BUILDING M
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION - BUILDING M
SCALE: 1/8" = 1'-0"

DIERBERG MARKETS - UNIVERSITY CITY
OUTLOT M
MARKET AT OLIVE
UNIVERSITY CITY, MO 63123



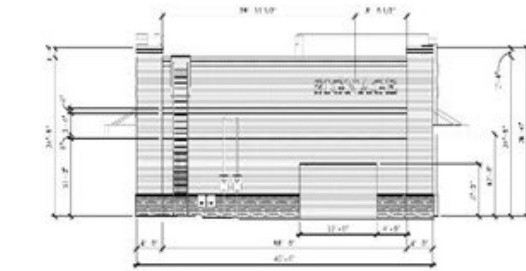
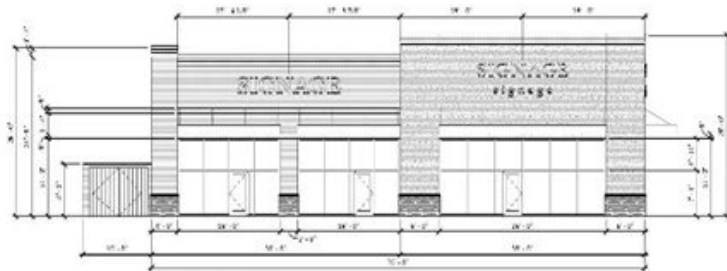
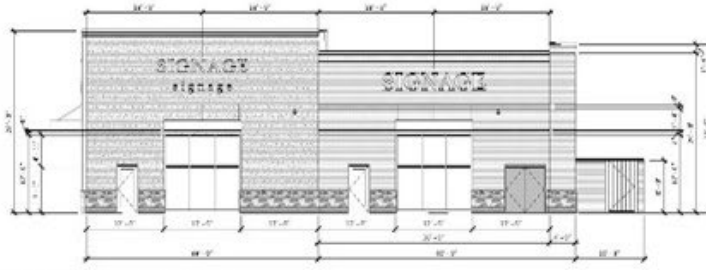
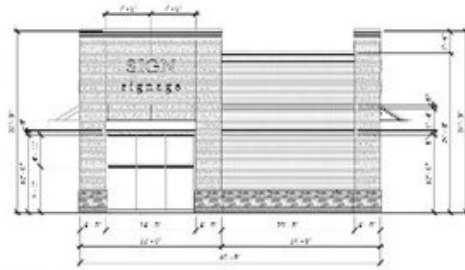


DESIGNED BY: J. HARRIS
DRAWN BY: J. HARRIS
CHECKED BY: J. HARRIS
DATE: 12/15/18

PROJECT: CASCO
PROJECT NUMBER: 2204561
PROJECT LOCATION: / /
SHEET: 11 OF 11
DATE: 12/15/18

REVISIONS -
BUILDING M

A104



DIEBERGS MARKETS - JEFFERSON CITY
 O.U.T. L
 MARKET AT CLIVE
 UNIVERSITY CITY, MO 63132

CASCO
 COMMERCIAL ARCHITECTS

DIEBERGS
 MARKETS

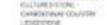
CASCO DESIGN CORPORATION
 1000 W. 10th St.
 Jefferson, MO 64501
 Telephone: 816.421.1111

CASCO DESIGN CORPORATION
 1000 W. 10th St.
 Jefferson, MO 64501
 Telephone: 816.421.1111

Stream Checked: SAV/ KLB
 Project Number: 2004990
 Design User: *[Signature]*
 Date: *[Signature]*
 Permit Date: *[Signature]*

ELEVATIONS -
 BLDG L

A103



CHARTER, LLC & AFFILIATES
Baltimore, MD

8

CRACK (INCORPORATED) CORPORATION
NEWPORT, VA
Registration No. 2000018
Expiration Date 12/31/25

Deborah M. of Board
Contact: 410-400-
Contract No. 200001809
Expiration Date 12/31/25

Drawn/Checked	KMH/ K/L
Project Number	2504860
Owner Date	1/1
Red Date	1/1
Permit Date	1/1

RENDERINGS -
BUILDING M

A107

CASCO
CONSTRUCTION SERVICES, INC.

DIERBERGS MARKETS - UNIVERSITY CITY
OUTLOT L
MARKET AT OLIVE
UNIVERSITY CITY, MO 63132



One

SCALE METRIC SCALE



2 ELEVATION
A105 SCALE: NOT TO SCALE



OUTLOT I
DIE HEINIGS

MARKET AT OLIVE
UNIVERSITY CITY, MO 63132



3

Description:

10

CH2M HILL GROUP CORPORATION
ARCHITECTURAL
Registration No. 000518
Expiration Date: 12/31/25

Technische Universität
 München, D-85748 Garching
 (e-mail: Jochen.Krauss@tum.de)
 (e-mail: Jochen.Krauss@tum.de)

Drawn/Checked	KMH/ KLB
Project Number	2504860
Owner Date	--/--
Bid Date	--/--
Permit Date	--/--

RENDERINGS -
BUILDING L

A105

CASCO



ELEVATION - WEST



2 ELEVATION - NORTH (REAR)
A006 REAR, MET TO REAR



DIERBERGS MARKETS - UNIVERSITY CITY
OUTLOT L
MARKET AT OLIVE
UNIVERSITY CITY, MO 63132



Streambed	Code
Streambed A (Shallow)	1
Streambed B (Deep)	2
Streambed C (Shallow)	3
Streambed D (Deep)	4
Streambed E (Shallow)	5
Streambed F (Deep)	6
Streambed G (Shallow)	7
Streambed H (Deep)	8
Streambed I (Shallow)	9
Streambed J (Deep)	10
Streambed K (Shallow)	11
Streambed L (Deep)	12
Streambed M (Shallow)	13
Streambed N (Deep)	14
Streambed O (Shallow)	15
Streambed P (Deep)	16
Streambed Q (Shallow)	17
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Streambed U (Shallow)	21
Streambed V (Deep)	22
Streambed W (Shallow)	23
Streambed X (Deep)	24
Streambed Y (Shallow)	25
Streambed Z (Deep)	26
Streambed AA (Shallow)	27
Streambed AB (Deep)	28
Streambed AC (Shallow)	29
Streambed AD (Deep)	30
Streambed AE (Shallow)	31
Streambed AF (Deep)	32
Streambed AG (Shallow)	33
Streambed AH (Deep)	34
Streambed AI (Shallow)	35
Streambed AJ (Deep)	36
Streambed AK (Shallow)	37
Streambed AL (Deep)	38
Streambed AM (Shallow)	39
Streambed AN (Deep)	40
Streambed AO (Shallow)	41
Streambed AP (Deep)	42
Streambed AQ (Shallow)	43
Streambed AR (Deep)	44
Streambed AS (Shallow)	45
Streambed AT (Deep)	46
Streambed AU (Shallow)	47
Streambed AV (Deep)	48
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Streambed BC (Shallow)	55
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Streambed BG (Shallow)	59
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Streambed BP (Deep)	68
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Streambed BS (Shallow)	71
Streambed BT (Deep)	72
Streambed BU (Shallow)	73
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Streambed BW (Shallow)	75
Streambed BX (Deep)	76
Streambed BY (Shallow)	77
Streambed BZ (Deep)	78
Streambed CA (Shallow)	79
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Streambed EI (Shallow)	139
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Streambed ES (Shallow)	149
Streambed ET (Deep)	150
Streambed EU (Shallow)	151
Streambed EV	

2

CH2C INCORPORATED CORPORATION
ARCHITECTURE
Registration No. 000028
Expiration Date 12/31/25

Publication of Research
 10/20/2011, 8:22:00 AM
 License No.: 20080212009
 Expiration Date: 11/01/2016

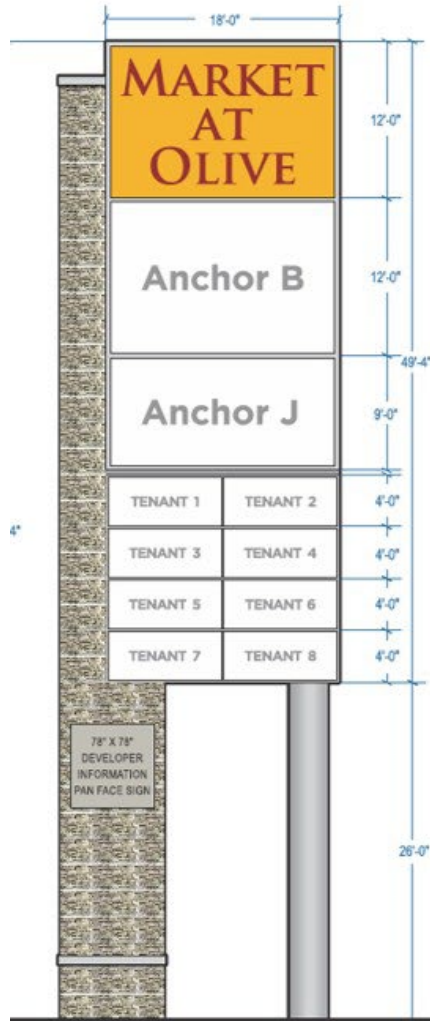
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Bid Date	-/-
Permit Date	-/-

RENDERINGS -
BUILDING L

A106

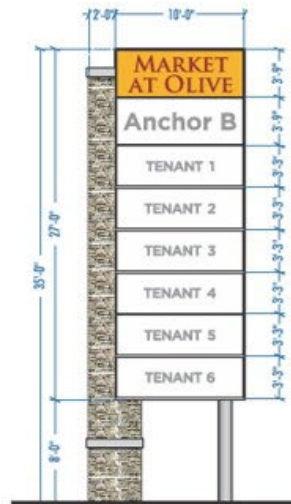
CASCO

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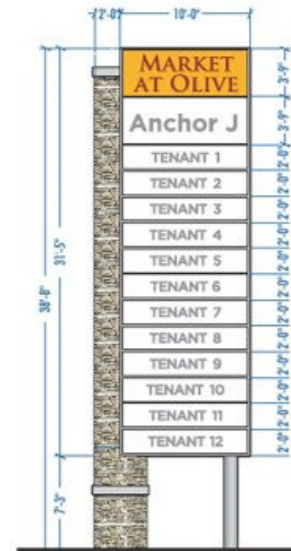


1 HIGHWAY PYLON - OPTION A
 SCALE: 1/8" = 1'
 SIGN AREA: 49'-4" (592") x 18'-0" (216") = 127,872 / 144 = 888sf

2 NORTH PROJECT PYLON - OPTION A
 SCALE: 1/8" = 1'
 SIGN AREA: 27' x 10' = 270sf



3 SOUTH PROJECT PYLON - OPTION A
 SCALE: 1/8" = 1'
 SIGN AREA: 31'-5" (377") x 10'-0" (120") = 45,240 / 144 = 314.2sf



WARREN SIGN

St. Louis Metro Area -
 2955 Arnold Tenbrook Rd.
 Arnold, MO 63010
 636-282-1300

CLIENT

MARKET @ OLIVE

LOCATION

Market @ Olive

PROJECT

Pylon Sign Family

SAVED AS

Market at Olive
 /3 PYLONS

DRAWING NO.

88033422.1-B

DATE

03.29.2022

REVISION

04022 TALLER HWY PYLON

REVISION

04022 PROJECT PYLONS CONFIG

REVISION

04122 ANCH J SAME AS A & B

REVISION

04022 ADD ID TO SOUTH PYLON

DESIGNED BY

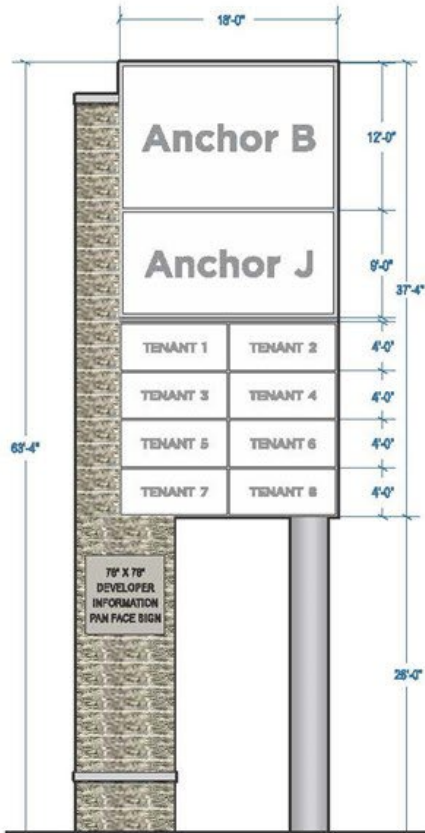
Scott Wynn

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energy efficient
 signs built to last

WarrenSign.com

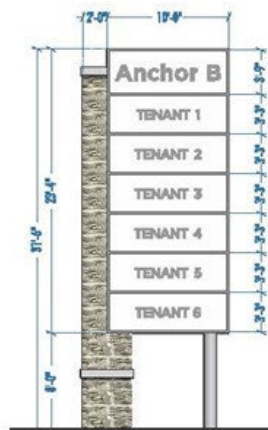
IF THIS NOTE IS VISIBLE ON THE PRINT, THE DRAWING HAS NOT BEEN PRINTED IN SCALE. SELECT ACTUAL SIZE FROM YOUR PDF PRINT OPTION & PRINT PAPER SIZE.



1 HIGHWAY PYLON - OPTION B

SCALE: 1/8" = 1'

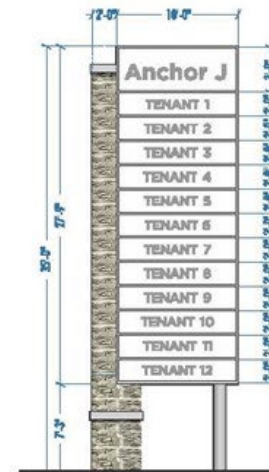
SIGN AREA: 37'-4" (448") x 15'-0" (216") = 96,768 / 144 = 672sf



2 NORTH PROJECT PYLON OPTION B

SCALE: 1/8" = 1'

SIGN AREA: 25'-4" (280") x 10' (120") = 33,600 / 144 = 233.3sf



3 SOUTH PROJECT PYLON OPTION B

SCALE: 1/8" = 1'

SIGN AREA: 27'-0" (330") x 10'-0" (120") = 39,600 / 144 = 275sf



ST. LOUIS METRO AREA -
2955 Arnold Tenbrook Rd.
Arnold, MO 63010
636-282-1300

CLIENT
MARKET @ OLIVE

LOCATION
Market @ Olive

PROJECT
Pylon Sign Family

SAVED AS
Market at Olive
/3 PYLONS

DRAWING NO.
880334-22.1-C

DATE
03.29.2022

REVISION
040222 (ALL) - HWY PYLON
REVISION
040222 PROJECT PYLONS CONFIG
REVISION
041222 (ANC) SAME AS A & B
REVISION
040222 REMOVE ANCHOR A

DESIGNED BY
Scott Wynn

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